

CITY OF ALBUQUERQUE



August 17, 2017

Joseph Simons, R.A.
Simons Architecture
P.O. Box 67048
Albuquerque, NM 87193

Re: Melloy Dodge, 9621 Coors Blvd. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 11-16-16 (B13D019)
Certification dated 8-10-17

Dear Mr. Simons,

Based upon the information provided in your submittal received 8-11-17,
Transportation Development cannot approve the release of Certificate of Occupancy
for the above referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must
be addressed:

- Please provide updated Administrative Amendment for the new parking spaces
and building addition.

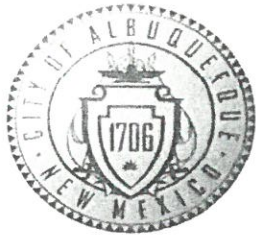
Once corrections are complete resubmit acceptable package along with a completed
Drainage Transportation Information Sheet to front counter personnel for log in and
evaluation by Transportation. For digital submittal please submit to
PLNDRS@cabq.gov. If you have any questions, please contact me at (505) 924-3861.

Sincerely,


Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

MA/MO via: email

C: File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11 2016)

Project Title: MELLOY DODGE Building Permit #: 2017-01547 Hydrology File #: B130019
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: UNPLATTED / SPARTEN CORP.
City Address: 9621 COOPS BLVD. NW ABO. NM 87114

Applicant: MELLOY DODGE Contact: BILL MELLOY
Address: 9621 COOPS BLVD.
Phone#: 221-5193 Fax#: _____ E-mail: _____
Other Contact: SIMONS ARCHITECTURE P.C. Contact: JOE SIMONS
Address: P.O. Box 67048
Phone#: 480-4796 Fax#: _____ E-mail: joe@simonsarchitecture.com

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 8.10.17

By: JOE SIMONS
JS

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



PO Box 67408
ALBUQUERQUE, NM 87193-7408
JFS @ SIMONSARCHITECTURE.COM

505.480.4796 VOICE

TRAFFIC CERTIFICATION

I, JOE SIMONS JR., NMRA 002890, OF THE FIRM SIMONS ARCHITECTURE PC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 2/14/17 AT THE ADDRESS 9621 COOPS BLVD., ALBUQUERQUE, NM AND PERMIT NUMBER IS BP 2017-01547. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOE SIMONS JR., OF THE FIRM SIMONS ARCHITECTURE. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/26/16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (PERMANENT). ANY ALTERATIONS TO THE APPROVED TCL IS NOTED IN RED ON THE ATTACHED PLAN AND IS NOTED AS FOLLOWS:

- STAIRS REMOVED, RAMP (ADA) REMAINS.
- 8 PARKING SPACES STRIPPED TO 7

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



J. S.
Signature of Engineer or Architect

8.10.17
Date

Melloy Dodge

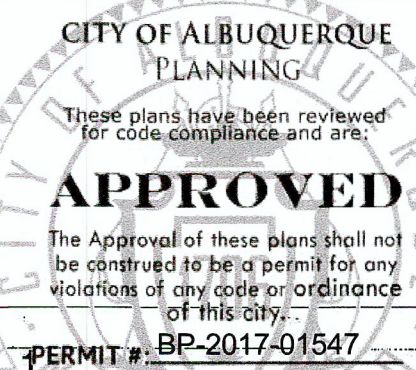
Administrative Ammendment

PARKING CALCULATIONS:

SHOWROOM / OFFICE - 1 SPACE / 200 S.F. 17,282 S.F. = 87 SPACES
SERVICE / WAREHOUSE - 1 SPACE / 1000 S.F. 41,134 S.F. = 42 SPACES

TOTAL SPACES REQUIRED 129 SPACES

TOTAL SPACES PROVIDED ~~540~~ SPACES
~~539~~



PROJECT DESCRIPTION: UNPLANNED DEVELOPMENT
LEGAL DESCRIPTION: UNPLANNED DEVELOPMENT on the job site for all CORPORATIONS
PHYSICAL ADDRESS: 9621 COORS BLVD. NW ALBUQUERQUE, NM 87114
CURRENT ZONING: SU-1 ZONING DESCRIPTION: C-2 USES
ZONE MAP: B13
NEIGHBORHOOD ASSOC: PARADISE HILLS CIVIC COORS CORRIDOR
AREA PLAN: WESTSIDE STRATEGIC PLAN

ADMINISTRATIVE AMENDMENT
FILE #12-10129 PROJECT #1000344
Service Landscape along Coors
update fence & landscaping sign
APPROVED BY *Chamone* DATE *11/19/12*

1500 S.F. VEHICLE SERVICE ADDITION 11.16.16

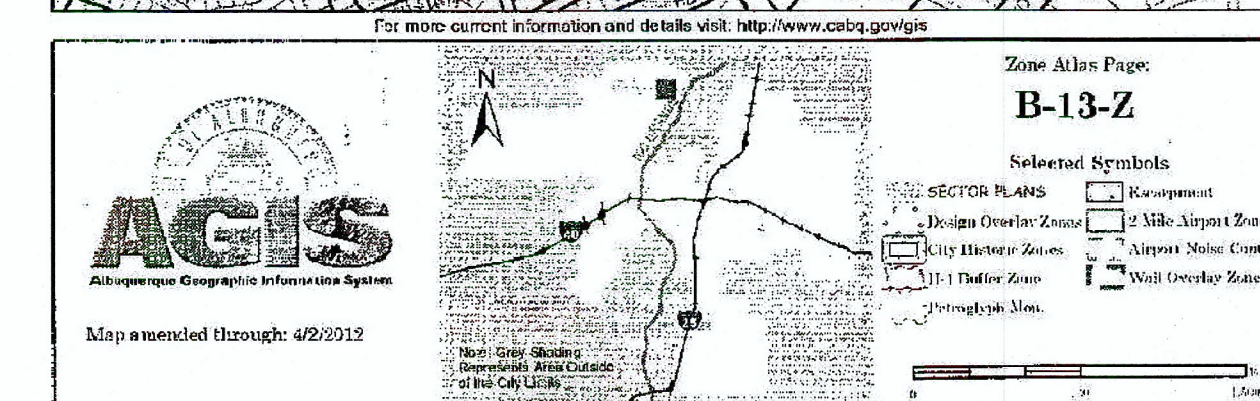
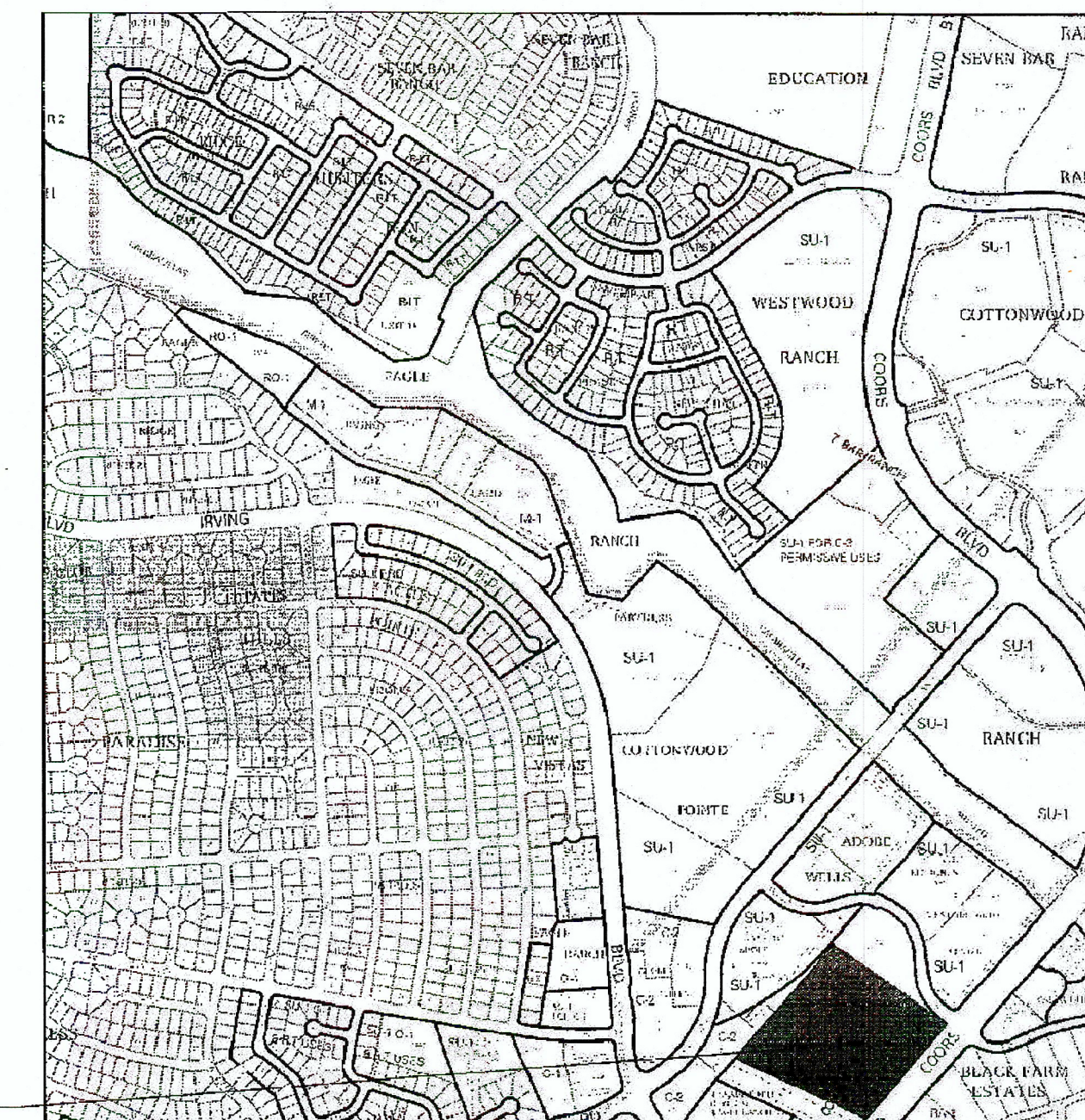
Building Painting: Δ
Scope of Building Work Limited to Re-Painting Existing Metal Building.
Color Selections as Noted on Building Elevations.

Building Painting / Stucco: Δ
Scope of Building Work Limited to Reconfiguration of East Facade and
Building Signage and Paint / Stucco of Entire Building. Configuration
and Color Selections as Noted on Building Elevations.

Proposed Landscape Renovation:
Scope Limited to Front Yard Landscape Area for the
Replacement of Existing Hi Water use grass with Water
Conserving Xeriscaping. Refer to Landscape Plan for Details.

Proposed New Pylon Sign:
Scope Limited to Replacement of Existing Pylon Sign. Refer to
Signage Details Sheet for Sign Configuration and Finishes.

VICINITY MAP



9621 Coors Blvd NW
Melloy Dodge Dodgeland
9621 Coors Blvd NW
Albuquerque, NM 87114

Architectural Site Plan

Documents Issued for
Administrative Amendment

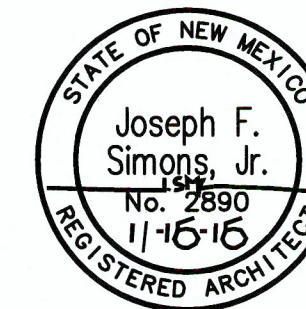
Project No.
11.02.12

Job Number
12.04

Drawing No.
C1

AD.00

D4 Site Plan
Scale: 1" = 50 ft



SIMONS ARCHITECTURE IS NOT RESPONSIBLE FOR ANY WORK DONE BY CONTRACTORS/ SUB-CONTRACTOR OR SUPPLIER. ALL MEASUREMENTS AND DIMENSIONS TO BE CHECKED & CONFIRMED BY OWNER & CONTRACTOR.

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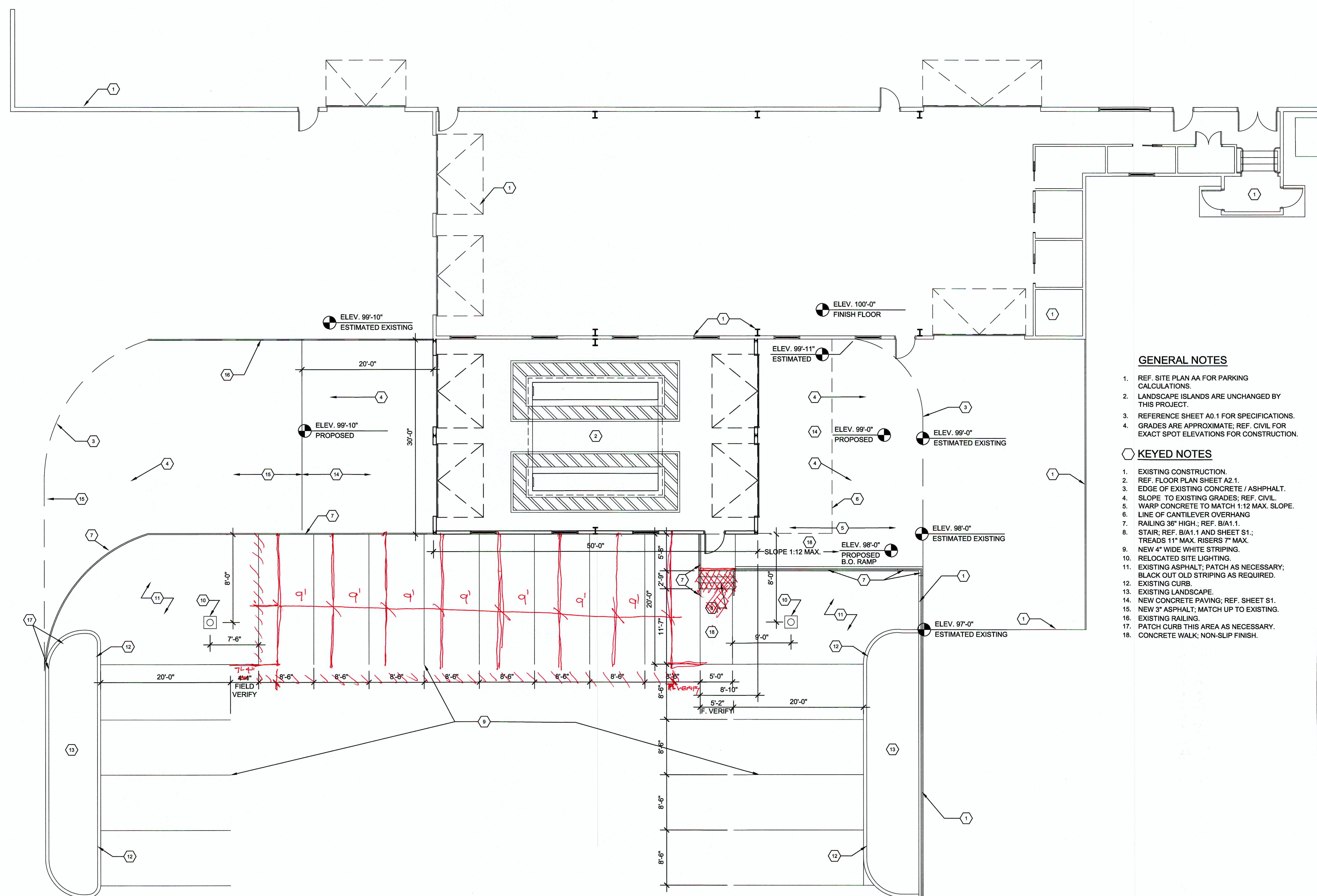
**SIMONS
ARCHITECTURE**

MELLOY DODGE
9621 COORS BLVD.
ALBUQUERQUE, NM 87114
BERNALILLO COUNTY

JOB NUMBER
JOS-046
DATE
11.16.16
REVISIONS

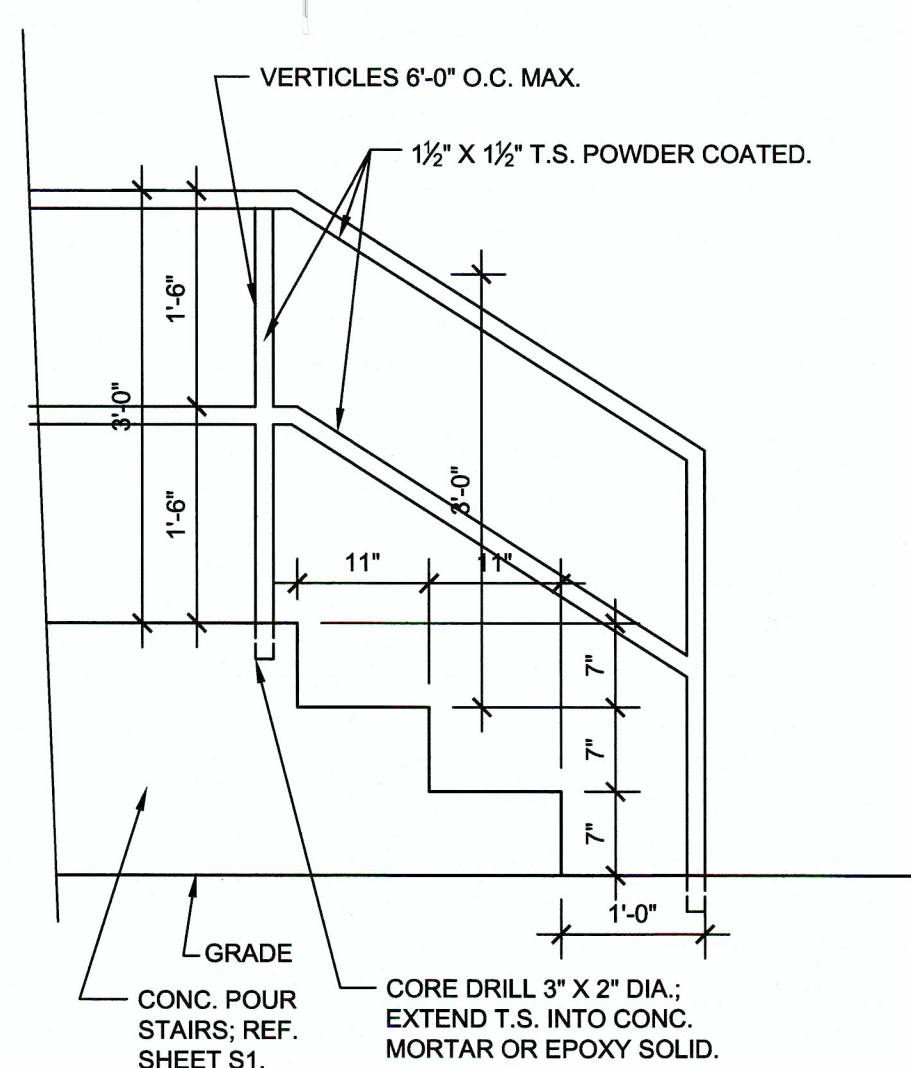
DESIGNED & DRAWN BY
JFS

A1.1





1. REF. SITE PLAN AA FOR PARKING CALCULATIONS.
2. LANDSCAPE ISLANDS ARE UNCHANGED BY THIS PROJECT.
3. REFERENCE SHEET A0.1 FOR SPECIFICATIONS.
4. GRADES ARE APPROXIMATE; REF. CIVIL FOR EXACT SPOT ELEVATIONS FOR CONSTRUCTION

1. EXISTING CONSTRUCTION.
2. REF. FLOOR PLAN SHEET A2.1.
3. EDGE OF EXISTING CONCRETE / ASPHALT.
4. SLOPE TO EXISTING GRADES; REF. CIVIL.
5. WARP CONCRETE TO MATCH 1:12 MAX. SLOPE
6. LINE OF CANTILEVER OVERHANG
7. RAILING 38" HIGH; REF. B/A1.1.
8. STAIR; REF. B/A1.1 AND SHEET S1.
9. TREADS 11" X, RISERS 7" MAX.
10. NEW 4" WIDE WHITE STRIPING.
11. RELOCATED SITE LIGHTING.
12. EXISTING ASPHALT; PATCH AS NECESSARY;
BLACK OUT OLD STRIPING AS REQUIRED.
13. EXISTING CURB.
14. EXISTING LANDSCAPE.
15. NEW CONCRETE PAVING; REF. SHEET S1.
16. NEW 3" ASPHALT; MATCH UP TO EXISTING.
17. EXISTING RAILING.
18. PATCH CURB THIS AREA AS NECESSARY.
19. CONCRETE WALK; NON-SLIP FINISH.



RAILING DETAIL

TRAFFIC CONTROL LAYOUT