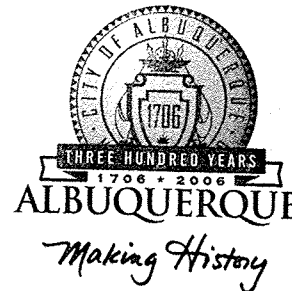


CITY OF ALBUQUERQUE



March 20, 2006

David Aube, P.E.
The Design Group
202 Central Ave. SE Suite 200
Albuquerque, NM 87102

**Re: Southwest Medical Office Building, 4420 Irving Boulevard NW,
Certificate of Occupancy
Engineer's Stamp dated 3-17-06 (B13-D22)
Certification dated 3-17-06**

Dear Mr. Aube,

Based upon the information provided in your submittal received 3-20-06, the
above referenced certification is approved for release of permanent Certificate of
Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
file

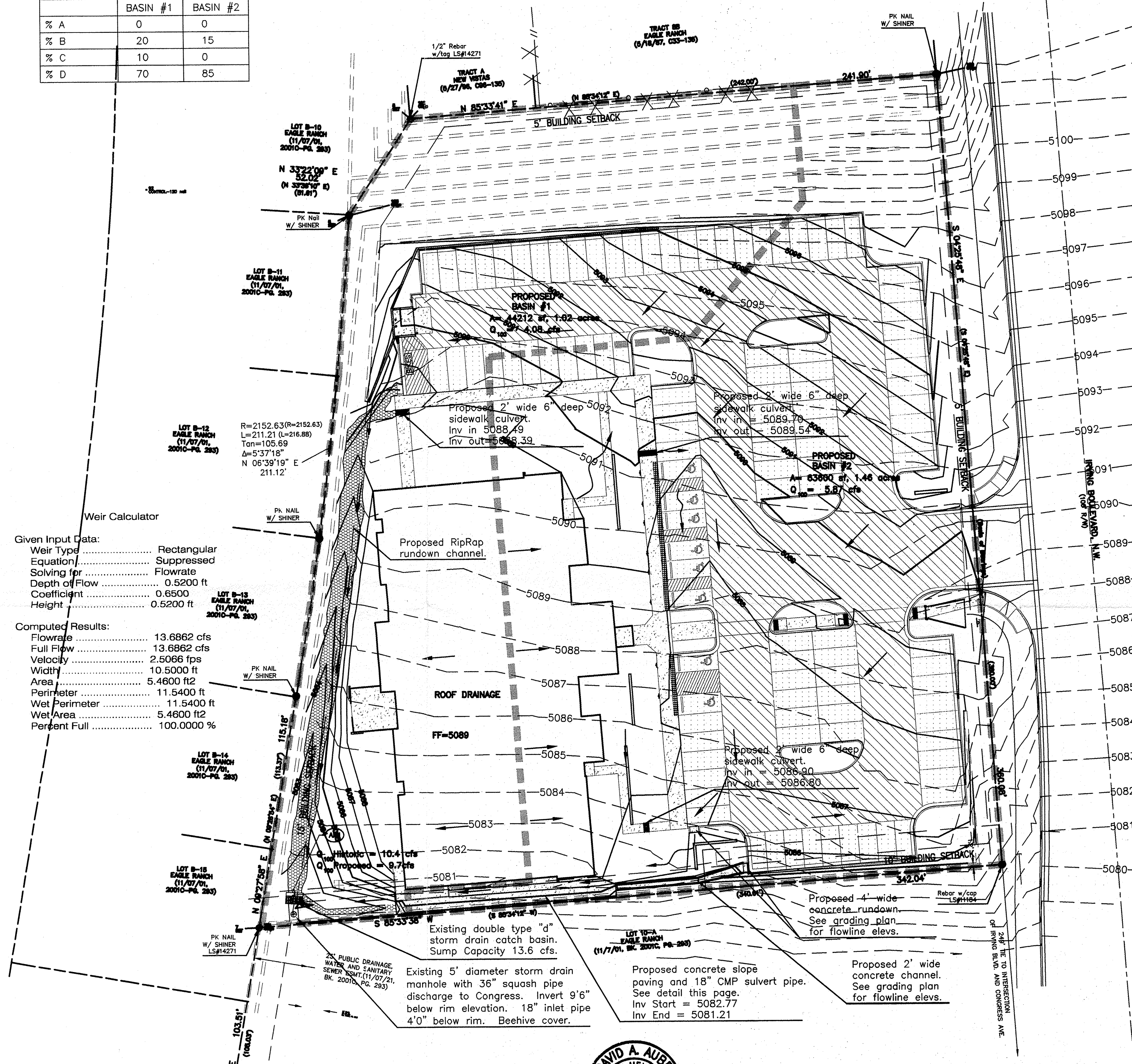
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

PROPOSED BASINS		
	BASIN #1	BASIN #2
% A	0	0
% B	20	15
% C	10	0
% D	70	85



Weir Calculator

Given Input Data:
 Weir Type: Rectangular
 Equation: Suppressed
 Solving for: Flowrate
 Depth of Flow: 0.5200 ft
 Coefficient: 0.6500
 Height: 0.5200 ft

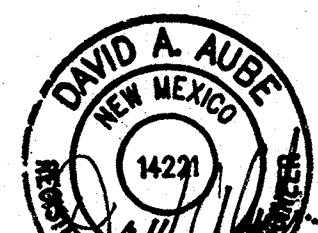
Computed Results:

Flowrate: 13.6862 cfs
 Full Flow: 13.6862 cfs
 Velocity: 2.5066 fps
 Width: 10.5000 ft
 Area: 5.4600 ft²
 Perimeter: 11.5400 ft
 Wet Perimeter: 11.5400 ft
 Wet Area: 5.4600 ft²
 Percent Full: 100.0000 %

Drainage Certification

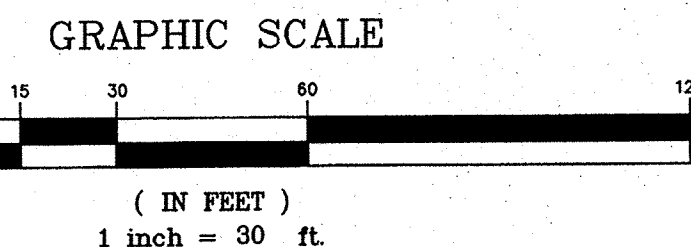
I, David A. Aube, NMPE 14221, of the firm The Hartman + Majewski Design Group, Inc., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Grading and Drainage plan approved plan dated 7-7-05. The record information edited onto the original design documents has been obtained by Tom Newell of the firm Gerald Martin Construction. I further certify that I have personally visited the project site on February 8, 2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.

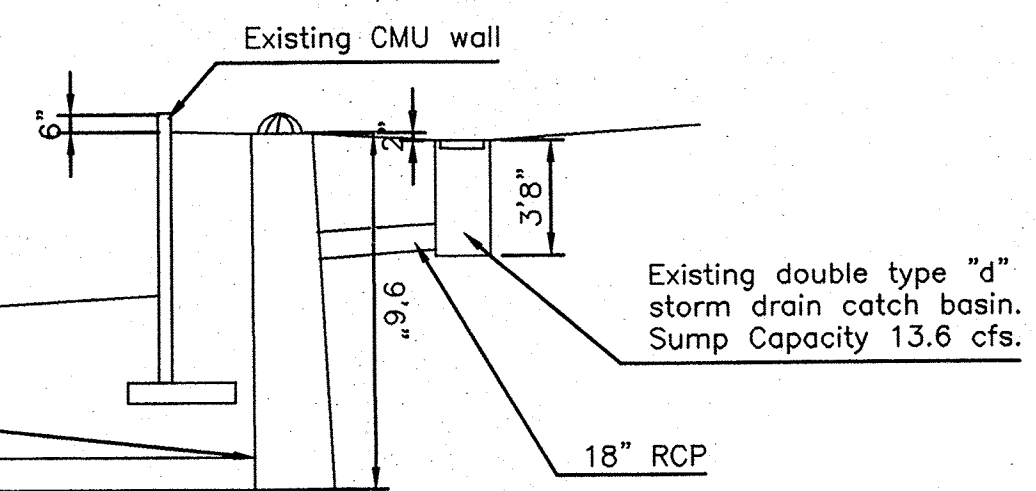


2-15-06
3-17-06

Existing 5' diameter storm drain manhole with 36" square pipe discharge to Congress. Invert 9'6" below rim elevation. 18" inlet pipe 4'0" below rim. Beehive cover.

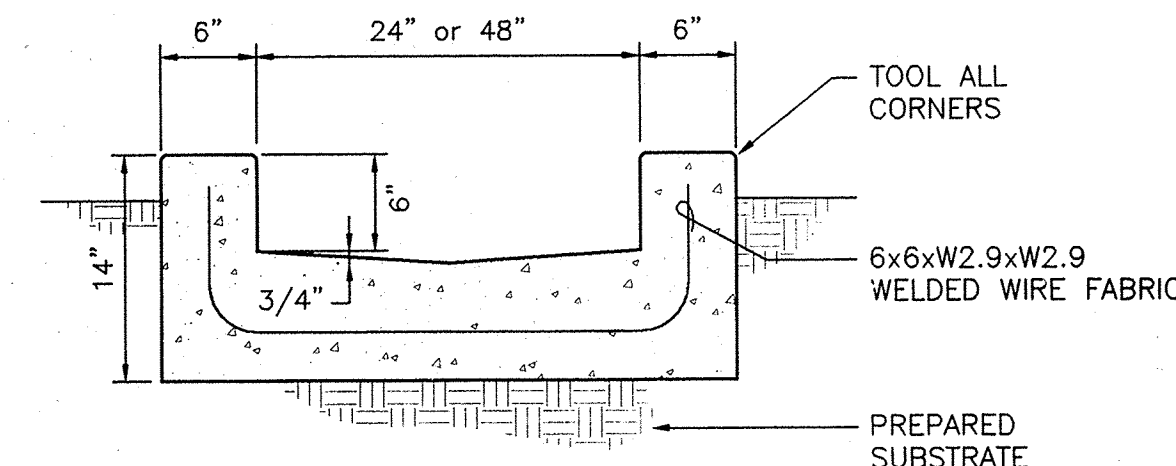


EXISTING CB and MANHOLE



SOUTHWEST MEDICAL OFFICE BUILDING

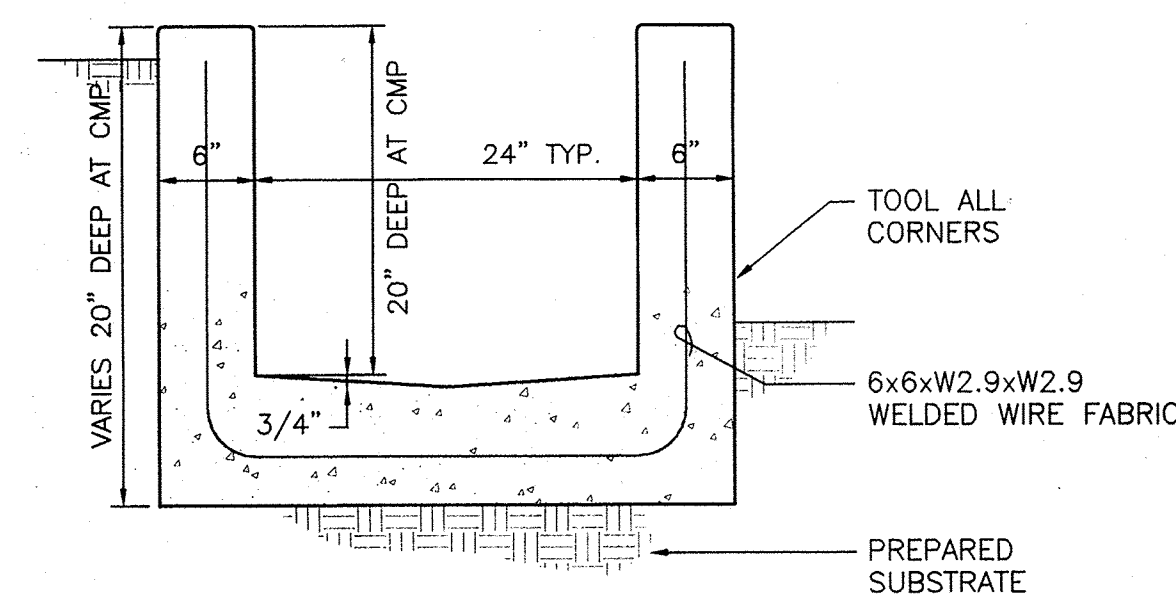
- PURPOSE AND SCOPE**
The purpose of this drainage plan is to present the existing and proposed drainage management plans for a new Southwest Medical facility located on west side of Irving Blvd. NW and on the north of Congress Road. The drainage study begins with the improvements from SAD 226 and shows that the proposed development will generate similar runoff rates and volumes.
- SITE DESCRIPTION AND HISTORY**
The existing site is currently vacant. The land was subdivided as part of a special assessments district and was originally planned for multi-family residential. The drainage was designed in SAD 226 to allow for 20% B, 10% C and 80 %D. The original calculations indicated a total of 110% and a peak discharge rate of 9.0 cfs for the 2.4 acres.
- COMPUTATIONAL PROCEDURES**
Hydrologic analysis was performed utilizing the design criteria found in the COA-DPM Section 22.2 released in June 1997.
- PRECIPITATION**
The 100-yr 6-hr duration storm was used as the design storm for this analysis. This site is within Zone 1 as identified in the DPM Section 22.2. Tables within the section were used to establish the 6-hr precipitation, excess precipitation and peak discharge.
- EXISTING DRAINAGE CONDITIONS OVERVIEW**
The 2.4760 acres site, Tract 10-B of Eagle Ranch, located within Zone Atlas B-13-Z is currently vacant. The site generally slopes from north-east to the south-west. Irving Blvd. has a normal crown with COA standard curb and gutter that will prevent offsite drainage from entering the site along the east property line.
Drainage from this site is generally sheet flow and collects in the south-west corner. There is a double grate Median type catch basin located on the south west corner of the property that collects and conveys storm runoff from the site to a underground collection system in Congress to the south. There is a sanitary sewer and water easement on the west side of the property to the south that contains the underground collection system for the on site catch basin.
The peak runoff from existing site has a peak runoff of 10.40 cfs. The existing catch basin and discharge pipe were designed to collect and convey the fully developed flow rates.
- DRAINAGE MANAGEMENT PLAN**
The site improvements include construction of a new medical office building, and associated parking areas. The proposed improvements also include approximately 15% landscaped area.
The proposed site will generally drain from north east to the south west. The runoff from the parking lot areas will discharge through curb openings and into rip rap lined runoffs that will convey the runoff to the existing outlet in the south west corner.
The proposed drainage patterns divide the site into two basins. Proposed basin #1 is located on the north and west sides of the new building. This basin will generate 3.8 cfs in the fully developed condition. There is an open area located on the north side of the proposed building that may in the future become another bay of the medical office building. Proposed basin #1 has been computed using the fully developed condition and not for the interim building size.
Proposed basin #2 will generate 5.9 cfs and will drain through several curb openings into a rip rap lined channel. There will be a concrete slope paving section along the south side of the building and then another rip rap lined channel to convey the runoff to the existing catch basin.
The peak runoff for the developed site flow is 9.7 cfs, less than the 10.4 cfs that was computed for the existing site conditions defined in SAD 226. This difference is due to the old calculations showed soil treatment percentages that equaled 110% of the site area.
- CONCLUSIONS**
There will be a slight decrease in the developed flow rates from those originally computed for the fully developed condition. There should be no adverse effects to downstream storm drainage systems due to this development.



NOTE: See plan for elevations @ weir opening, & sidewalk culvert (top of wall, invert, top of concrete, top of curb, etc.).

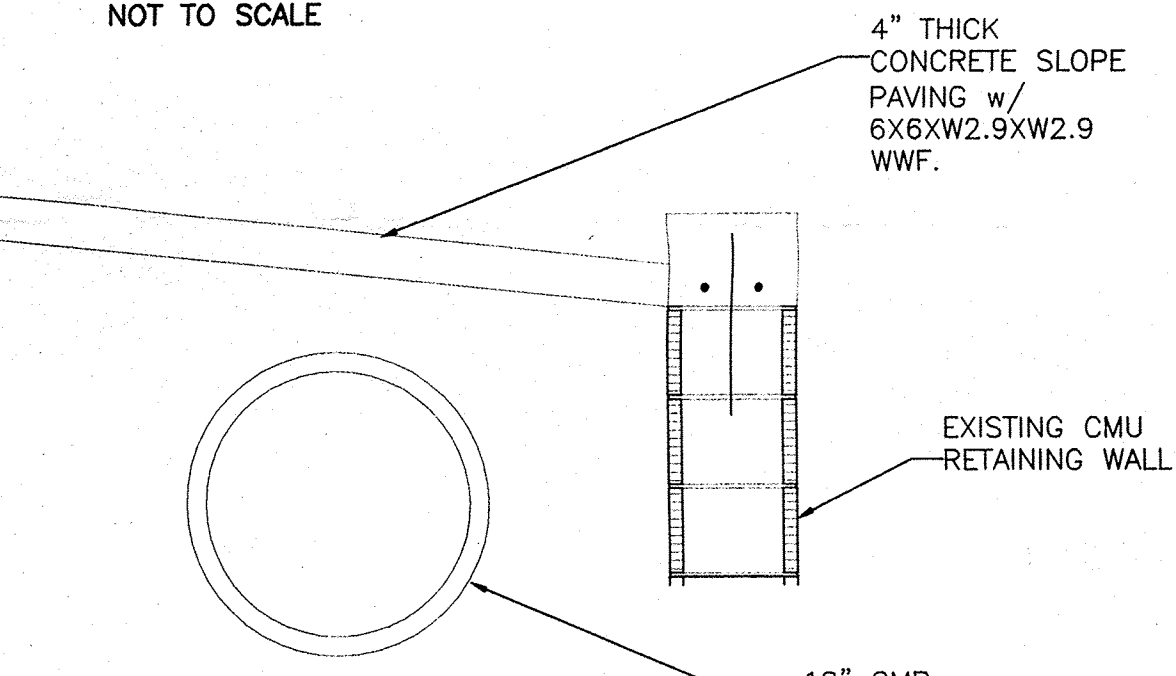
CONCRETE RUNDOWN

NOT TO SCALE



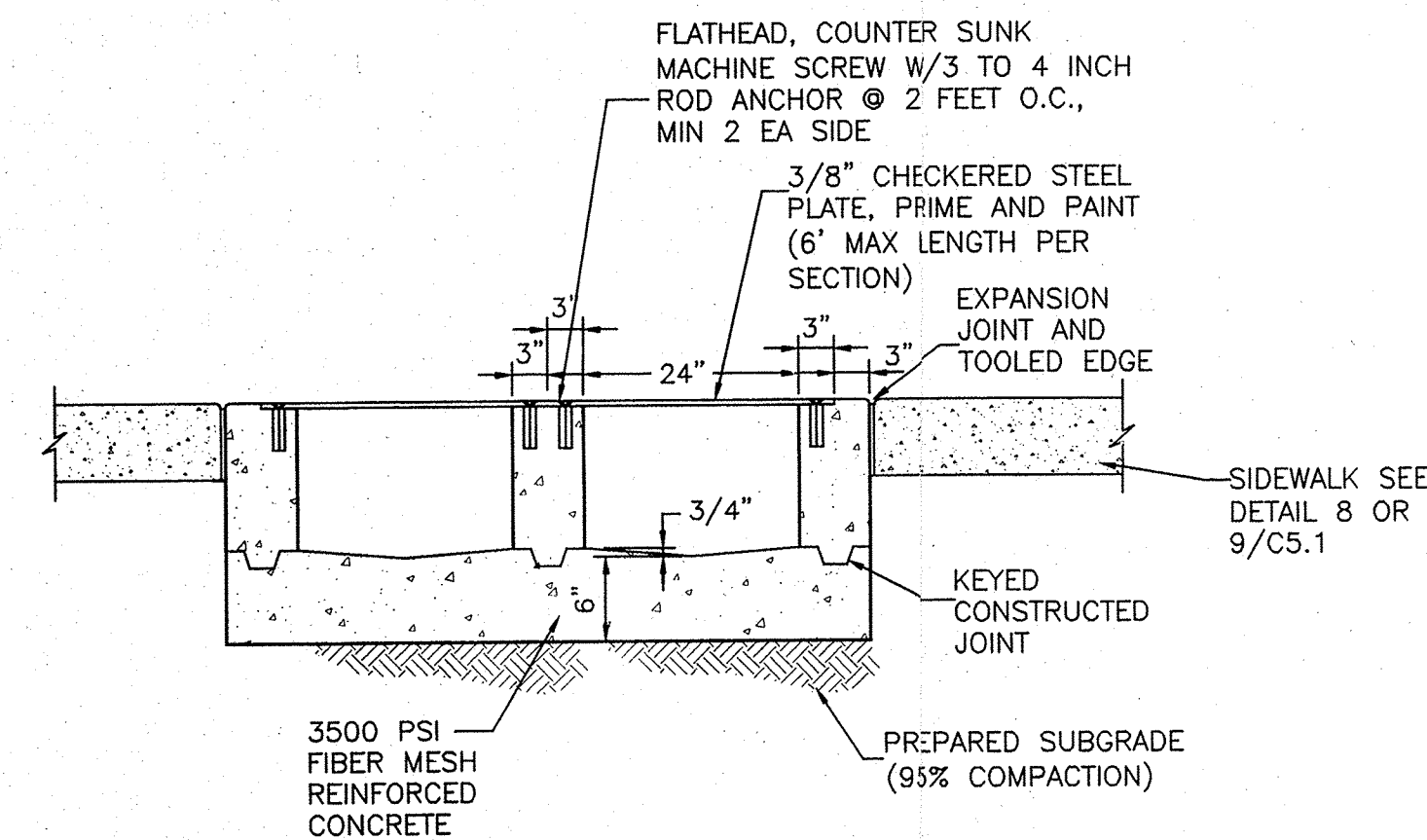
CONCRETE CHANNEL

NOT TO SCALE



SLOPE PAVING and 18" CMP Pipe

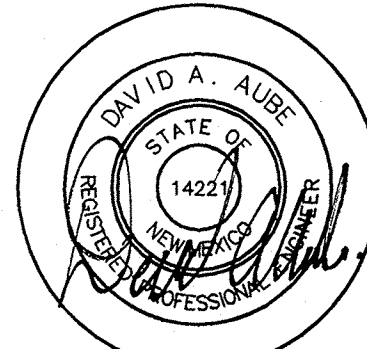
NOT TO SCALE



DOUBLE 24" SIDEWALK CULVERT

NOT TO SCALE

SINGLE SIMILAR

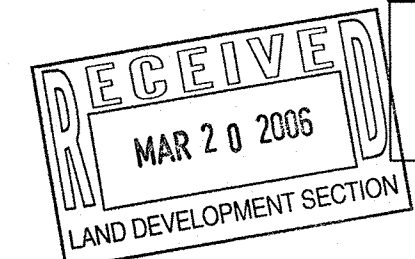


2-15-06 3-17-06
THE DESIGN GROUP
ARCHITECTS • PLANNERS • INTERIOR DESIGN
202 CENTRAL AVENUE SE, SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6880 FAX: 505.242.6881

PROJECT NAME:
SOUTHWEST MEDICAL OFFICE BUILDING
4420 IRVING BOULEVARD NW
ALBUQUERQUE, NM 87114

REVISIONS		
No.	DATE	DESCRIPTION

SHEET TITLE:		
PROPOSED DRAINAGE BASIN MAP		
DESIGNED: PMD	SCALE: VARIES	
CHECKED: DAA	JOB NO: 2260	
DATE: 04/22/06	COMP. FILE: 04-164C21	

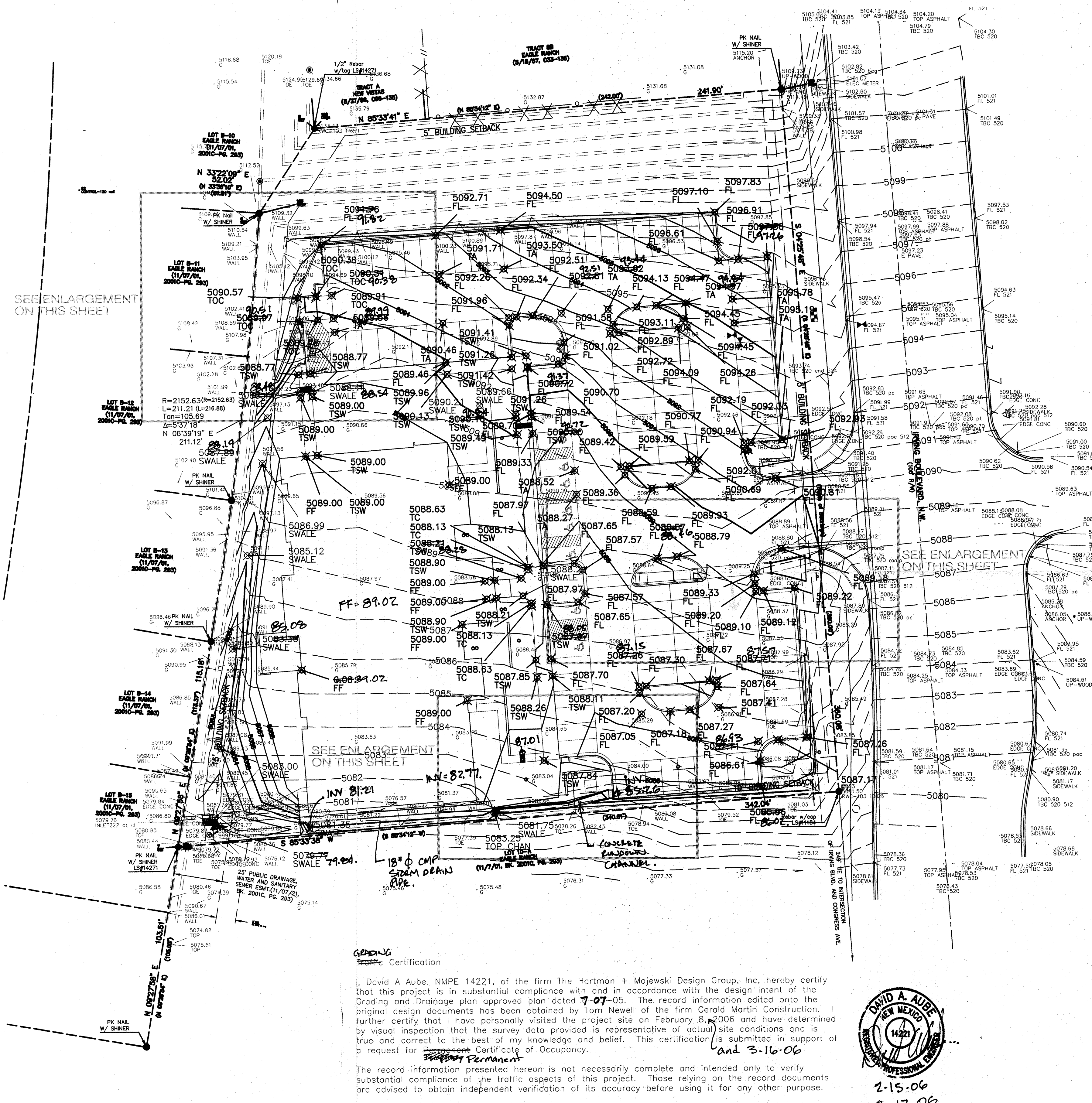


CD2

A1

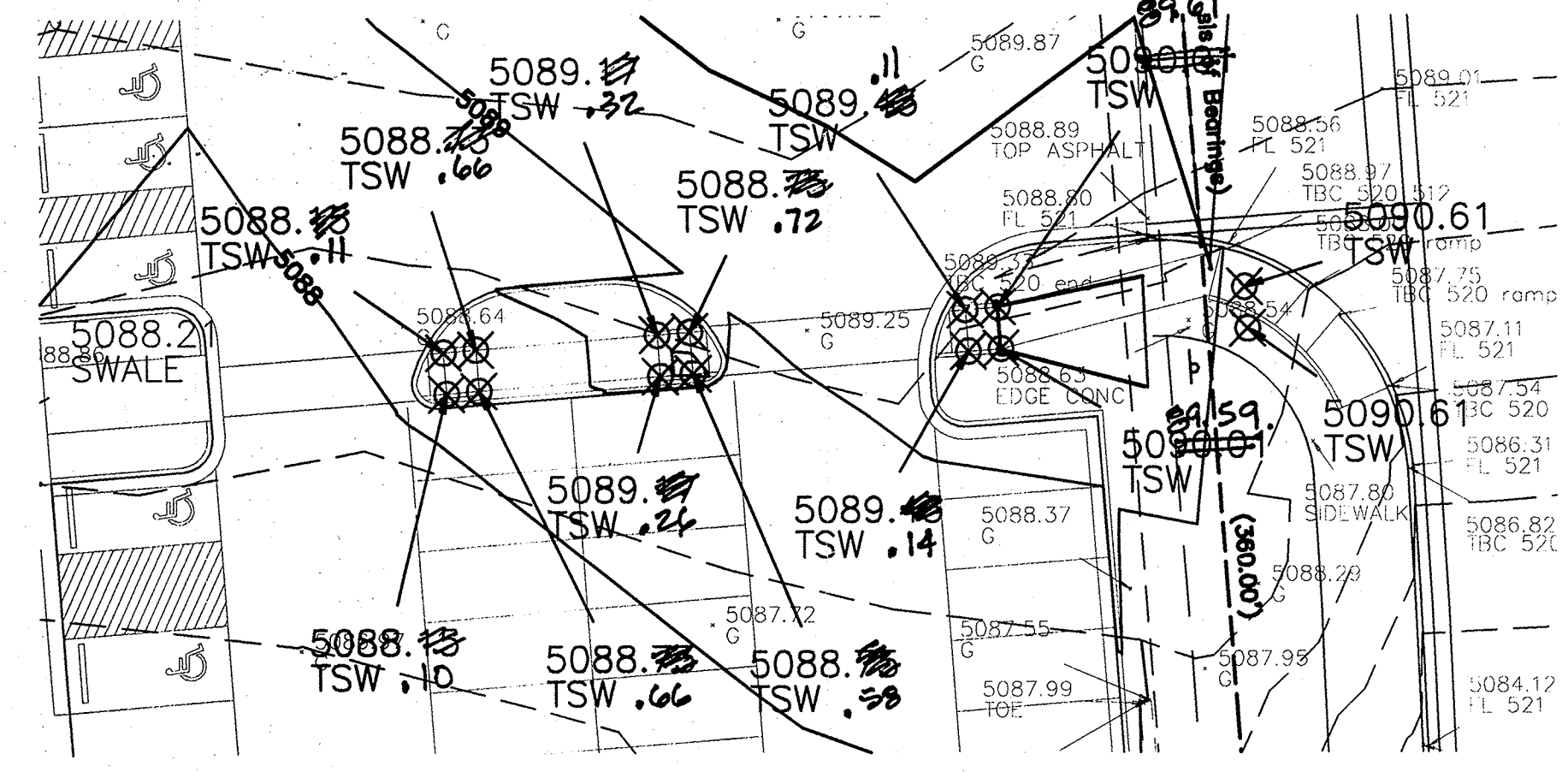
PROPOSED DRAINAGE BASIN MAP

SCALE: 1" = 30'

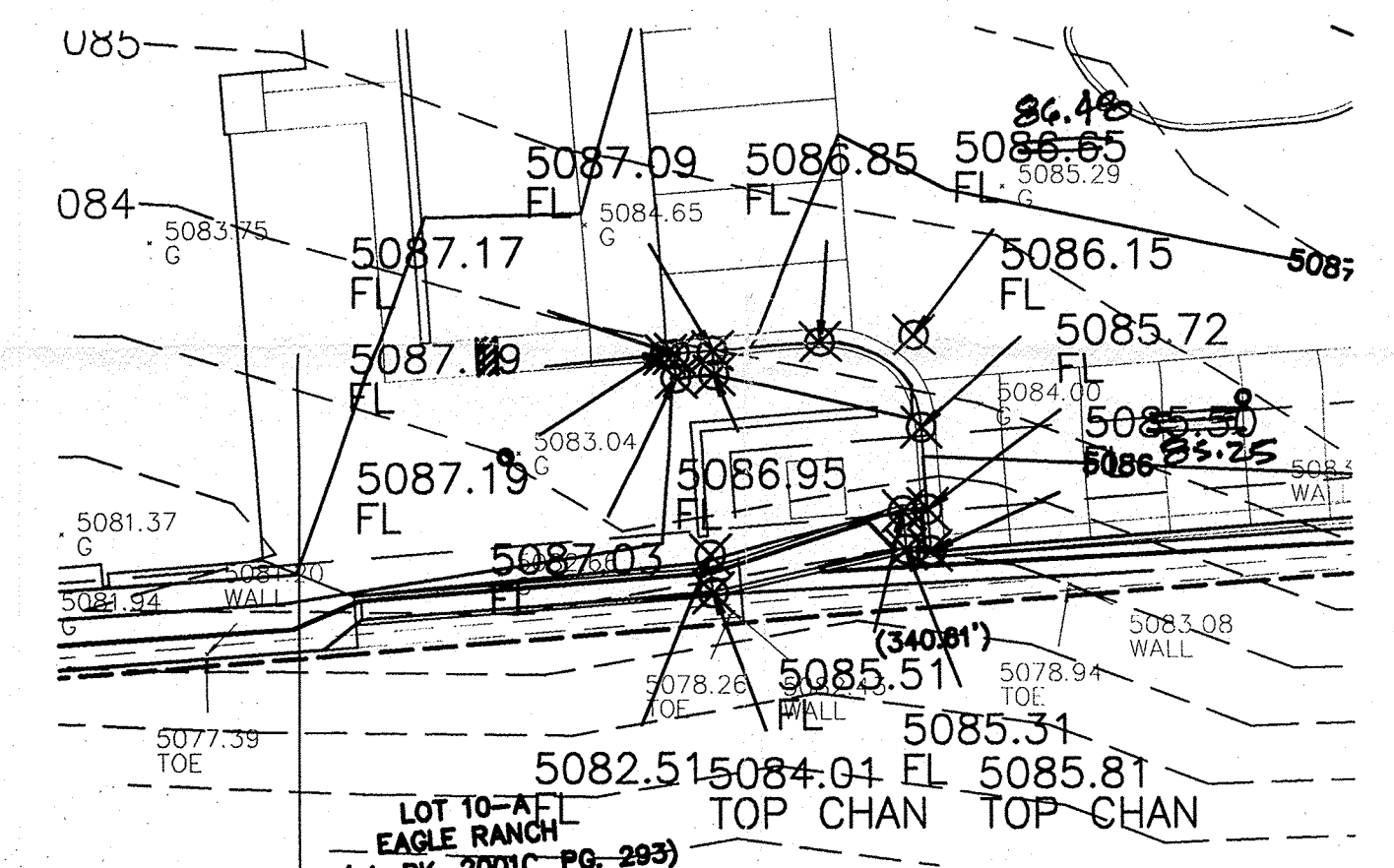


GENERAL NOTES:

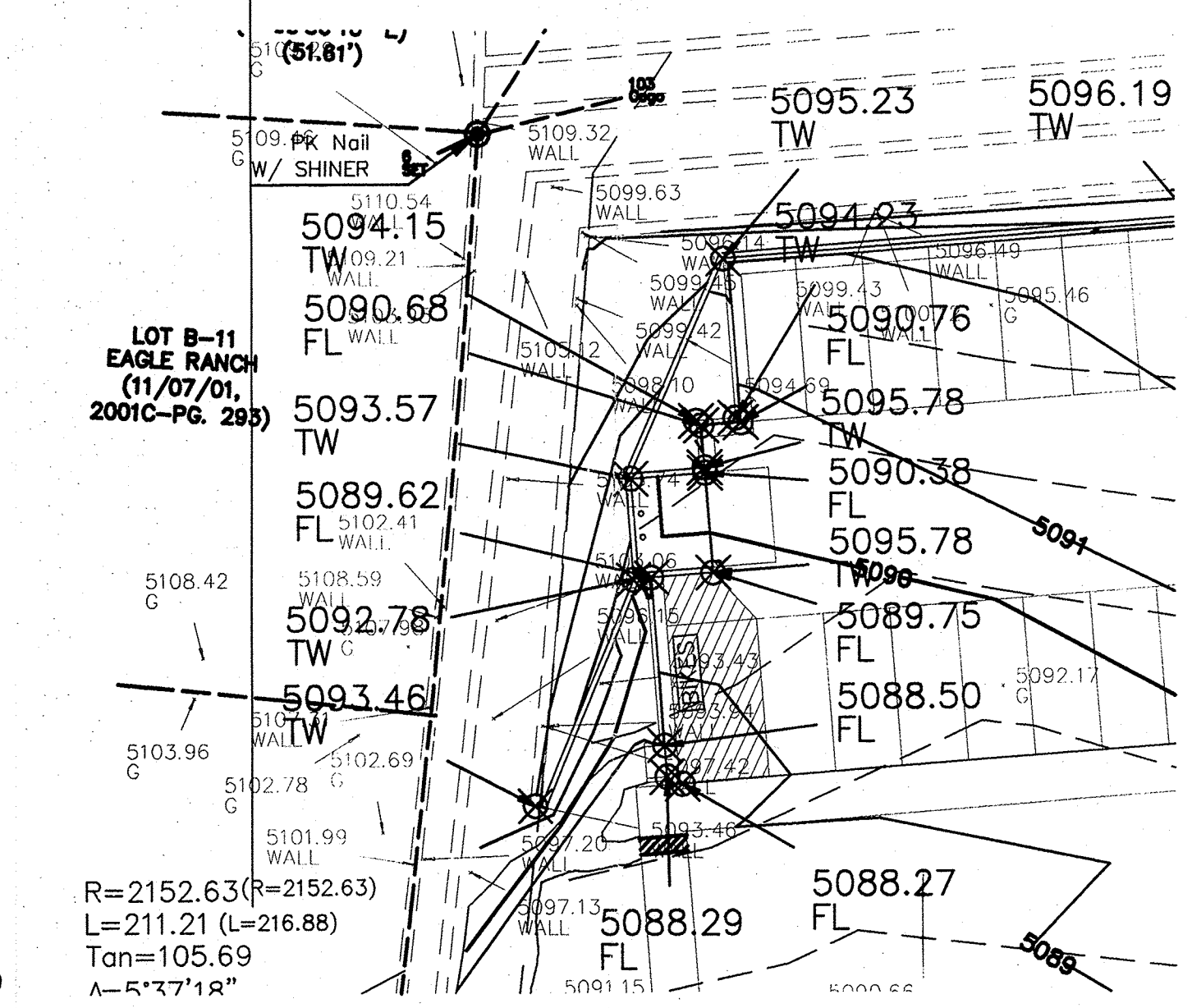
- A. See sheet CG.1 for complete list of general notes and symbol/shinytype legend that apply to all sheets.
- B. Surface features associated with underground utilities are shown on paving plans for clarity. See applicable utility plans for construction notes and details.
- C. Contractor shall field verify site for existing conditions (spoils, borrow areas, etc.) prior to bidding earthwork quantities.



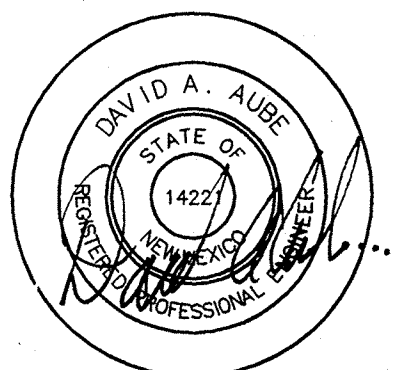
ENLARGED VIEW
1" = 20'



ENLARGED VIEW
1" = 30'



ENLARGED VIEW
1" = 20'



2-14-06
3-16-06
THE DESIGN GROUP
ARCHITECTS • PLANNERS • INTERIOR DESIGN
202 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6880 FAX: 505.242.6883

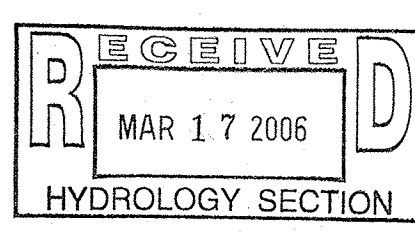
PROJECT NAME:
SOUTHWEST MEDICAL OFFICE BUILDING
4420 IRVING BOULEVARD NW
ALBUQUERQUE, NM 87114

REVISIONS

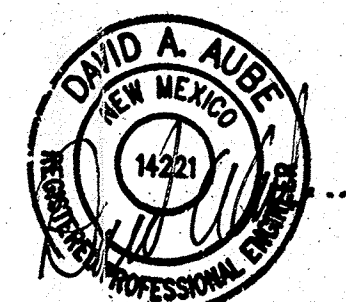
No.	DATE	DESCRIPTION

SHEET TITLE:
OVERALL SITE GRADING PLAN
DESIGNED: P.M.D. SCALE: VARIES
CHECKED: D.A.A. JOB NO. 2260
DATE: 04/22/05 COMP. FILE: 04-164C21

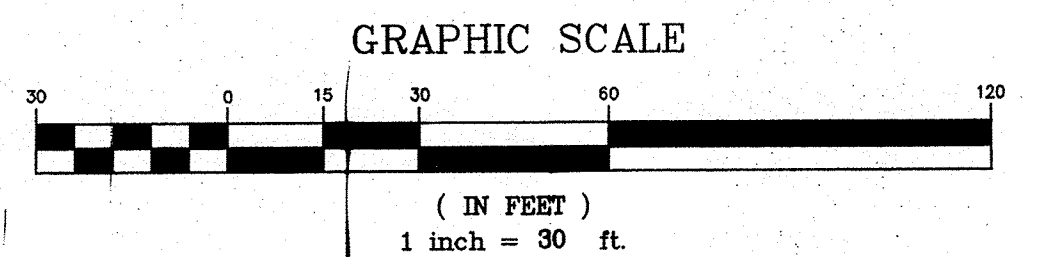
C2.1



Grading Certification
I, David A. Aube, NMPE 14221, of the firm The Hartman + Mojewski Design Group, Inc. hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Grading and Drainage plan approved plan dated 7-07-05. The record information edited onto the original design documents has been obtained by Tom Newell of the firm Gerald Martin Construction, further certify that I have personally visited the project site on February 8, 2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.
and 3-16-06
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.



2-15-06
3-17-06



A1 OVERALL SITE GRADING PLAN
SCALE: 1" = 30'