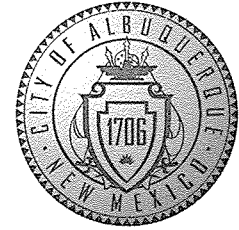


CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



May 9, 2013

Richard J. Berry, Mayor

Ms. Genny Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, New Mexico 87108

RE: **Westside Medical Office** (Revised for Building Phasing)
4410 Irving Blvd. NW
Grade & Drain Plan for Grading Permit

B13-D022A

PE Stamp: 4/17/2013

Dear Ms. Donart:

More than four years have passed since the previous Grading and Drainage plan was approved for Building Permit and SO-19 on this site. This revised plan must be updated to meet current criteria, including but not limited to water quality and harvesting features.

PO Box 1293

Based upon the information provided in your submittal received 04-18-2013, the above referenced plan cannot be approved for Grading Permit.

Albuquerque

If only a Grading Permit is sought, the plan needs to identify specifics of what work will be performed under that permission (e.g.- earthwork, storm drain, etc.), and show interim facilities for sediment control following grading, to serve until Building Permit is issued and construction begins. Also, an Erosion and Sediment Control (ESC) Plan is required prior to grading on this site.

NM 87103

Based upon the level of completeness of this plan, I suggest that you address the following comments, and resubmit for Grading, Paving and Building Permit, with SO-19 Permit.

www.cabq.gov

Please review and address the following issues for Building Permit level of approval:

1. Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them, and where possible, route storm runoff through these areas for water quality and water harvesting benefits.
2. The Line type used for the private storm drain system on the plan does not match the Legend for that system.
3. Show the existing 24" RCP Storm Drain (and 6" WL) in the Public Easements along the west edge of the parcel (ref. City Project 5828.91). Provide sufficient, as-built pipe grades to ensure no conflict with the proposed improvements.

May 9, 2013
B13-D022A Westside Medical Office
Page 2

4. Update the "SO-19 Notice to Contractors" to reference COA Standard Spec Update #8, and the NM One Call number of "811."
5. Regarding the new Detail Sheet, CG-501:
 - a. Dimension the thickness on the Rock Swale Detail.
 - b. The ½" Expansion joints seem very close together on the Curb Opening Detail.

Please advise your client that because this site exceeds 1.0 acre, any Grading or Building on this site will require a SWPPP, and that an Erosion and Sediment Control (ESC) Plan, prepared by a NM Registered Professional Engineer, must be submitted to and approved by this office, prior to Building Permit approval and start of grading.

If you have questions, please email me at grolson@cabq.gov or phone 505-924-3994.

Sincerely,

Handwritten signature of Gregory R. Olson, dated 5/9/13.

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file **B13/D022A**
c.pdf Addressee via Email GennyD@IAcivil.com
Fred Arfman via Email FredA@IAcivil.com



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Westside Medical Offices Building Permit #: _____ City Drainage #: B13/D22A
DRB#: _____ EPC#: 1001907 Work Order#: _____
Legal Description: Lot 10-A, Eagle Ranch
City Address: 4410 Irving Blvd NW, Albuquerque, NM 87114

Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart
Address: 128 Monroe Street NE, Albuquerque, NM 87108
Phone#: 268-8828 Fax#: N/A E-mail: gennyd@iacivil.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: AKT Architects Contact: Kent Trauernicht
Address: 55 Camino del Senador, Tijeras, New Mexico 87059
Phone#: 281-9560 Fax#: 286-1055 E-mail: aktarch@earthlink.net

Surveyor: Cartesian Surveying Contact: Will Plotner
Address: _____
Phone#: 896-3050 Fax#: _____ E-mail: wplotnerjr@aol.com

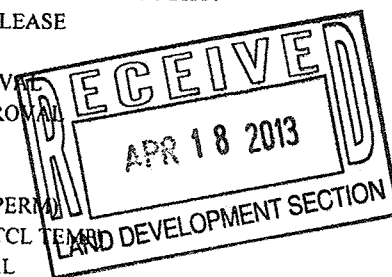
Contractor: Richardson & Richardson Contact: Bob Peterson
Address: _____
Phone#: _____ Fax#: _____ E-mail: bpeterson@richardsonrichardson.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

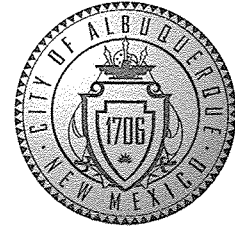
DATE SUBMITTED: 4/18/13 By: Genevieve Donart

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



May 8, 2013

Richard J. Berry, Mayor

Ms. Genny Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, New Mexico 87108

RE: **Westside Medical Office** (Revised for Building Phasing)
4410 Irving Blvd. NW
Grade & Drain Plan for SO-19 & Building Permit

B13-D022A

PE Stamp: 4/17/2013

Dear Ms. Donart:

Since more than five years have passed since the previous approval for this site, the Grading and Drainage plan must be updated to meet current criteria, including but not limited to water quality and harvesting features.

Based upon the information provided in your submittal received 04-18-2013, the above referenced plan cannot be approved for Building Permit. Please review and address the following issues:

1. Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them, and where possible, route storm runoff through these areas for water quality and harvesting.
2. The Line type used for the private storm drain system on the plan does not match the Legend for that system.
3. Show the existing 24" RCP Storm Drain (and 6" WL) in the Public Easements along the west edge of the parcel (ref. CPN 5828.91). Provide sufficient, as-built pipe grades to ensure no conflict with proposed improvements.
4. Update the SO-19 Notes to reference COA Standard Spec update #8, and the NM One Call number of "811."
5. Regarding the new Detail Sheet, CG-501:
 - a. Dimension the thickness on the Rock Swale Detail.
 - b. The ½" Expansion joints seem very close together on the Curb Opening Detail.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

May 9, 2013
B13-D022A Westside Medical Office
Page 2

Please advise your client that this project will require a SWPPP, and that an Erosion and Sediment Control Plan, prepared by a NM Registered Professional Engineer, must be submitted to and approved by this office, prior to Building Permit approval.

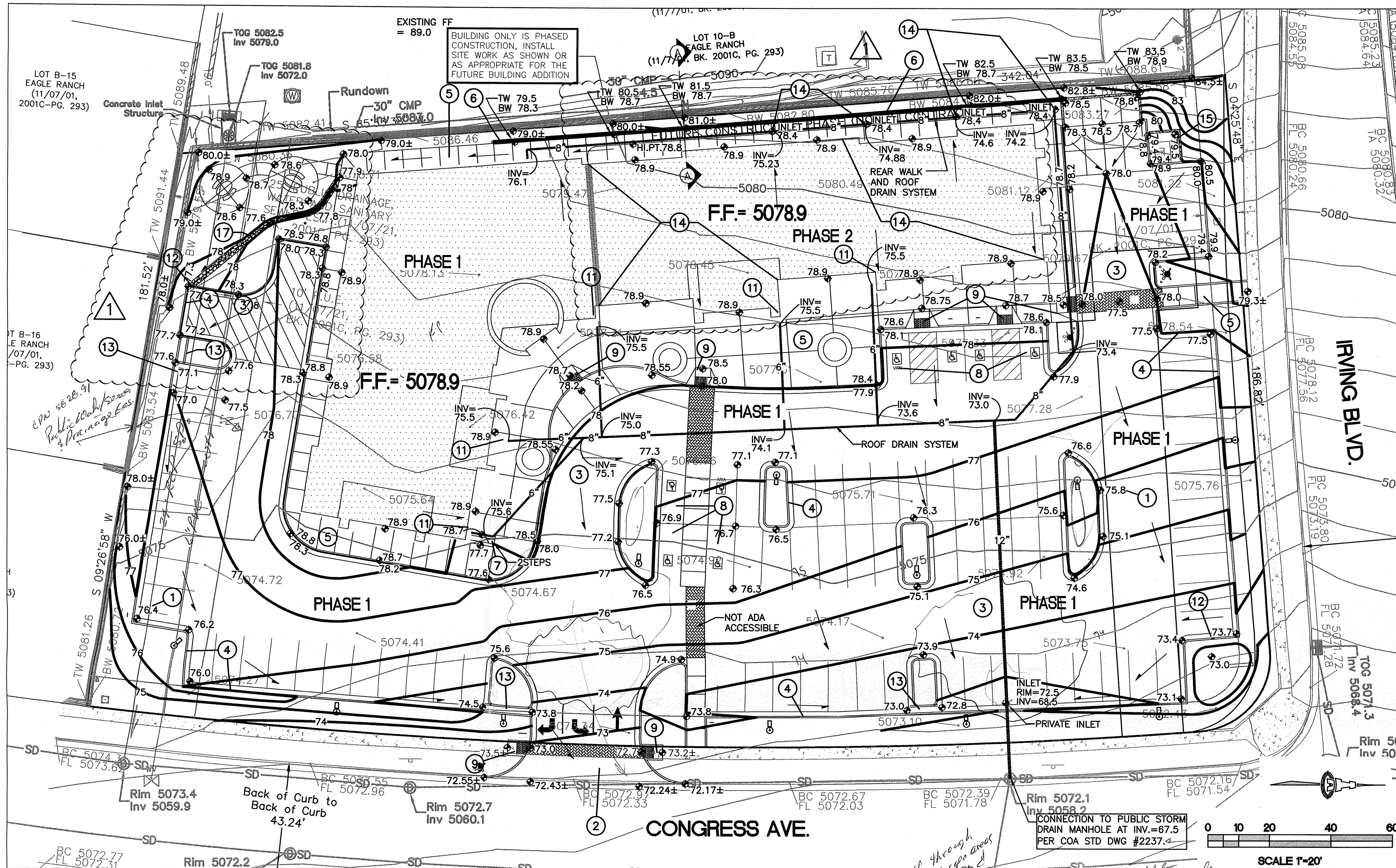
If you have questions, please email me at grolson@cabq.gov or phone 505-924-3994.

Sincerely,

 5/9/13

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file B13/D022A/
c.pdf Addressee via Email GennyD@IAcivil.com



PROJECT DATA

PROPERTY: THE SITE IS A 1.69 ACRE UNDEVELOPED SU-1 (FOR C-1 WITH RESTRICTED USES) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP B-13. THE SITE IS BOUND TO THE EAST BY IRVING BLVD., TO THE WEST BY DEVELOPED RESIDENTIAL, TO THE NORTH BY DEVELOPED COMMERCIAL AND TO THE SOUTH BY CONGRESS AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE APPROX. 15,440 SF MEDICAL OFFICE BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT 10-A. PLAT OF EAGLE RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

ADDRESS: 4401 IRVING BLVD. N.W. - 87114

BENCHMARK: ACS MONUMENT "6-C12" HAVING AN ELEVATION OF 5200.744 (NAVD 1988).

OFF-SITE: PER SAD 226, THE PROPERTY TO THE NORTH DRAINS TO AN EXISTING DOUBLE 'D' CATCH BASIN AT ITS SOUTHWEST CORNER. THIS FLOW (APPROX. 9.4 CFS) THEN PASSES TO AN EXISTING 36" DIA. SQUASH PIPE TO BE ROUTED SOUTH WITHIN AN EXISTING PUBLIC STORM DRAIN EASEMENT TO THE CONGRESS AVENUE PUBLIC STORM DRAIN SYSTEM. NO SURFACE OFF-SITE FLOW AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #108, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT:

THIS SITE WAS INCLUDED AS PART OF SSD 226 AND WAS ORIGINALLY PLANNED FOR MULTI-FAMILY RESIDENTIAL. PER SAD 226, THE CALCULATED SITE DISCHARGE WAS BASED ON LAND TREATMENTS OF 10% B, 10% C AND 80% D FOR A TOTAL ALLOWABLE DISCHARGE OF 6.7 CFS.

THE F.F. ELEVATION OF 5078.9 FOR THE PROPOSED BUILDING IS BASED ON AN 8% PAVEMENT SLOPE FROM THE EXISTING CONGRESS BLVD. FLOWLINE TO THE BUILDING.

A SECOND RETAINING WALL (DESIGN BY OTHERS) ALONG THE NORTH AND EAST PROPERTY LINES WILL BE REQUIRED (FROM 1' TO 5' HIGH) TO ACHIEVE THE REQUIRED GRADE DIFFERENCES.

ALL SITE DISCHARGE WILL FREE DISCHARGE AS FOLLOWS: APPROXIMATELY 30% WILL DRAIN OUT THE PROPOSED ACCESS DRIVE TO TRAVEL A SHORT DISTANCE EAST TO ENTER THE EXISTING STORM DRAIN SYSTEM. THE REMAINING 70% WILL BE CAPTURED IN A PRIVATE STORM DRAIN SYSTEM AND DISCHARGED DIRECTLY INTO AN EXISTING STORM DRAIN MH AS SHOWN.

GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, AND LANDSCAPING PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.

D. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.

E. MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.

F. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.

G. THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.

H. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.

I. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH AND LEVEL.

J. ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.

K. SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK OR LANDLOK TRM 450 O.E.) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.

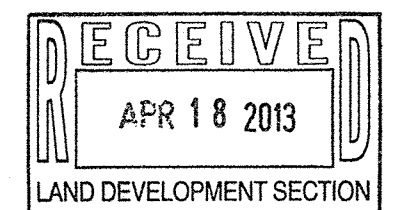
L. OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

VICINITY MAP B-13



KEYED NOTES

- SPOT ELEVATION TEXT WITHIN FLOWLINE AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
- SITE ACCESS - CONSTRUCT TO ELEVATIONS SHOWN. SAWCUT EXISTING ASPHALT TO PROVIDE SMOOTH BONDING EDGE. MATCH EXISTING INFRASTRUCTURE.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN.
- CONSTRUCT MEDIAN CURB AND GUTTER AT ALL CURB LOCATIONS UNLESS NOTED.
- CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN.
- CONSTRUCT RETAINING WALL - STRUCTURAL DESIGN BY OTHERS.
- STEP(S) IN CONCRETE WALK. SEE ARCHITECTURAL.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS.
- NOT USED.
- ROOF DISCHARGE TO BE PIPED TO PROPOSED PRIVATE STORM DRAIN SYSTEM. INSTALL ADS N-12 WATERTIGHT HDPE PIPE TO SIZE AND INVERT ELEVATION SHOWN IN PLAN FOR STORM DRAIN SYSTEM. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION REGARDING ROOF DRAIN CONNECTIONS.
- PROVIDE 1' WIDE OPENING IN CURB TO PASS FLOW TO / FROM DEPRESSED LANDSCAPING AREA.
- CONSTRUCT 2' WIDE "U" SHAPED CONCRETE CHANNEL AT FL ELEVATIONS SHOWN. SEE DETAIL ON SHEET CG-501.
- FOR PHASE 1: INSTALL 8" ADS INLINE INLETS WITH PEDESTRIAN-RATED GRATES. SURROUND GRATES WITH WATTLE COILS TO PREVENT SOIL ERODING INTO STORM DRAIN.
- FOR PHASE 2: REMOVE WATTLE COILS, CLEAN UP ANY SOIL IN THE SIDEWALK, AND CLEAN OUT THE STORM DRAIN TO RESTORE IT TO FULL FUNCTION.
- CONSTRUCT CONCRETE TRANSFORMER PAD WITH MAX. 24" RETAINING WALL AS NECESSARY TO ACHIEVE GRADE DIFFERENCES SHOWN.
- PORTION OF BUILDING TO BE CONSTRUCTED WITH PHASE 2. CONNECT ROOF DRAINS TO STORM DRAIN.
- 2' WIDE FRACTURED FACE (F.F.) ROCK SWALE PER DETAIL ON SHEET CG-501.



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-268-8828 Fax: 505-268-2632
1659 CG-101.dwg Apr 17, 2013

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WEST SIDE MEDICAL OFFICE 4410 IRVING BLVD. NW

GRADING AND DRAINAGE PLAN

Date:	04/17/13	No.:	1	Revisions:	4/17/13	Job No.:	1659
Drawn By:	GLD						CG-101
Old By:	FCA						SH. OF

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 6881.0 FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- FL=72.5 FLOWLINE ELEVATION
- INV=72.5 INVERT ELEVATION
- 6" DRAIN LINE WITH SIZE

ADDITIONAL NON-RETAINING WALL HEIGHT. SEE ARCHITECTURAL.

TW XX.X TOP OF RETAINING WALL
BW XX.X BOTTOM OF RETAINING WALL
SEE STRUCTURAL PLAN FOR RETAINING WALL DESIGN

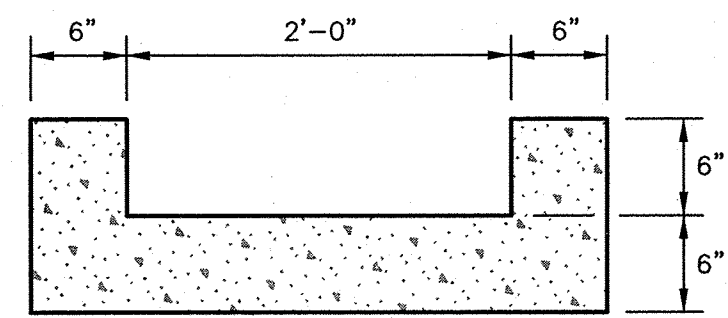
DRAINAGE CALCULATIONS

CALCULATIONS: 1659 - WEST SIDE MEDICAL OFFICE : April 23, 1998				
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993				
ON-SITE				
AREA OF SITE:	73429	SF	=	1.69 Ac.
ALLOWABLE DISCHARGE		DEVELOPED FLOWS:		EXCESS PRECIP:
On-Site Historic Land Condition		On-Site Developed Land Condition		Precip. Zone
Area a =	0 SF	Area a =	0 SF	Ea = 0.44
Area b =	7343 SF	Area b =	3671 SF	Eb = 0.67
Area c =	7343 SF	Area c =	7343 SF	Ec = 0.99
Area d =	58743 SF	Area d =	62415 SF	Ed = 1.97
Total Area =	73429 SF	Total Area =	73429 SF	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)				
Weighted E =		$\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$		
E =	1.74 in.	Developed E = 1.81 in.		
On-Site Volume of Runoff: V360 = $E^*A / 12$				
V360 =	10659 CF	Developed V360 = 11057 CF		
On-Site Peak Discharge Rate: $Qp = \frac{QpaAa + QpAb + QpAc + QpAd}{43,560}$				
For Precipitation Zone 1				
Qpa =	1.29	Qpc =	2.87	
Qqb =	2.03	Qpd =	4.37	
Qp =	6.7 CFS	Developed Qp = 6.9 CFS		

S.O.19 : NOTICE TO CONTRACTORS

- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7-AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

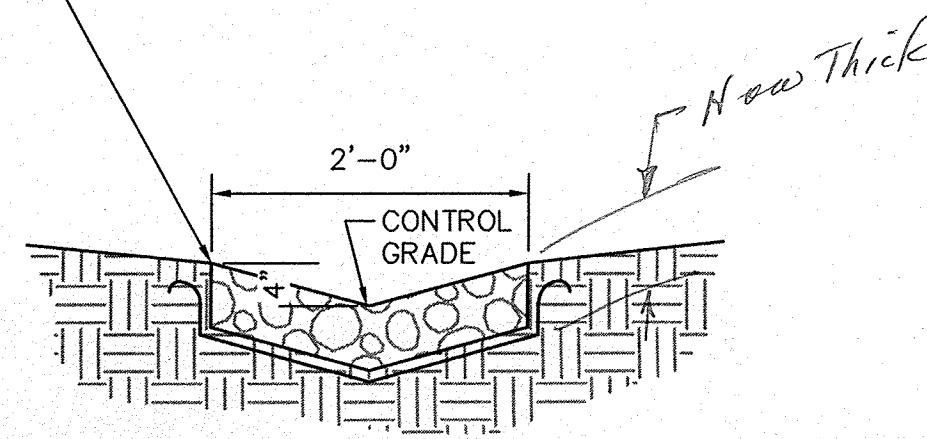


PROVIDE CONTRACTION JOINTS
@ 10' O.C.

1 'U' SHAPED CONCRETE CHANNEL

SCALE: N.T.S.

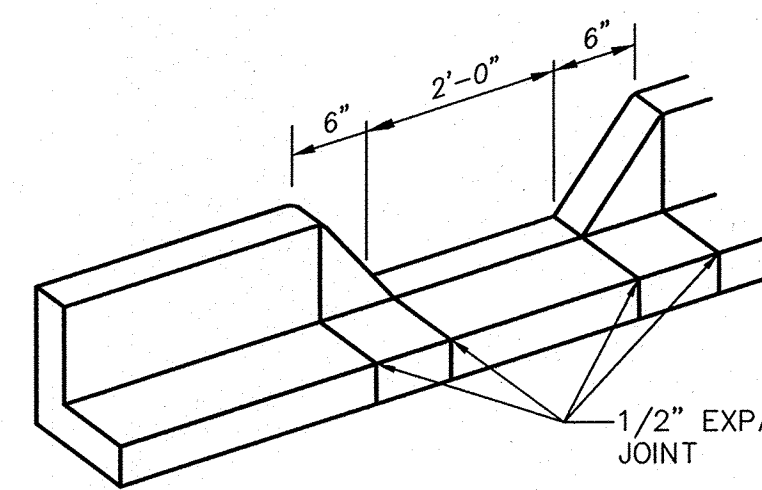
CONSTRUCT ALL SWALES BELOW ADJACENT GRADE TO
ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED
PROPERLY



- VARY ANGULAR FACE ROCK SIZE BETWEEN 4" AND 8" DIA. (AVG.=6")
- PLACE GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.) BENEATH ALL EROSION PROTECTION

2 ROCK SWALE

SCALE: N.T.S.



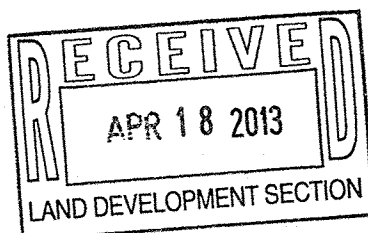
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GENERAL NOTES

1. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.

9 CURB OPENING

SCALE: N.T.S.



ISAACSON & ARFMAN, P.A.
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Ph. 505-268-8828 Fax. 505-268-2632
1659 CG-501.dwg Apr 17, 2013

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WEST SIDE MEDICAL OFFICE
4410 IRVING BLVD. NW

GRADING DETAILS

Date:	No.	Revision	Date:	Job No.
4-17-13	1	REVISE SW CORNER OF	4/17/13	1659
Drawn By:	GLD	PARKING LOT, SHOW PHASED		CG-501
Chk By:	FCA	BLDG., ADDED DETAIL SHEET		
				SH. OF