



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

June 7, 2002

Doug Heller, Registered Architect
1104 Hermosa Dr. S.E.
Albuquerque, NM 87108

Re: Certification Submittal for Final Building Certificate of Occupancy for
Rasta New Mexico Plant, [B-13 / D020]
4485 Irving Blvd. N.W.
Architect's Stamp Dated 05/31/02

Dear Mr. Heller:

The TCL / Letter of Certification submitted on June 4, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

Sincerely,

Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Engineer
Hydrology file
Mike Zamora

4 June 2002

Mr. Mike Zamora
City of Albuquerque
Transportation Division
600 Second Street NW
Albuquerque, NM 87102

Re: Rastra New Mexico Plant
4485 Irving Blvd NW
Transportation Certification

Dear Mike:

Attached is the as-built site plan and approved Traffic Circulation Layout for the above referenced project. I certify that the site has been constructed significantly as was approved through your office with the exception of the driveway on the east side of the warehouse. Please note that the driveway and parking areas are complete except for this small area. The warehouse is currently being fixtured with manufacturing equipment, and once the equipment is installed and the traffic circulation finalized, the drive will be installed.

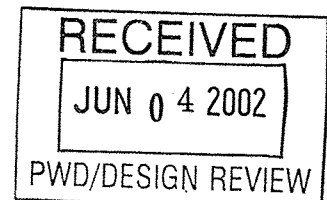
Please feel free to contact me if you have any questions.

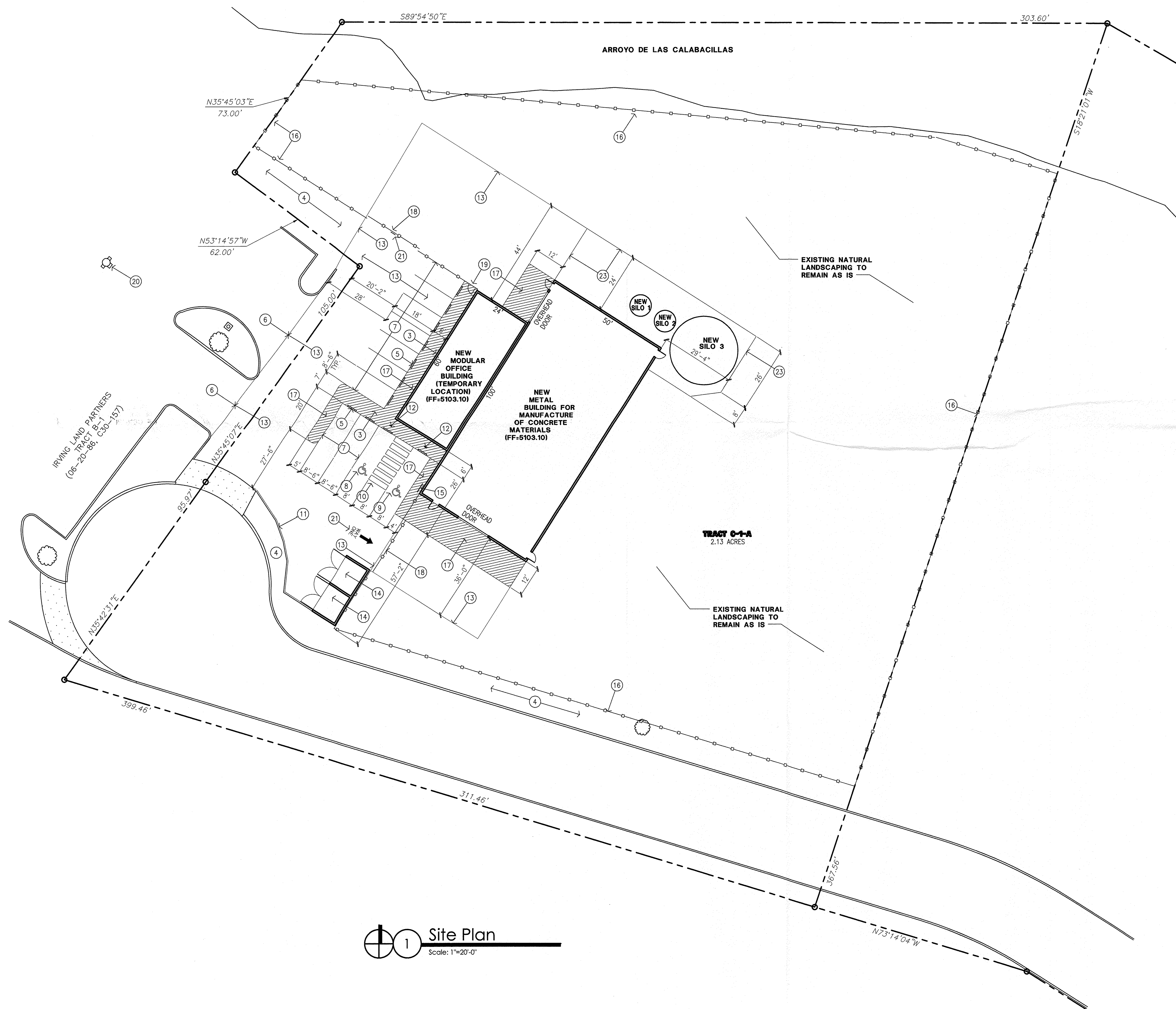
Sincerely,

Mullen Heller Architecture PC



Douglas Heller





KEYED NOTES

- 1 NEW ELECTRICAL SERVICE. SEE ELECTRICAL
- 2 NOT USED
- 3 NEW ASPHALT SIDEWALK
- 4 NEW LANDSCAPING
- 5 NEW PARKING BUMPER
- 6 EXISTING EDGE OF ASPHALT TO REMAIN
- 7 WHITE PAVEMENT STRIPING FOR 8'-6"x20' PARKING SPACES
- 8 8'x20' HANDICAP VAN PARKING SPACE WITH PAVEMENT SIGN. SEE 2/C2
- 9 8'x20' STANDARD HANDICAP PARKING SPACE WITH PAVEMENT SIGN. SEE 2/C2
- 10 HANDICAP AISLE STRIPING SEE 4/C2
- 11 NEW 6" CONCRETE CURB
- 12 HANDICAP PARKING SIGN. SEE 3/C2
- 13 NEW ASPHALT PAVING. SEE 7/C2
- 14 RASTRA DUMPSTER AND RECYCLING ENCLOSURE. SEE 1/C2
- 15 BIKE RACK. SEE 5/C2
- 16 NEW CHAIN LINK FENCE
- 17 WHITE PAVEMENT STRIPING
- 18 24' SLIDING CHAIN LINK GATE
- 19 36" WIDE CHAIN LINK MAN GATE
- 20 EXISTING FIRE HYDRANT TO REMAIN
- 21 "ONE WAY" PAVEMENT SIGNAGE AND DIRECTIONAL ARROW
- 22 "DO NOT ENTER-WRONG WAY" SIGNAGE FASTENED TO GATE
- 23 LIMIT OF NEW CONCRETE PAD

PARKING CALCULATIONS

OFFICE: 1,440 SF / 200 = 8 SPACES
WAREHOUSE: 5,000 SF / 2,000 = 3 SPACES
SPACES REQUIRED: 11 SPACES
SPACES PROVIDED: 11 SPACES

GENERAL NOTES

AT THE TIME OF THE NEW OFFICE BUILDING CONSTRUCTION, THE TRANSPORTATION DIVISION CONCERNS SHALL BE ADDRESSED INCLUDING RAISED SIDEWALKS AND HANDICAP RAMPS

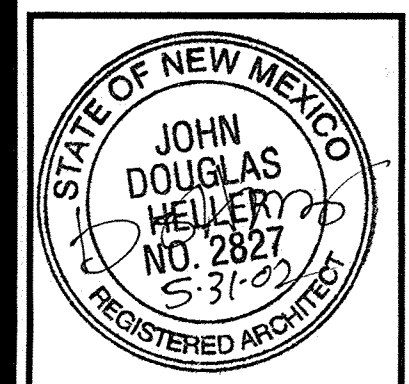
LEGAL DESCRIPTION

IRVING LAND PARTNERS, TRACT C-1-A AND C-1-B, SITUATE WITHIN SECTION 7, TOWNSHIP 11, NORTH RANGE 3 EAST N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM



Mullen Heller
Architecture P.C.

1104 Hermosa Drive SE
Albuquerque 87108
505 268 4144[p]
505 268 4244 [f]



job number	01-52
drawn by	JDH
project manager	JDH
date	10/17/01

project title
Rastra New Mexico Plant Silo Foundations
Traffic Control Layout for the Modular Office Building
Albuquerque, NM

sheet title
As-Built Site Plan

sheet-

C1

rev
A
B
C
D
E

date
2/4/02
1/7/01

by
JDH

revision
JDH

PER C.O.A. TRANSPORTN REVIEW
JDH

PER C.O.A. TRANSPORTN REVIEW
JDH