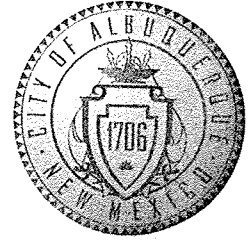


CITY OF ALBUQUERQUE



August 6, 2008

Jean Bordenave, P.E.
Bordenave Designs
P.O. Box 91194
Albuquerque, NM 87199-1194

**Re: CAS Auto Sales, 9790 Coors Boulevard NW,
Certificate of Occupancy – Transportation Development
Certification dated 7-21-08 (B13-D021A)**

Dear Mr. Bordenave,

Based upon the information provided in your submittal received 7-30-08, the above referenced certification is approved for release of permanent Certificate of Occupancy by Transportation Development.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

PO Box 1293

Albuquerque

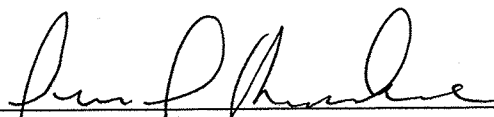
NM 87103

www.cabq.gov

TRAFFIC CERTIFICATION

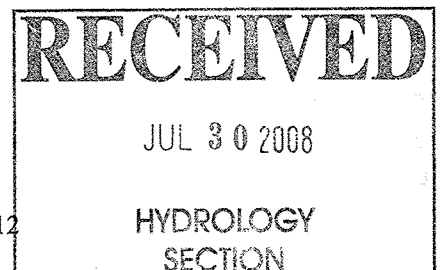
I, JEAN J. BORDENAVE, NMPE&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORCDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02/07/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEAN J. BORDENAVE OF THE FIRM BORDENAVE DESIDGNS. I FURTHER CERTIFY THAT I HAVE PEROSNALLY VISITED THE PROJECT SITE ON 07/16/08 AND HAVE DEDETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

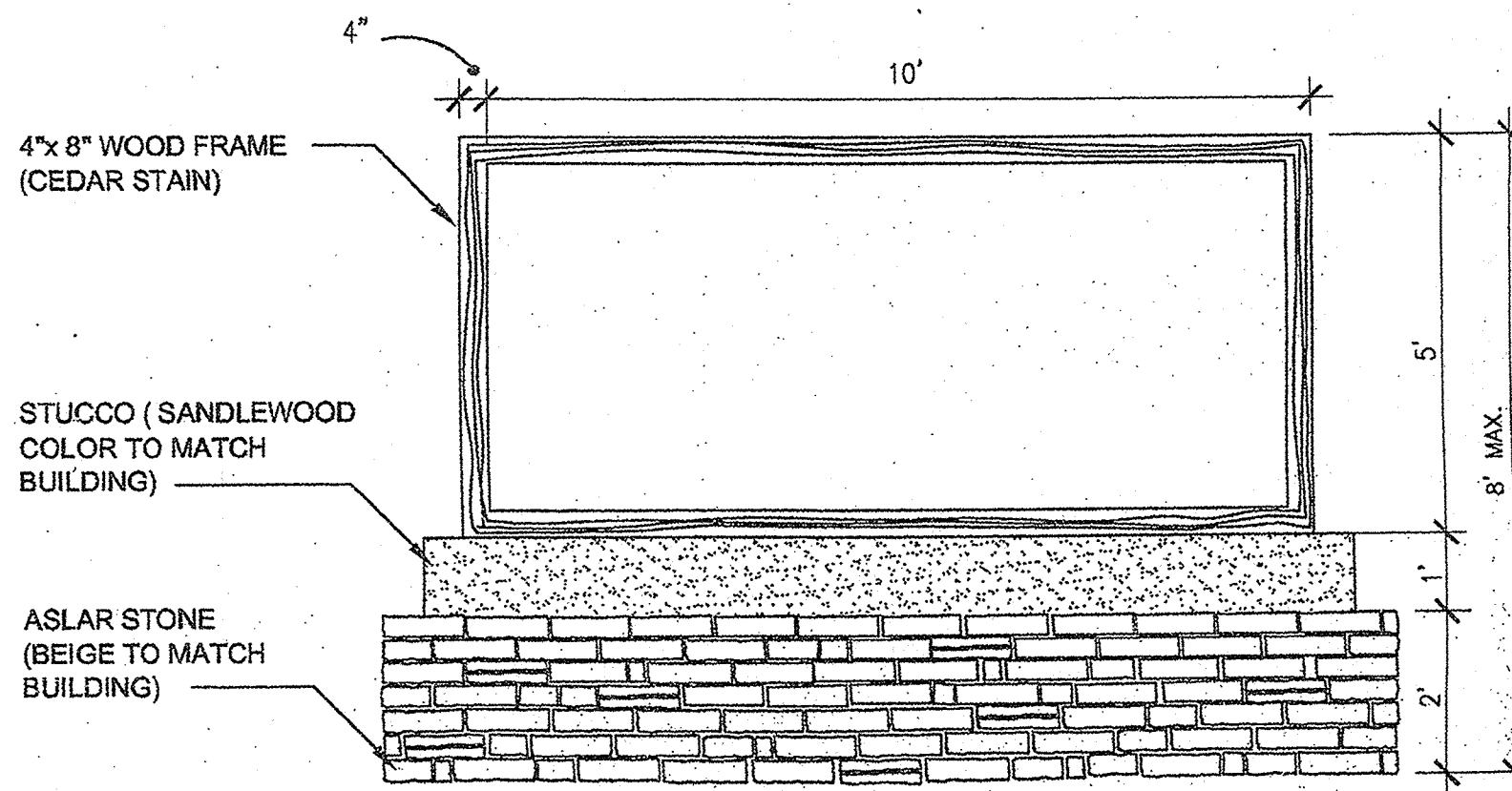
THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


07/21/08

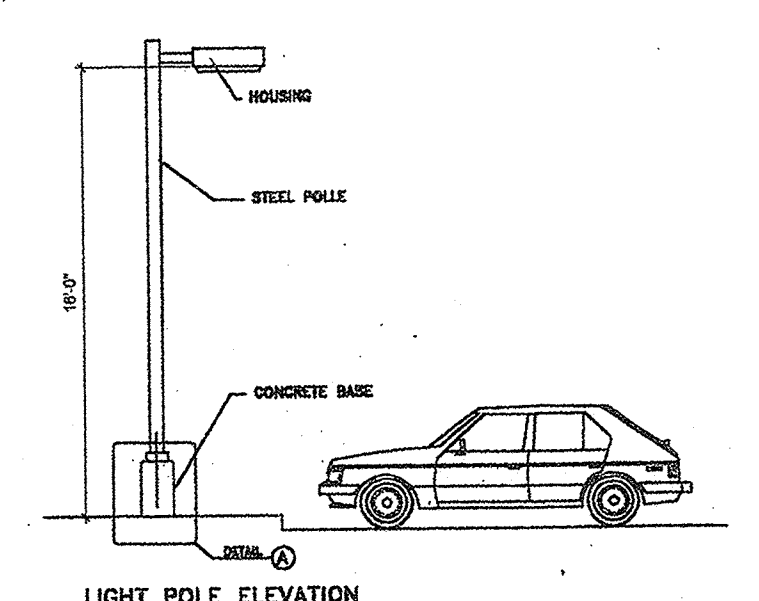
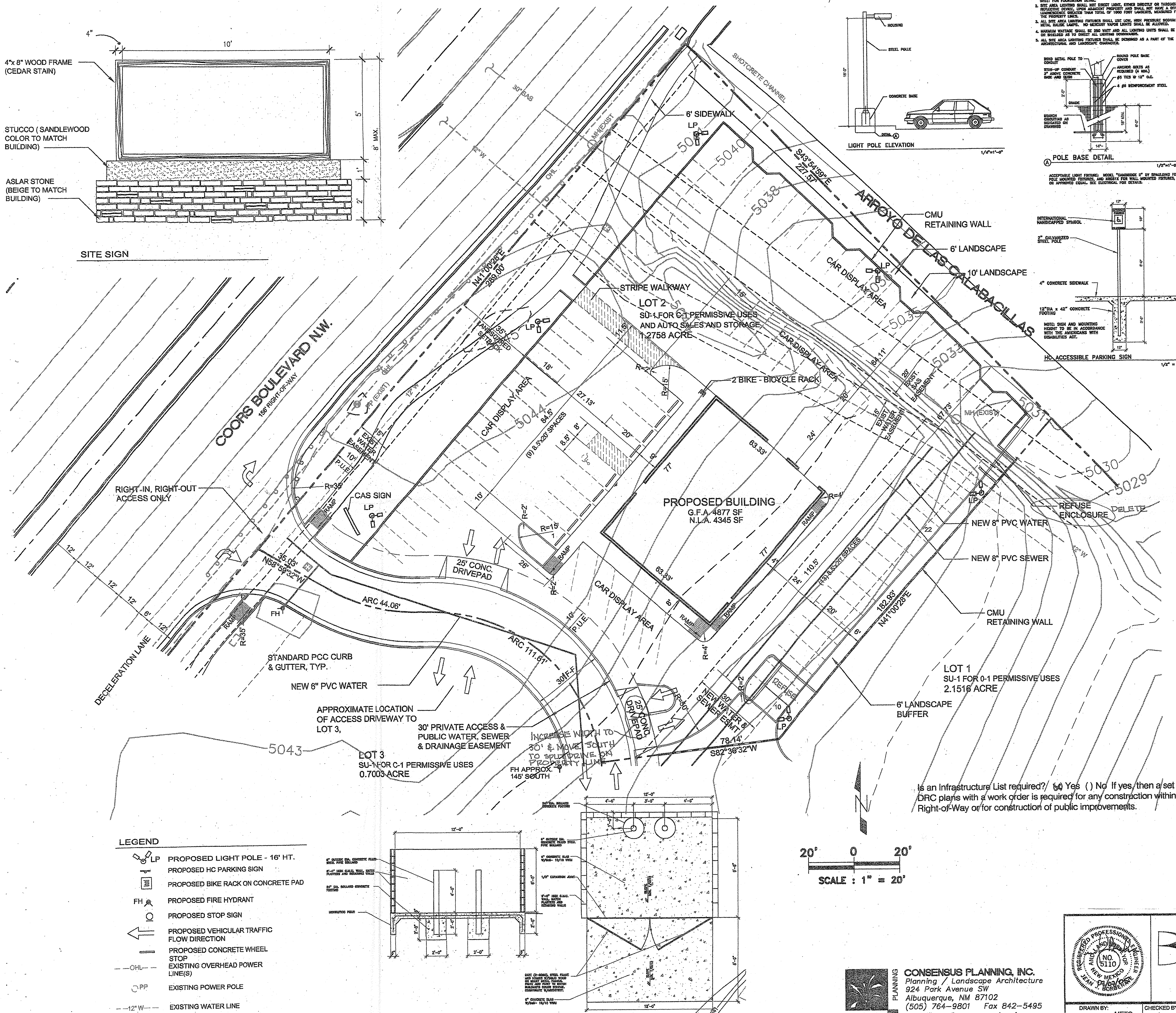


P.O. Box 91194
Albuquerque, NM 87199-1194
Phone (505)823-1344 Fax (505)821-9105 Cell 480-6812
Email jakebordenave@mindspring.com



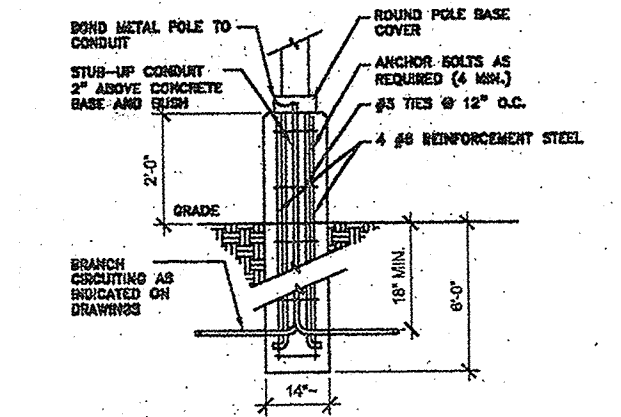


SITE SIGN



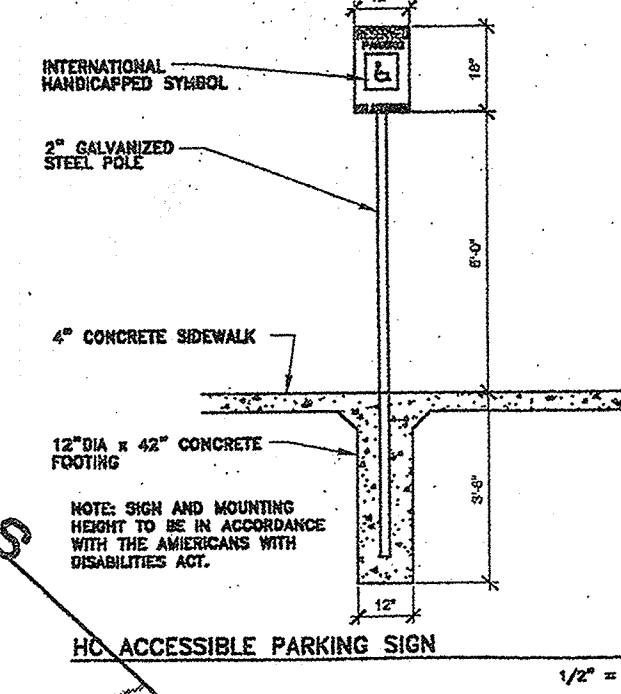
LIGHT POLE ELEVATION

SITE LIGHTING NOTES:
 1. SITE AREA LIGHTING SHALL BE MOUNTED ON 16" HIGH STEEL POLES, PAINTED ACCORDING TO ORIGINAL COLOR SCHEME OF THE PROJECT. SEE DETAIL THIS SHEET FOR FOUNDATION DETAIL.
 2. SITE AREA LIGHTING SHALL BE DIRECT LIGHT, EITHER DIRECTLY OR THROUGH TRANSPARENT GLASS, AND SHALL NOT BE MOUNTED ON A OFF-SITE STRUCTURE EXCEEDING A TOTAL OF 1000 FEET TALLNESS, MEASURED FROM THE PROJECT'S FINISH GRADE.
 3. ALL SITE AREA LIGHTING FIXTURES SHALL USE LOW VOLT, HIGH PRESSURE SODIUM OR METAL HALIDE LAMPS. NO MERCURY VAPOR LIGHTS SHALL BE ALLOWED.
 4. MAXIMUM WATTAGE SHALL BE 250 WATT AND ALL LIGHTING UNITS SHALL BE HOUSED OR SHIELDED TO PREVENT LIGHT POLLUTION.
 5. ALL SITE AREA LIGHTING FIXTURES SHALL BE DESIGNED AS A PART OF THE ARCHITECTURAL AND LANDSCAPE CHARACTER.



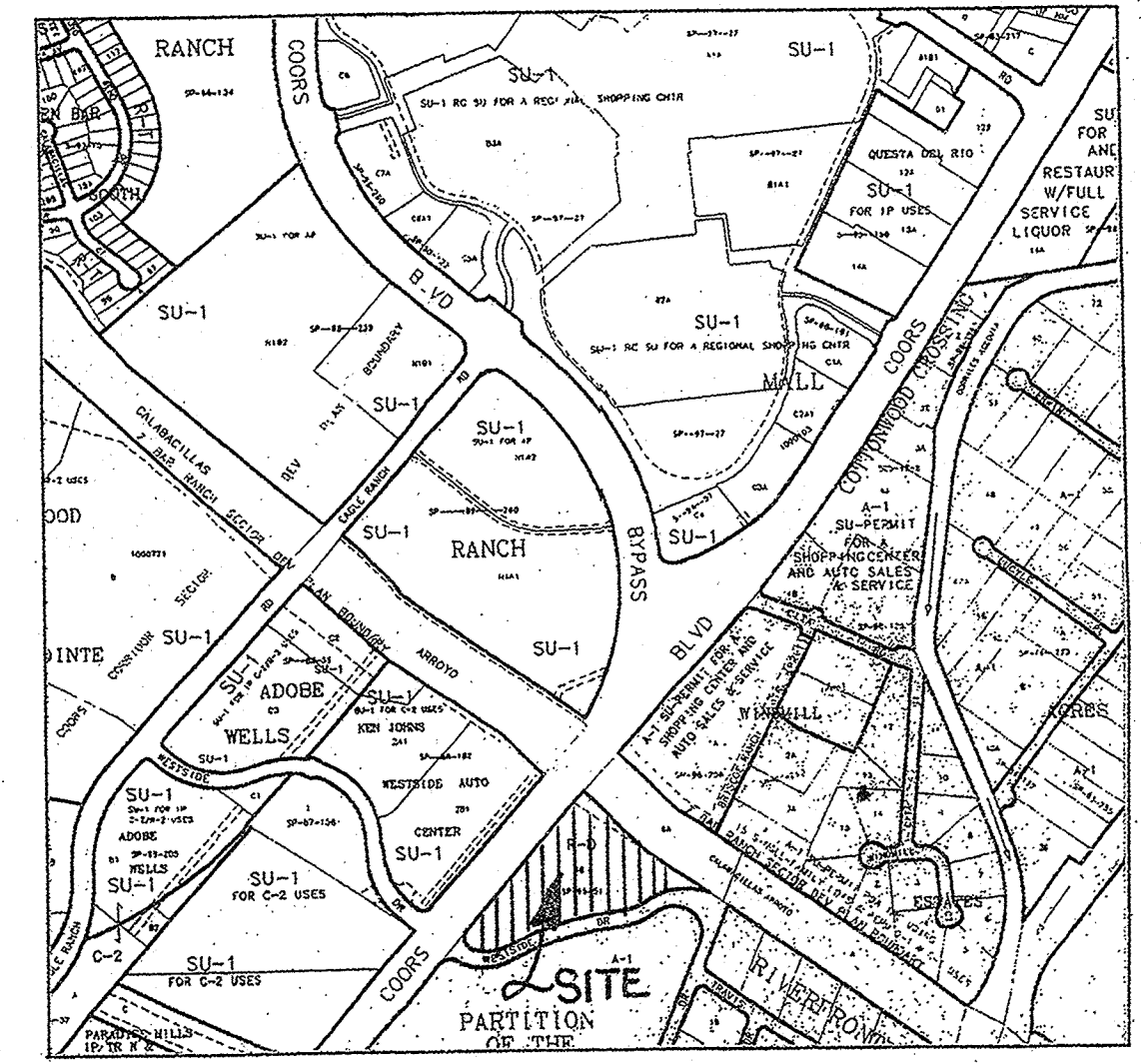
POLE BASE DETAIL

ACCEPTABLE LIGHT FIXTURES: MODEL "CANDOR" BY SANGHVI FOR POLE MOUNTED FIXTURES, AND MODEL "CANDOR" BY SANGHVI FOR WALL MOUNTED FIXTURES, OR APPROVED EQUAL. SEE ELECTRICAL FOR DETAILS.



HC ACCESSIBLE PARKING SIGN

VICINITY MAP B-13/14



NORTH
1" = 750' +/-

GENERAL NOTES

- STREET WHEELCHAIR RAMPS WILL BE CONSTRUCTED PER COA STANDARD DRAWING #2441, CASE II.
- STANDARD CURB AND GUTTER AND HEADER CURB WILL BE CONSTRUCTED PER COA STANDARD DRAWING #2415.
- PCC VALLEY GUTTERS WILL BE CONSTRUCTED PER COA STANDARD DRAWING #2420.
- STREET SIDEWALKS WILL BE CONSTRUCTED PER COA STANDARD DRAWING #2438.
- STREET GEOMETRY AND PAVEMENT SHALL COMPLY WITH CITY OF ALBUQUERQUE SPECIFICATIONS AND STANDARD DETAILS.

SITE DATA

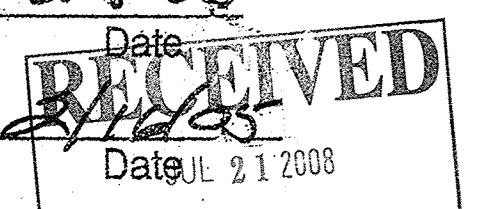
Site Area: 1.2758 Acres
 Zoning: SU-1/C-1 Permissive Uses and Auto Sales and Storage
 Legal Description: Lot 2, CAS Addition
 Total Building Area: 4877 S.F.
 Net Leasable Area: 4345 S.F.
 Parking Required: 4345/200 = 21.7, Use 22 spaces
 Parking Provided: 22 spaces
 Handicap Parking Required: 1 space (1 per 20 parking spaces)
 Handicap Parking Provided: 1 space
 Bicycle Parking Required: 2 spaces (1 per 20 parking spaces)
 Bicycle Parking Provided: 2 spaces

PROJECT NUMBER: 1002529
 DRB Application Number: 05 DRB-00213

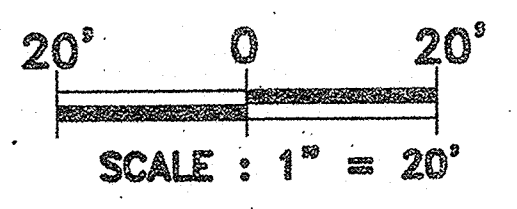
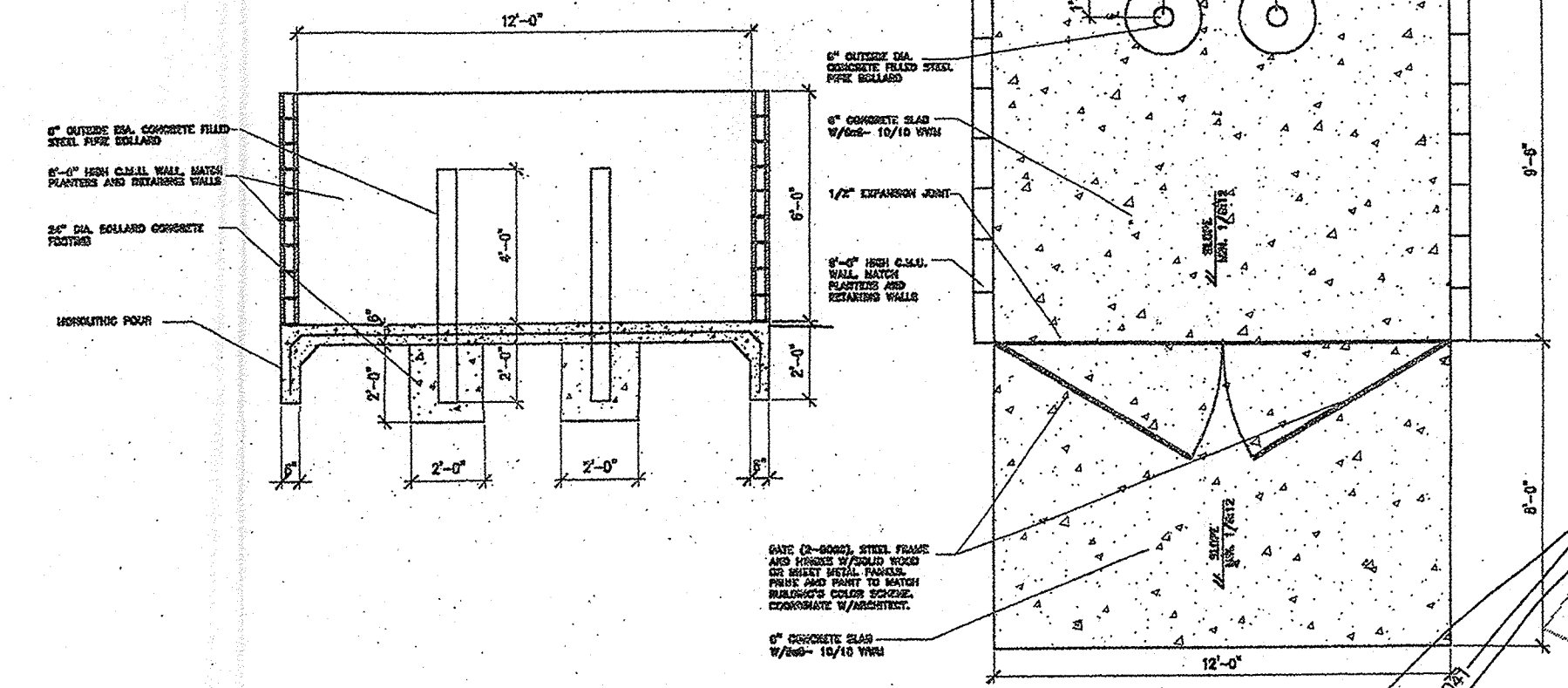
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated Jan 21, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	3-1-05
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	2-16-05
Utilities Development	Date
<i>[Signature]</i>	3/1/05
Christina Sandoval	Date
Parks and Recreation Department	
<i>[Signature]</i>	2/16/05
Bradley D. Dwyer	Date
City Engineer	
<i>[Signature]</i>	
N/A	
* Environmental Health Department (conditional)	Date
<i>[Signature]</i>	2-8-05
Michael Holton	Date
Solja Waste Management	
<i>[Signature]</i>	
Sharon Nelson	
DRB Chairperson, Planning Department	

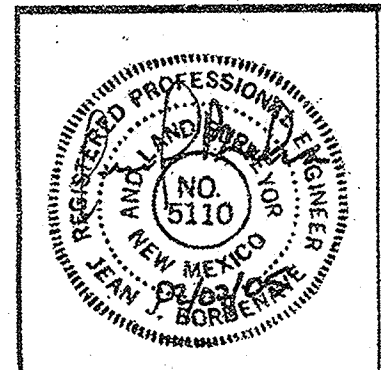


- LEGEND**
- LP PROPOSED LIGHT POLE - 16' HT.
 - HC PROPOSED HC PARKING SIGN
 - BR PROPOSED BIKE RACK ON CONCRETE PAD
 - FH PROPOSED FIRE HYDRANT
 - STOP PROPOSED STOP SIGN
 - VEHICULAR PROPOSED VEHICULAR TRAFFIC FLOW DIRECTION
 - WHEEL STOP PROPOSED CONCRETE WHEEL STOP
 - OHL EXISTING OVERHEAD POWER LINE(S)
 - PP EXISTING POWER POLE
 - W EXISTING WATER LINE



SCALE: 1" = 20'

Is an Infrastructure List required? Yes No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.



BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87189
 PHONE (505) 823-1344 FAX (505) 821-9105
 jakebordenave@mindspring.com

PROJECT TITLE: CAS AUTO SALES	
SHEET TITLE: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR LOT #2	
MAP NO: B-13-Z	SHEET OF

CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 924 Park Avenue SW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

DRAWN BY: METO	CHECKED BY: JJB	FIELD WORK BY: BASELINE	DATE: 11/22/04	MAP NO: B-13-Z	JOB NO: 0408	SHEET OF
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