



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department Transportation Development Services Section

January 8, 2001

Doug Heller, AIA
Mullen Heller Architecture P.C.
1104 Hermosa Dr. SE
Albuquerque, NM 87108

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Rastra NM Plant, [B13 / D20]
4485 Irving Blvd. NW
Architect's Stamp Dated 1/07/02

Dear Mr. Heller:

The TCL submittal, dated 1/08/02, is approved for acceptance by this office and is stamped and signed as such in condition that you place bollards in appropriate setting in the east side of the building near the door entries. Four copies will be required: two for submittal of building permit plans, one for this office and one to be kept by you to be used for certification of the site for final C.O. for Hydrology/Transportation.

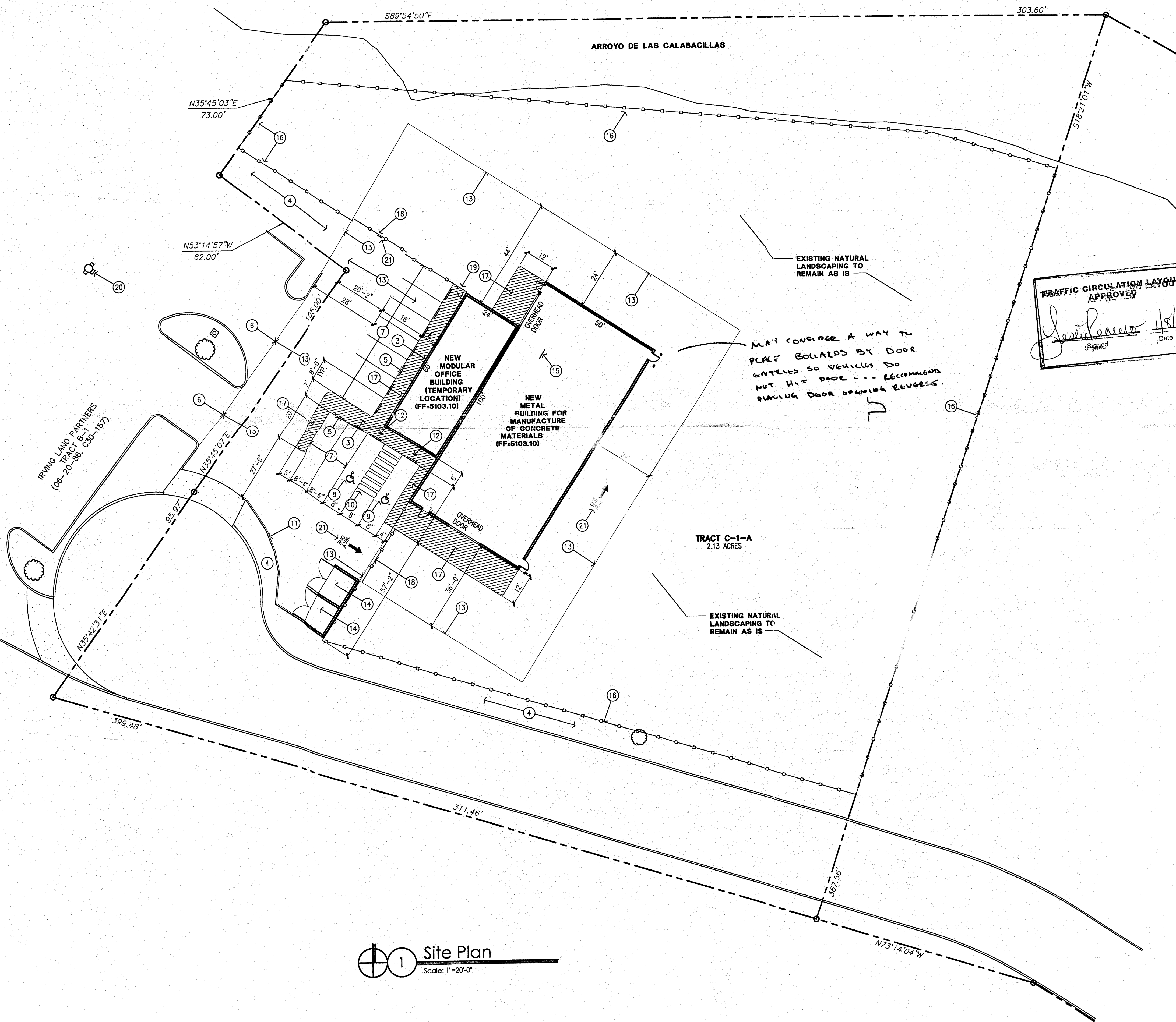
When superintendent of project is ready to call for a Temporary C.O. immediate issuance is no longer possible at that time. An exact copy of the approved TCL, marked up, showing incomplete work remaining, along with a letter of certification is required prior to issuance of Temporary C.O.

When site is complete and a Final C.O. is needed, a Letter of Certification, stating site was built in substantial compliance, needs to be attached to your stamped, approved TCL. All documentation must be submitted with a completed Drainage Information Application sheet also used for the Grading and Drainage submittal to Hydrology at the Development Services Center of Plaza Del Sol Building.

Sincerely,

Leslie Romero
Engineering Associate
Development and Building Services
Public Works Department

c: Engineer
Terri Martin, Hydrology



1 Site Plan
Scale: 1"=20'-0"

KEYED NOTES

- 1 NEW ELECTRICAL SERVICE. SEE ELECTRICAL.
- 2 NOT USED
- 3 NEW ASPHALT SIDEWALK
- 4 NEW LANDSCAPING
- 5 NEW PARKING BUMPER
- 6 EXISTING EDGE OF ASPHALT TO REMAIN
- 7 WHITE PAVEMENT STRIPING FOR 8'-6"x20' PARKING SPACES
- 8 8'x20' HANDICAP VAN PARKING SPACE WITH PAVEMENT SIGN. SEE 2/C2
- 9 8'x20' STANDARD HANDICAP PARKING SPACE WITH PAVEMENT SIGN. SEE 2/C2
- 10 HANDICAP AISLE STRIPING SEE 4/C2
- 11 NEW 6" CONCRETE CURB
- 12 HANDICAP PARKING SIGN. SEE 3/C2
- 13 NEW ASPHALT PAVING. SEE 7/C2
- 14 RASTRA DUMPSTER AND RECYCLING ENCLOSURE. SEE 1/C2
- 15 BIKE RACK. SEE 5/C2
- 16 NEW CHAIN LINK FENCE
- 17 WHITE PAVEMENT STRIPING
- 18 24' SLIDING CHAIN LINK GATE
- 19 36" WIDE CHAIN LINK MAN GATE
- 20 EXISTING FIRE HYDRANT TO REMAIN
- 21 "ONE WAY" PAVEMENT SIGNAGE AND DIRECTIONAL ARROW
- 22 "DO NOT ENTER-WRONG WAY" SIGNAGE FASTENED TO GATE

PARKING CALCULATIONS

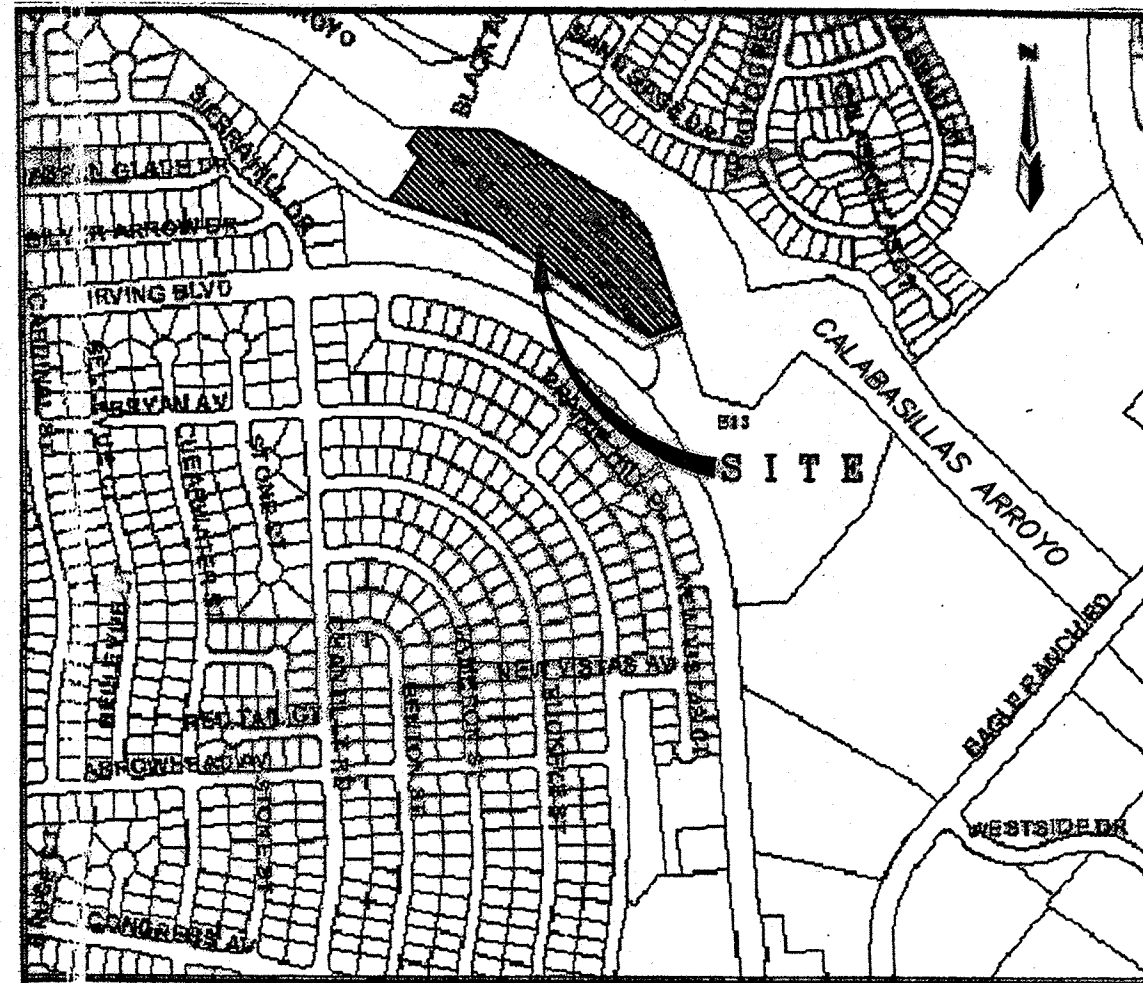
OFFICE: 1,440 SF / 200 = 8 SPACES
WAREHOUSE: 5,000 SF / 2,000 = 3 SPACES
SPACES REQUIRED: 11 SPACES
SPACES PROVIDED: 11 SPACES

GENERAL NOTES

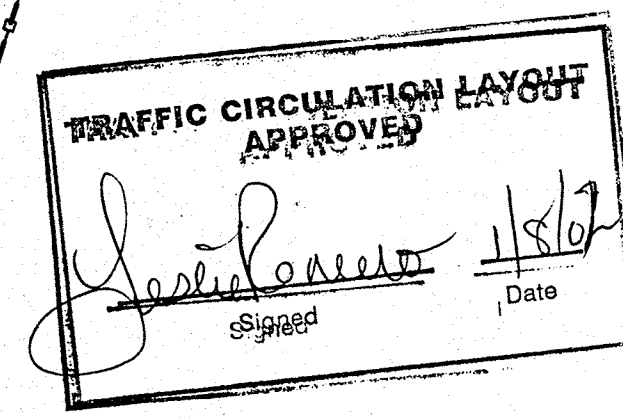
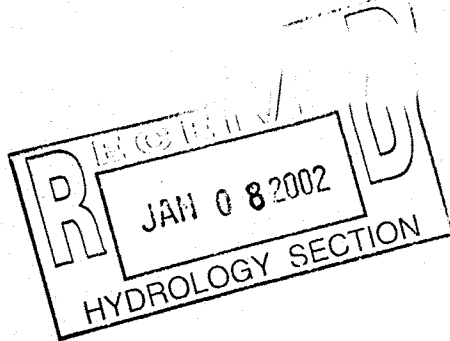
AT THE TIME OF THE NEW OFFICE BUILDING CONSTRUCTION, THE TRANSPORTATION DIVISION CONCERNS SHALL BE ADDRESSED INCLUDING RAISED SIDEWALKS AND HANDICAP RAMPS

LEGAL DESCRIPTION

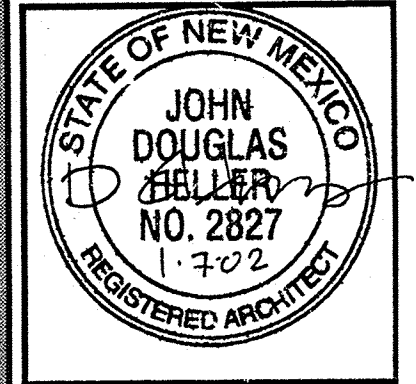
IRVING LAND PARTNERS, TRACT C-1-A AND C-1-B, SITUATE WITHIN SECTION 7, TOWNSHIP 11, NORTH RANGE 3 EAST N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM



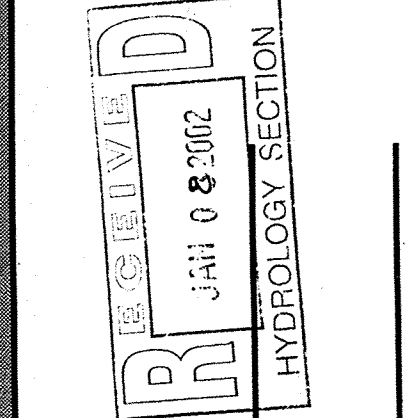
VICINITY MAP ZONE MAP: B-13-Z



1104 Hermosa Drive SE
Albuquerque 87108
505 268 4144[p]
505 268 4244 [f]



project number	01-52
drawn by	JDH
project manager	JDH
date	1/17/01



project title
Rastra New Mexico Plant
Traffic Control Layout for the Modular Office Building
Albuquerque, NM
sheet title
Site Plan