

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

September 9, 2021

Michael E. Haas, P.E.
GreenbergFarrow
21 South Evergreen Ave. Suite 200
Arlington Heights, IL 60005

Re: Texas Road House
10030 Coors Blvd Bypass NW 87114
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 11-14-19 (AA) (B13D014)
Certification dated 9-9-21

Dear Mr. Hass,

Based upon the information provided in your submittal received 9-2-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger
Jeanne Wolfenbarger, P.E.

Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email

EXISTING LEGEND:

- EXISTING LANDSCAPING
- PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING PARKING STALL COUNT
- EXISTING CONCRETE CURB AND GUTTER
- EXISTING STORM SEWER STRUCTURES
- EXISTING SANITARY SEWER STRUCTURES
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING DOUBLE CHECK DETECTOR ASSEMBLY WITH HOT BOX
- EXISTING WATER METER AND BACKFLOW PREVENTION DEVICE WITH HOT BOX
- EXISTING POST INDICATOR VALVE
- EXISTING LIGHT POLE
- EXISTING TRANSFORMER

PROPOSED LEGEND:

- PROPOSED PROPERTY LINE
- PROPOSED PORTLAND CEMENT CONCRETE (PCC) SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- GENERAL SCOPE OF WORK LIMITS
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED TRANSFORMER

FIRE INFORMATION:

TEXAS ROADHOUSE BUILDING AREA: 7,906 SQ. FT.
CONSTRUCTION TYPE: V8
OCCUPANCY: A2
BUILDING HEIGHT: 27'-6"
SPRINKLER: FULLY SPRINKLERED BUILDING

SITE INFORMATION:

LEGAL DESCRIPTION
TRACT: C-7A-2
PARCEL ID: 1 013 065 441 312 10605
ZONING: MX-M (MIXED-USE-MODERATE INTENSITY ZONE DISTRICT)

GROSS BUILDING AREA (GBA):
ORIGINALLY APPROVED (1996) 16,382 SF

PROPOSED:
AT&T BUILDING AREA: 4,400 SQ. FT. (SEPARATE PERMIT)
TEXAS ROADHOUSE BUILDING AREA: 7,163 SQ. FT. (SEPARATE PERMIT)
TEXAS ROADHOUSE BUILDING ADDITION: 743 SQ. FT.
12,306 SQ. FT.

TOTAL SITE AREA: ±76,190 SQ. FT.
GROSS F.A.R. (GBA/SITE AREA): 0.16

PHASING
THE PARKING/SITE WORK AND TEXAS ROADHOUSE RESTAURANT WAS PHASE 1 (7,163 SQ.FT. BUILDING AND 76,190 SQ. FT. SITE).
THE AT&T RETAIL BUILDING WAS PHASE 2 (4,400 SQ. FT.).
THE TEXAS ROADHOUSE RESTAURANT BUILDING ADDITION IS PHASE 3 (638 SQ. FT.).

PARKING INFORMATION:

AT&T SITE
REQUIRED
4,400 SF BUILDING (UNDER SEPARATE PERMIT)
(GENERAL RETAIL - 4 SPACES PER 1,000 SF)
RETAIL 4,400 SQ. FT. * 1 SPACES = 18 SPACES
1-25 PARKING SPACES = 1 HANDICAPPED SPACE (1 VAN)
1-25 PARKING SPACES = 1 MOTORCYCLE
1:20 AUTOMOBILE, (20/20) = 1 BICYCLE

PROVIDED
TOTAL SPACES = 24 SPACES
2 HANDICAPPED SPACES (1 VAN)
1 MOTORCYCLE
2 BICYCLE

TEXAS ROADHOUSE SITE
REQUIRED
EXISTING 7,163 SF BUILDING + 743 SF BUILDING ADDITION = 7,906 SF TOTAL (RESTAURANT - 8 SPACES PER 1,000 SQ. FT.)
7,908 SQ. FT. * 8 SPACES = 64 SPACES
1,000 SQ. FT. * 4 SPACES = 4 HANDICAPPED SPACES (1 VAN)
51-100 PARKING SPACES = 3 MOTORCYCLE
1:20 AUTOMOBILE, (85/20) = 5 BICYCLE

PROVIDED
TOTAL SPACES = 85 SPACES
4 HANDICAPPED SPACES (1 VAN)
4 MOTORCYCLE
5 BICYCLE

ADDRESS:

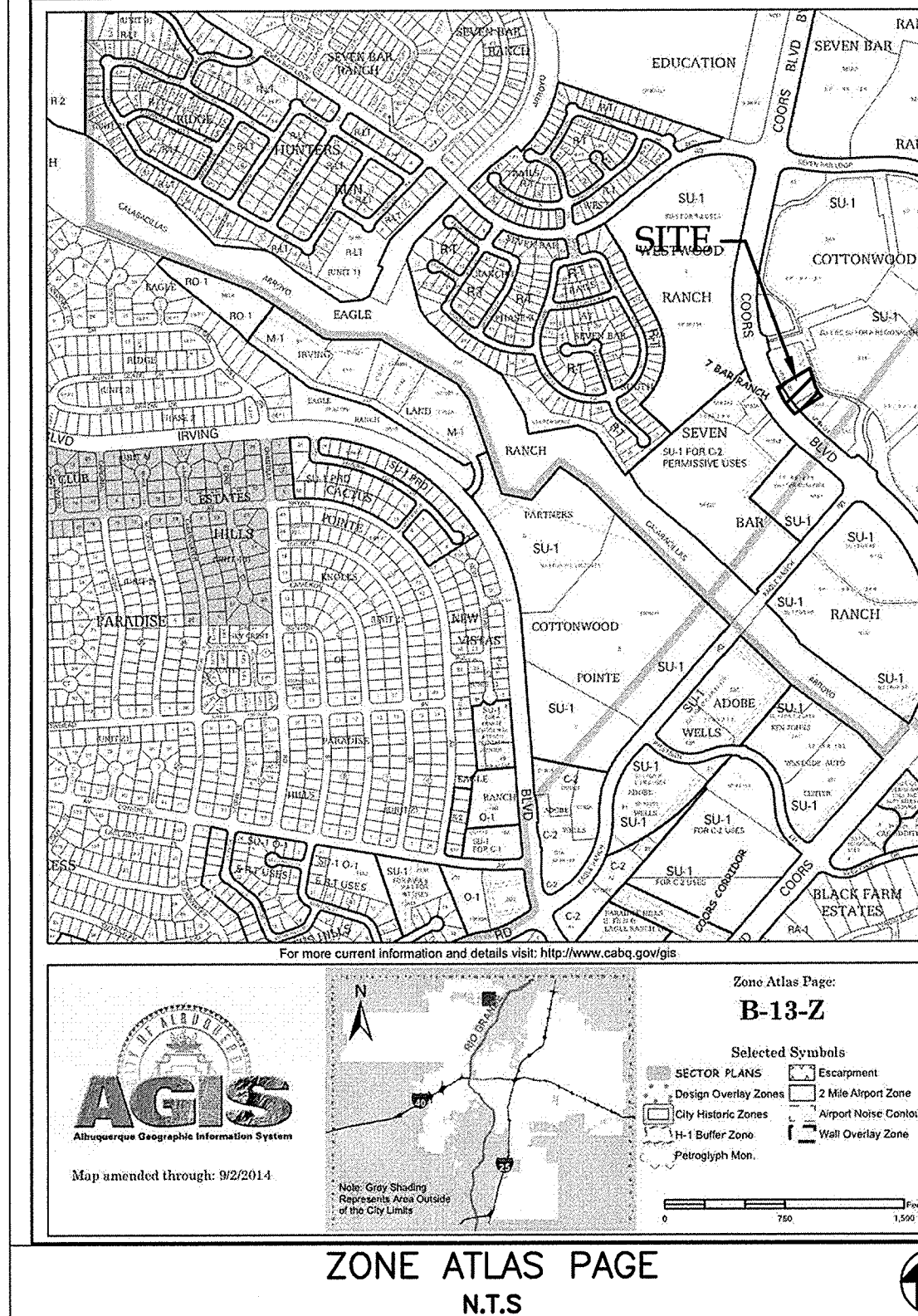
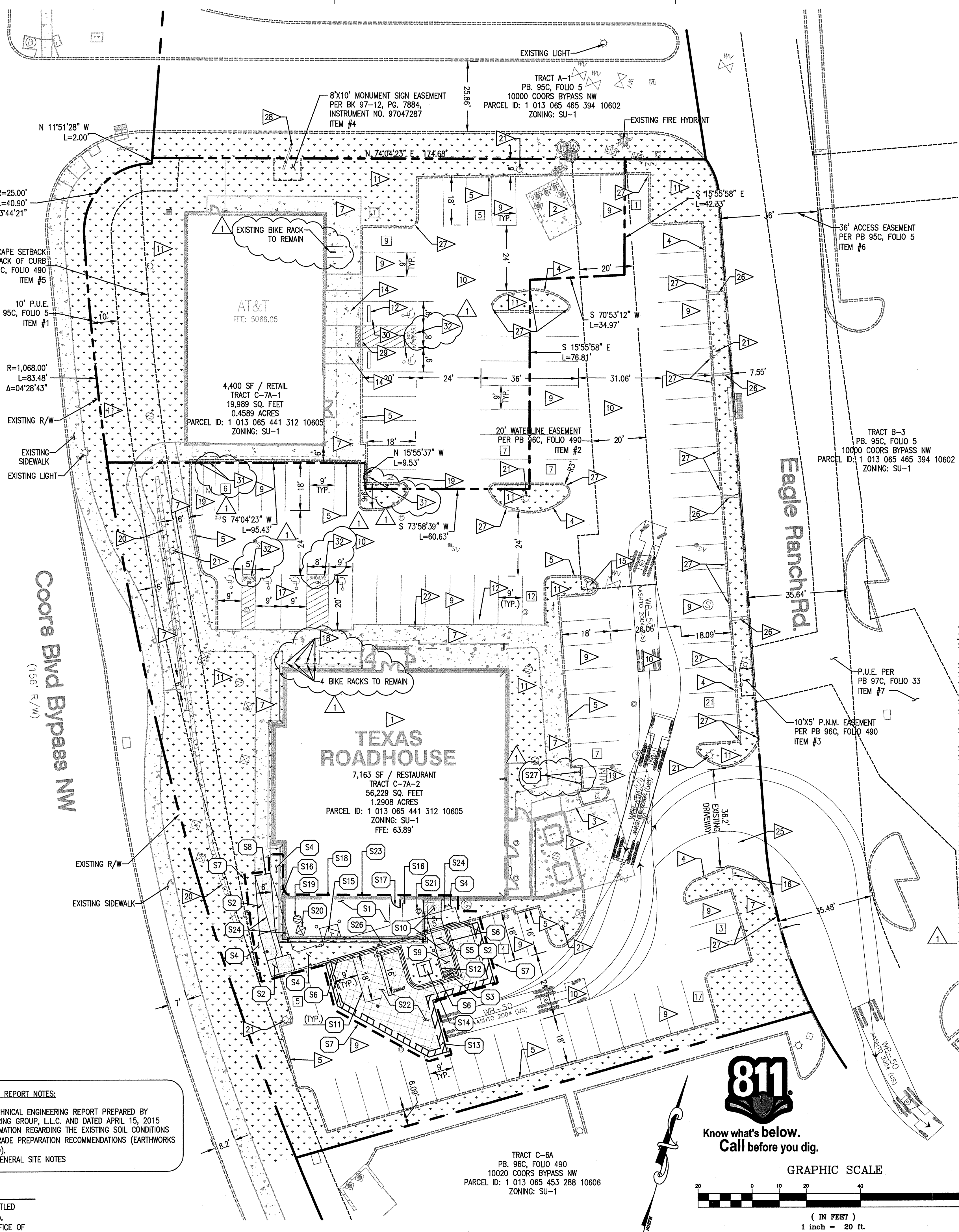
10030 COORS BOULEVARD BYPASS NW
ALBUQUERQUE, NM 87104

LEGAL DESCRIPTION:

TRACT C-7A-2, COTTONWOOD MALL, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT FOR TRACTS C-7A-1 AND C-7A-2, COTTONWOOD MALL (BEING COMPRISED OF TRACT C-7A, COTTONWOOD MALL) CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 27, 2016, IN BOOK 2016C, PAGE 47.

GEOTECHNICAL ENGINEERING REPORT NOTES:

- REFER TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY EARTHWORKS ENGINEERING GROUP, L.L.C. AND DATED APRIL 15, 2015 FOR ADDITIONAL INFORMATION REGARDING THE EXISTING SOIL CONDITIONS AND PROPOSED SUBGRADE PREPARATION RECOMMENDATIONS (EARTHWORKS PROJECT NO. A15-170)
- SEE SHEET 1.0 FOR GENERAL SITE NOTES



GENERAL SHEET NOTES:

- PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS AND COA ZONING CODE
- SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE, AND UTILITY INFORMATION.
- SIGNS: SEE BUILDING ELEVATIONS FOR DESCRIPTION OF SIGNAGE ON BUILDING.
- DIMENSIONS ARE TO FACE OF CURB, OR WALL OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- PEDESTRIAN ACCESS RAMP WITHIN THE PUBLIC ROW WILL BE CONSTRUCTED PER COA STD DWG. #2426
- ALL CURBS TO BE DESIGNED AND BUILT ACCORDING TO THE COA STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHERE POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE COA ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM. UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVEL.
- OWNER WILL BE RESPONSIBLE FOR THE PROPOSED/EXISTING LANDSCAPING IN THE RIGHT OF WAY.
- EXISTING ENTRANCE RADIUS TAKEN FROM EXISTING SITE PLAN, NOT FIELD VERIFIED.

SITE KEY NOTES (PROPOSED):

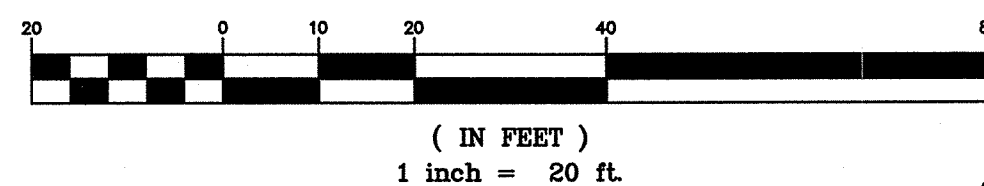
- PROPOSED TEXAS ROADHOUSE BUILDING ADDITION(SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- PROPOSED 5" CONCRETE SIDEWALK. SEE DETAIL SHEET C7.0
- PROPOSED DETECTABLE WARNING PLATE. SEE DETAIL SHEET C7.0
- PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS). REPLACE AND REGRADE EXISTING LANDSCAPE AREAS THAT ARE DISTURBED DUE TO NEW CONSTRUCTION.
- PROPOSED ADA PATH OF TRAVEL
- PROPOSED REVERSE PITCH CONCRETE CURB AND GUTTER (DEMOLISH EXISTING CURB & GUTTER). PER CITY OF ALBUQUERQUE STANDARDS (CURB TYPE, MEDIAN C & G). SEE DETAIL SHEET C7.1
- GENERAL SCOPE OF WORK LIMITS. SCOPE MAY INCLUDE ITEMS OUTSIDE GENERAL LIMITS OR EXCLUDE ITEMS WITHIN. SEE KEY NOTES ON PLAN FOR ADDITIONAL INFORMATION.
- CONNECT PROPOSED SIDEWALK TO EXISTING
- PROPOSED HANDICAP ACCESSIBLE CURB RAMP AT 12:1 MAXIMUM SLOPE PER LOCAL CODES. SEE DETAIL SHEET C7.0
- PROPOSED 5'X5' HANDICAP ACCESSIBLE LANDING (2% MAX CROSS SLOPE IN ALL DIRECTIONS)
- PROPOSED 4" PAINTED PARKING STALL STRIPING (TYP.) PER LOCAL CODE
- PROPOSED BARRIER CURB. SEE DETAIL SHEET C7.0
- PROPOSED SAWCUT LINE WITH 2" GRIND & OVERLAY, SEE DETAIL SHEET C7.0
- PROPOSED ELECTRICAL TRANSFORMER AND BOLLARDS (CONTRACTOR SHALL COORDINATE WITH POWER COMPANY)
- EXISTING TRANSFORMER AND BOLLARDS TO BE DEMOLISHED (CONTRACTOR SHALL COORDINATE WITH POWER COMPANY) SEE UTILITY PLAN FOR ADDITIONAL INFORMATION
- EXISTING ROOF DRAIN TO BE DEMOLISHED PER ARCHITECTURAL PLANS
- EXISTING BUILDING DOOR TO BE DEMOLISHED PER ARCHITECTURAL PLANS
- EXISTING BUILDING WALL TO BE DEMOLISHED PER ARCHITECTURAL PLANS
- EXISTING AREA DRAIN TO BE DEMOLISHED. REMOVE AND CAP STORM DRAIN
- EXISTING IRRIGATION BOX AND IRRIGATION LINE TO BE RELOCATED
- EXISTING STORM DRAIN CLEAN OUT TO BE DEMOLISHED (SEE GRADING PLAN FOR ADDITIONAL INFORMATION)
- PROPOSED ASPHALT PAVEMENT, SEE DETAIL SHEET C7.0
- EXISTING TEXAS ROADHOUSE BUILDING TO REMAIN AND PROTECTED DURING CONSTRUCTION
- EXISTING SIDEWALK TO BE DEMOLISHED
- PROPOSED LOCATION OF ROOF DRAIN DOWN SPOUT (SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION)
- EXISTING CURB AND GUTTER TO BE DEMOLISHED
- PROPOSED MOTORCYCLE PARKING SIGN, SEE DETAIL SHEET C7.1

SITE KEY NOTES (EXISTING):

- EXISTING TEXAS ROADHOUSE BUILDING TO REMAIN. PROTECT IN PLACE
- EXISTING TRASH ENCLOSURE TO REMAIN. PROTECT IN PLACE
- EXISTING HANDICAP ACCESSIBLE LOADING/DELIVERY RAMP TO REMAIN. PROTECT IN PLACE
- EXISTING CURB AND GUTTER TO REMAIN. PROTECT IN PLACE
- EXISTING REVERSE PITCH CURB AND GUTTER TO REMAIN. PROTECT IN PLACE
- EXISTING CONCRETE BARRIER CURB TO REMAIN. PROTECT IN PLACE
- EXISTING SIDEWALK TO REMAIN. PROTECT IN PLACE
- EXISTING ASPHALT PAVEMENT AND PARKING AREA TO REMAIN. PROTECT IN PLACE
- EXISTING HEAVY DUTY ASPHALT PAVEMENT TO REMAIN. PROTECT IN PLACE
- EXISTING LANDSCAPE AREA TO REMAIN. PROTECT IN PLACE
- EXISTING CONCRETE WHEEL STOPS TO REMAIN. PROTECT IN PLACE
- EXISTING HANDICAP ACCESSIBLE PARKING SIGN TO REMAIN. PROTECT IN PLACE
- EXISTING HANDICAP ACCESSIBLE CURB RAMP TO REMAIN. PROTECT IN PLACE
- EXISTING FIRE HYDRANT AND 6" AUXILIARY VALVE TO REMAIN. PROTECT IN PLACE
- EXISTING STOP SIGN TO REMAIN. PROTECT IN PLACE
- EXISTING HANDICAP ACCESSIBLE PARKING STALL TO REMAIN. PROTECT IN PLACE
- EXISTING 4 MAGLIN MBR 501 BIKE RACKS TO REMAIN. PROTECT IN PLACE
- EXISTING MOTORCYCLE PARKING TO REMAIN. PROTECT IN PLACE
- EXISTING BLOCK RETAINING WALL TO REMAIN. PROTECT IN PLACE
- EXISTING LIGHT POLE TO REMAIN. PROTECT IN PLACE
- EXISTING VETERAN PARKING SIGN TO REMAIN. PROTECT IN PLACE
- EXISTING 1' WIDE CURB OUT TO REMAIN. PROTECT IN PLACE
- EXISTING 24" WIDE WHITE STRIPE (STOP BAR) TO REMAIN. PROTECT IN PLACE
- EXISTING 12" WIDE x 30" HIGH CONCRETE BARRIER CURB WALL TO REMAIN. PROTECT IN PLACE
- EXISTING 1' WIDE CURB OUT TO REMAIN. PROTECT IN PLACE
- EXISTING MONUMENT SIGN TO REMAIN. PROTECT IN PLACE
- EXISTING DEPRESSED CONCRETE CURB TO REMAIN. PROTECT IN PLACE
- EXISTING ACCESSIBLE PARKING SPACES TO REMAIN. PROTECT IN PLACE
- EXISTING MOTORCYCLE PARKING SIGN TO REMAIN. PROTECT IN PLACE
- EXISTING "NO PARKING" PAVEMENT MARKINGS



GRAPHIC SCALE



GreenbergFarrow

COA:
30 Executive Park, Suite 100
Irvine, CA 92614
t: 949 296 0450 f: 949 296 0479

PROJECT TEAM

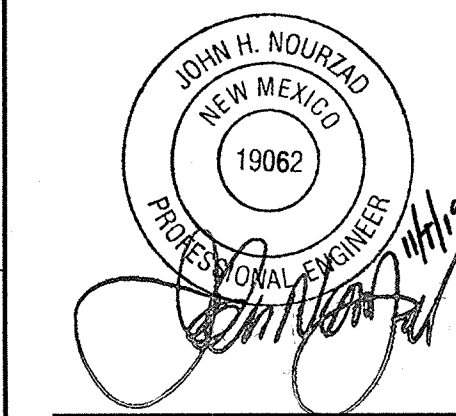
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ISSUE/REVISION RECORD

DATE	DESCRIPTION
10/15/19	FIRE 1 SUBMITTAL
11/05/19	FIRE 1 SUBMITTAL
11/07/19	PERMIT RESPONSE

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
JOHN NOURZAD, PE
PROFESSIONAL ENGINEER
LICENSE NO. 19062

PROJECT MANAGER
MIKE HOLMES

QUALITY CONTROL
MIKE HOLMES

DRAWN BY
CODY SEXTON

PROJECT NAME

TEXAS ROADHOUSE

ALBUQUERQUE NEW MEXICO

10030 COORS BOULEVARD BYPASS NW



PROJECT NUMBER
20191050.0.0

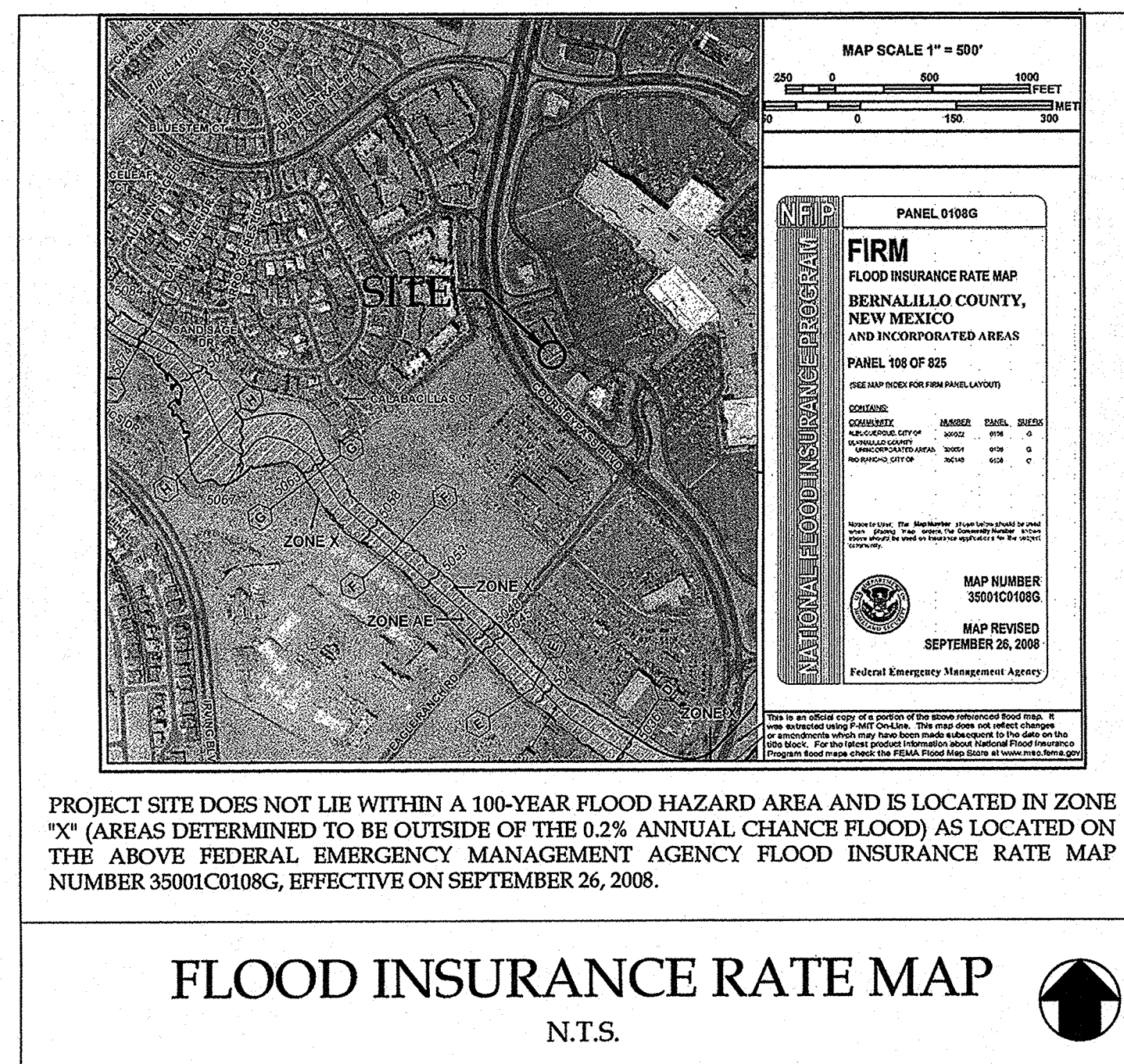
SHEET TITLE

SITE PLAN

SHEET NUMBER

C2.0

NOT ISSUED FOR CONSTRUCTION



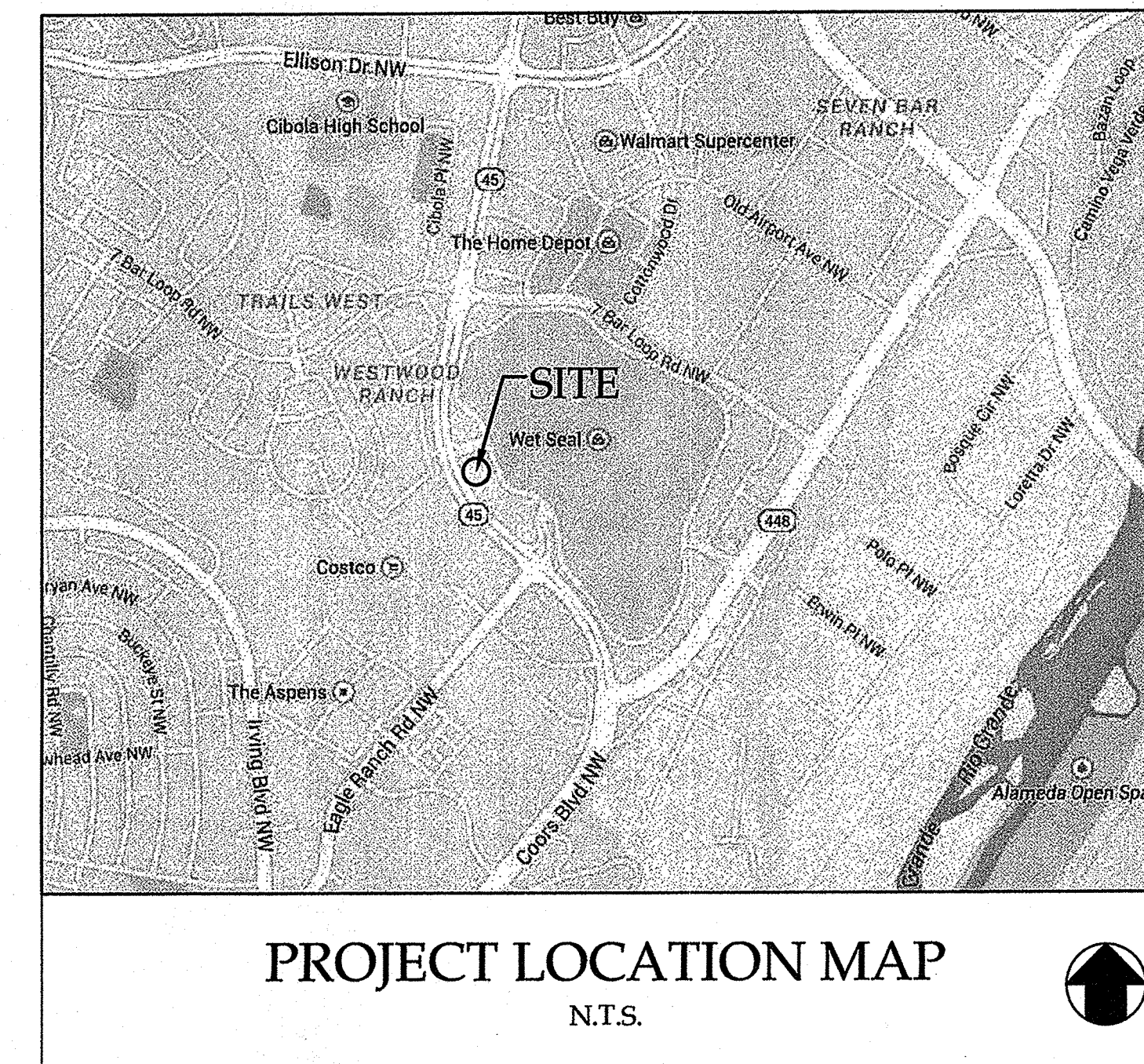
10030 COORS BOULEVARD NW
(TR C-7A-2 OF TR C-7A COTTONWOOD MALL)
ALBUQUERQUE, NEW MEXICO
ZONING: MX-M MIXED-USE-MODERATE
INTENSITY ZONE DISTRICT

DEVELOPER:

TEXAS ROADHOUSE
CONTACT: DUANE BANET
TEXAS ROADHOUSE HOLDINGS, LLC
6040 DUTCHMANS LANE, SUITE 400
LOUISVILLE, KENTUCKY 40205
EMAIL: DUANE.BANET@TEXASROADHOUSE.COM

ENGINEER:

GreenbergFarrow
CONTACT: MIKE HOLMES
30 EXECUTIVE PARK, SUITE 100
IRVINE, CA 92614
TEL: (479) 250-0346
EMAIL: MHOLMES@GREENBERGFARROW.COM



CONTACTS:

PLANNING:

PLANNING DEPARTMENT
600 SECOND STREET N.W.
ALBUQUERQUE, NEW MEXICO 87102
CONTACT: N/A
TEL: (505) 924-3987
EMAIL: N/A

ENGINEERING:

DEVELOPMENT AND BUILDING SERVICES
600 SECOND STREET N.W.
ALBUQUERQUE, NEW MEXICO 87102
CONTACT: N/A
TEL: (505) 924-3987
EMAIL: N/A

WATER:

ALBUQUERQUE-BERNALILLO COUNTY WATER
UTILITY AUTHORITY
ONE CIVIC PLAZA NW
ALBUQUERQUE, NEW MEXICO 87102
TEL: (505) 857-8250

FIRE DEPT:

600 2ND STREET NW
ALBUQUERQUE, NM 87102
TEL: (505) 924-3611
CONTACT: N/A
EMAIL: N/A

ELECTRIC:

PWM
CONTACT: N/A
4201 EDITH BOULEVARD NE
ALBUQUERQUE, NM 88310
TEL: (505) 241-3425
EMAIL: N/A

SEWER:

UTILITY DEVELOPMENT SECTION
600 SECOND STREET N.W.
ALBUQUERQUE, NEW MEXICO 87102
CONTACT: N/A
TEL: (505) 924-3987
EMAIL: N/A

GAS:

NEW MEXICO GAS COMPANY
P.O. BOX 97500
ALBUQUERQUE, NM
TEL: (505) 697-3335

TELEPHONE:

CENTURY LINK
201 3RD STREET, NW
ALBUQUERQUE, NM 87102
TEL: (505) 245-7500

CABLE:

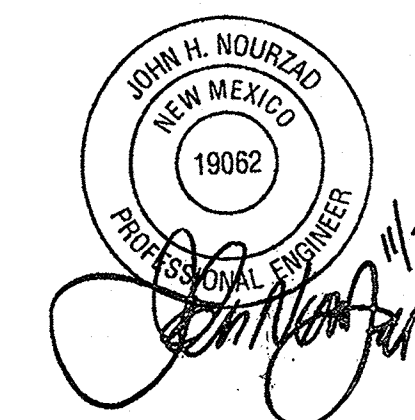
CENTURY LINK
201 3RD STREET, NW
ALBUQUERQUE, NM 87102
TEL: (505) 245-7500

SURVEYOR:

CARTESIAN SURVEYS INC.
CONTACT: WILL PLOTNER JR.
P.O. BOX 44414
RIO RANCHO, NEW MEXICO 87174
TEL: (505) 896-3050

GEOTECHNICAL ENGINEER:

TERRACON CONSULTANTS, INC.
CONTACT: MEAGAN J. DUNEMAN, P.E.
4905 HAWKINS NE
ALBUQUERQUE, NEW MEXICO 87109
TEL: (505) 797-4287
PROJECT NO. 66145081



SHEET INDEX:

- C0.0 COVER SHEET
- C1.0 GENERAL NOTES
- C2.0 SITE PLAN
- C2.1 FIRE 1 ¹
- C3.0 GRADING AND DRAINAGE PLAN
- C3.1 STORM SEWER SIZING PLAN
- C3.2 DRAINAGE PLAN
- C4.0 UTILITY PLAN
- C5.0 STORMWATER POLLUTION PREVENTION PLAN
- C6.0 TRAFFIC CIRCULATION PLAN
- C7.0 CONSTRUCTION DETAILS
- C7.1 CONSTRUCTION DETAILS

ATTACHMENTS

- ALTA/ACSM LAND TITLE SURVEY
- L1.0 LANDSCAPE PLAN
- L2.0 LANDSCAPE NOTES AND DETAILS

ADMINISTRATIVE AMENDMENT	
FILE #	PROJECT #
~650 sf building	addition & parking
adjustment	
APPROVED BY	DATE
	14 Nov 2019

PROJECT BENCHMARKS:

NAVD 88 - ACS MONUMENT "10-B13" HAVING AN ELEVATION OF 5074.478

JOB NO. 20191050.0

DATE: 11-07-2019



21 South Evergreen Avenue
Suite 200
Arlington Heights, IL 60005
847.788.9200
www.greenbergfarrow.com
Designing Solutions Together

September 9, 2021

To City of Albuquerque, NM

Project Texas Roadhouse – Albuquerque, NM

Re Traffic Certification letter

Project #: 20191050

TRAFFIC CERTIFICATION

I, MICHAEL HAAS P.E. NMPE OR NMRA, OF THE FIRM GREENBERGFARROW, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/07/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOHN WESTENSKOW OF THE FIRM BUFFALO CONSTRUCTION, INC. I FURTHER CERTIFY HAVE DETERMINED BY VISUAL INSPECTION THROUGH SITE PHOTOGRAPHS THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR THE RELEASE OF THE PROJECT'S TRANSPORTATION CERTIFICATION OF OCCUPANCY (B13D014).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP



Mh Haas
expires 12/31/22

September 9, 2021

Date

September 9, 2021





City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Texas Roadhouse **Building Permit #:** BP-2019-36575 **Hydrology File #:** _____
DRB#: 2019-002999 **EPC#:** _____ **Work Order#:** _____
Legal Description: See ALTA Survey, PDF 13 of 17, in the attached Approved Administrative Amendment Plans
City Address: 10030 Coors Boulevard Bypass NW, Albuquerque, NM 87114

Applicant: GreenbergFarrow **Contact:** Brandon Goldberg
Address: 21 South Evergreen Avenue - Suite 200 Arlington Heights, IL 60005
Phone#: 224-764-0369 **Fax#:** NA **E-mail:** bgoldberg@greenbergfarrow.com

Other Contact: Texas Roadhouse Holdings LLC **Contact:** Caitlin Kincaid
Address: 6040 Dutchmans Lane, Louisville, KY 40205
Phone#: 502-855-5556 **Fax#:** NA **E-mail:** caitlin.kincaid@TexasRoadhouse.com

TYPE OF DEVELOPMENT: 1 PLAT (# of lots) _____ RESIDENCE X DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? X Yes _____ No

DEPARTMENT X TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- X ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ____ BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 9/2/21 **By:** Brandon Goldberg

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____