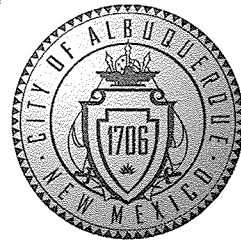


# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



August 9, 2013

Richard J. Berry, Mayor

Ms. Genny Donart, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, New Mexico 87108

RE: **Westside Medical Office, Phase 1** - 4410 Irving Blvd. NW  
Request for Permanent C.O. – **Accepted**  
Engineer's Stamp dated: 10-06-2008, (B13/D022A)  
Certification dated: 07-31-2013 - Phase 1

**B13-D022A**

Dear Ms. Donart:

Based upon the information provided in the Certification received 07-31-2013, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology, for Phase One of this building.

PO Box 1293 Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: [GROlson@cabq.gov](mailto:GROlson@cabq.gov).

Albuquerque If you have questions, please email me at [grolson@cabq.gov](mailto:grolson@cabq.gov) or phone 505-924-3994.

Sincerely,

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Gregory R. Olson, P.E.  
Senior Engineer  
Development and Building Services

C: CO Clerk—Katrina Sigala  
Orig: Drainage file **B13/D022A**  
c.pdf Addressee via Email [GennyD@IAcivil.com](mailto:GennyD@IAcivil.com)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

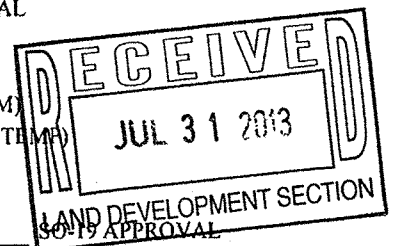
Project Title: Westside Medical Offices Building Permit #: \_\_\_\_\_ City Drainage #: B13/D22A  
DRB#: \_\_\_\_\_ EPC#: 1001907 Work Order#: \_\_\_\_\_  
Legal Description: Lot 10-A, Eagle Ranch  
City Address: 4410 Irving Blvd NW, Albuquerque, NM 87114  
Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart  
Address: 128 Monroe Street NE, Albuquerque, NM 87108  
Phone#: 268-8828 Fax#: N/A E-mail: gennyd@iacivil.com  
Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Architect: AKT Architects Contact: Kent Trauernicht  
Address: 55 Camino del Senador, Tijeras, New Mexico 87059  
Phone#: 281-9560 Fax#: 286-1055 E-mail: aktarch@earthlink.net  
Surveyor: Cartesian Surveying Contact: Will Plotner  
Address: \_\_\_\_\_  
Phone#: 896-3050 Fax#: \_\_\_\_\_ E-mail: wplotnerjr@aol.com  
Contractor: Richardson & Richardson Contact: Bob Peterson  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: bpeterson@richardsonrichardson.com

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_

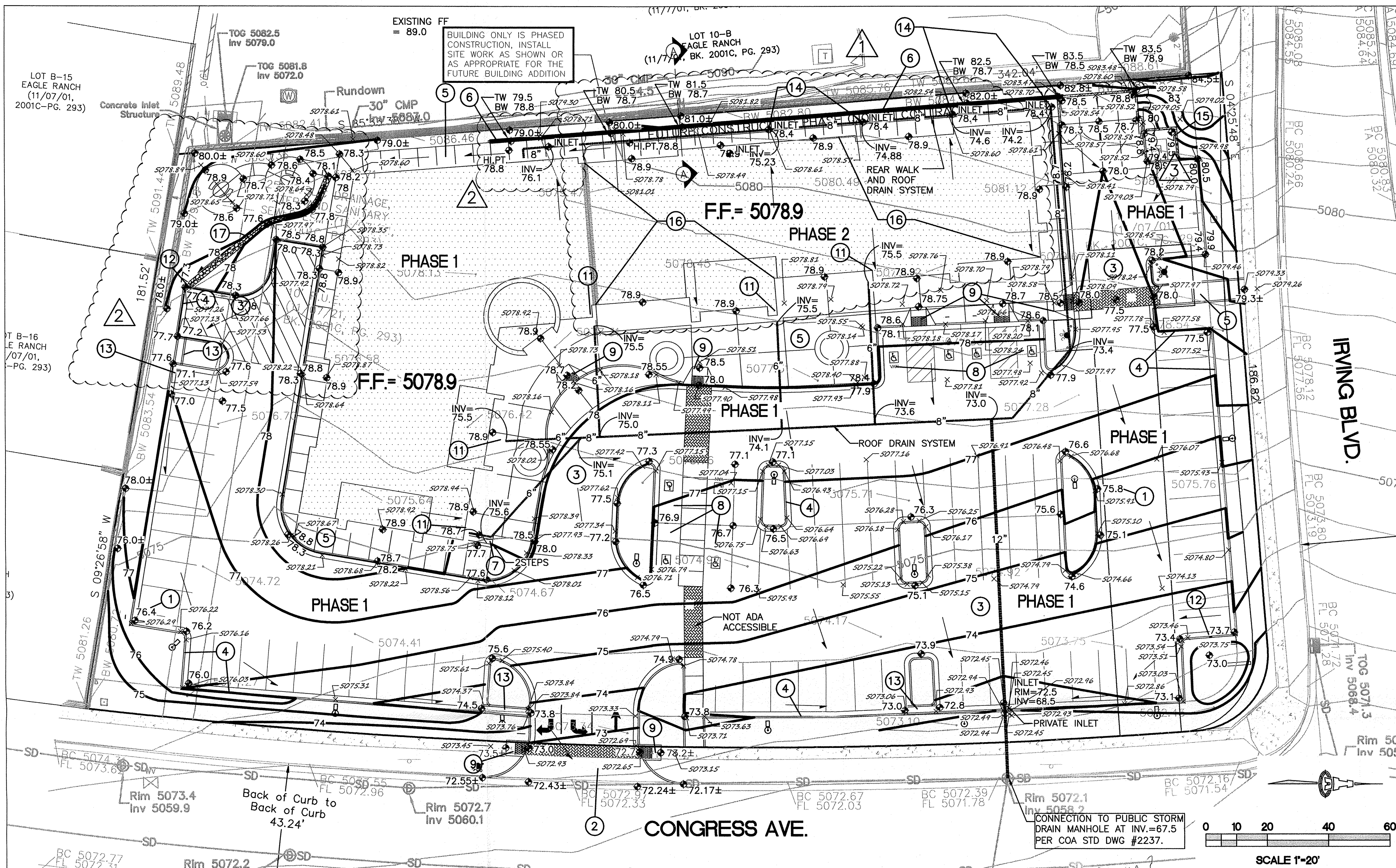


WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes ☒ No ☐ Copy Provided  
DATE SUBMITTED: 07/31/13 By: Genevieve Donart

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development





## PROJECT DATA

PROPERTY: THE SITE IS A 1.69 ACRE UNDEVELOPED SU-1 (FOR C-1 WITH RESTRICTED USES) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP B-13. THE SITE IS BOUND TO THE EAST BY IRVING BLVD., TO THE WEST BY DEVELOPED RESIDENTIAL, TO THE NORTH BY DEVELOPED COMMERCIAL AND TO THE SOUTH BY CONGRESS AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE APPROX. 15,440 SF MEDICAL OFFICE BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT 10-A. PLAT OF EAGLE RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO,

ADDRESS: 4401 IRVING BLVD. N.W. - 87114

BENCHMARK: ACS MONUMENT "6-C12" HAVING AN ELEVATION OF 5200.744 (NAVD 1988).

OFF-SITE: PER SAD 226, THE PROPERTY TO THE NORTH DRAINS TO AN EXISTING DOUBLE 'D' CATCH BASIN AT ITS SOUTHWEST CORNER. THIS FLOW (APPROX. 9.4 CFS) THEN PASSES TO AN EXISTING 36" DIA. SQUASH PIPE TO BE ROUTED SOUTH WITHIN AN EXISTING PUBLIC STORM DRAIN EASEMENT TO THE CONGRESS AVENUE PUBLIC STORM DRAIN SYSTEM. NO SURFACE OFF-SITE FLOW AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #108, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT:

THIS SITE WAS INCLUDED AS PART OF SSD 226 AND WAS ORIGINALLY PLANNED FOR MULTI-FAMILY RESIDENTIAL. PER SAD 226, THE CALCULATED SITE DISCHARGE WAS BASED ON LAND TREATMENTS OF 10% B, 10% C AND 80% D FOR A TOTAL ALLOWABLE DISCHARGE OF 6.7 CFS.

THE F.F. ELEVATION OF 5078.9 FOR THE PROPOSED BUILDING IS BASED ON AN 8% PAVEMENT SLOPE FROM THE EXISTING CONGRESS BLVD. FLOWLINE TO THE BUILDING.

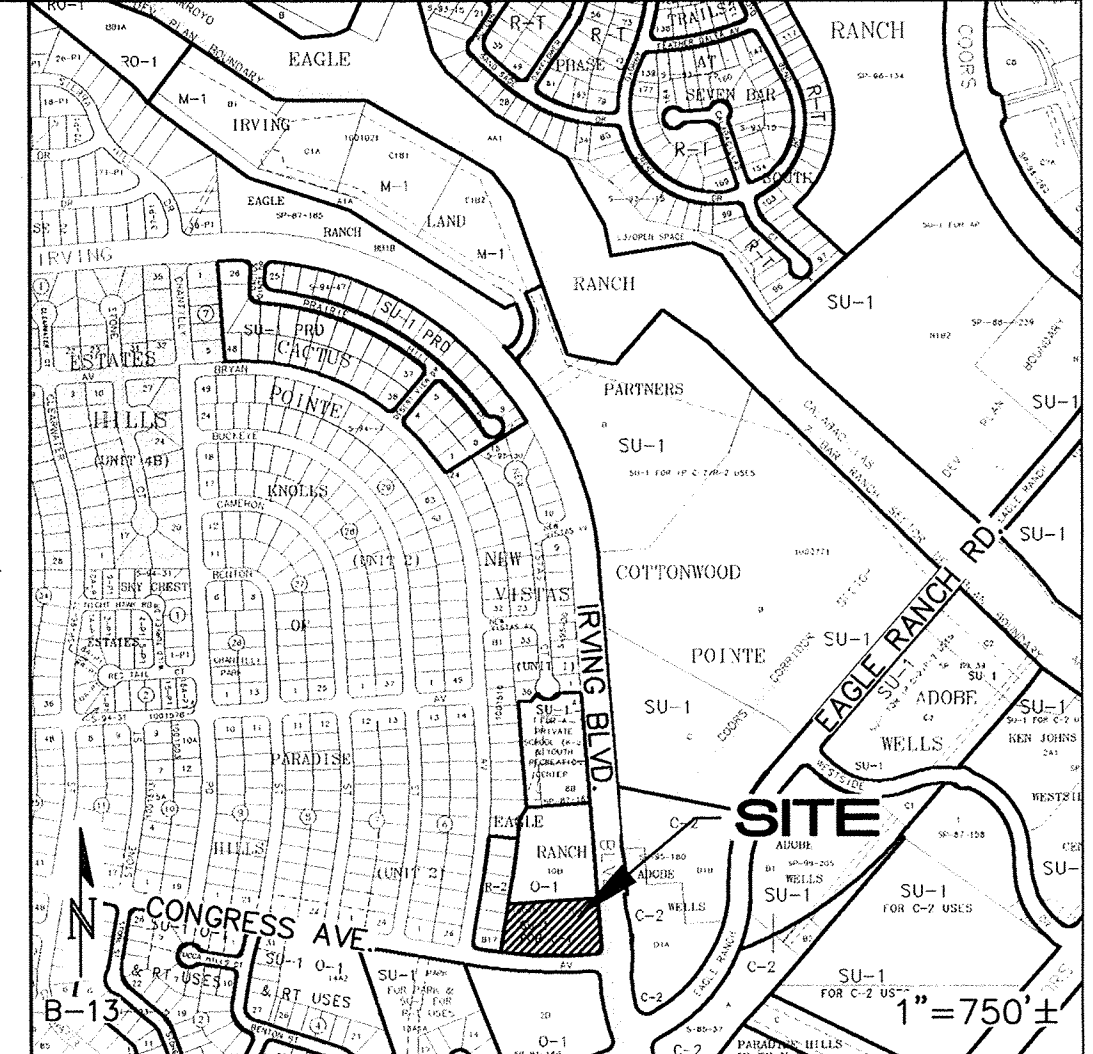
A SECOND RETAINING WALL (DESIGN BY OTHERS) ALONG THE NORTH AND EAST PROPERTY LINES WILL BE REQUIRED (FROM 1' TO 5' HIGH) TO ACHIEVE THE REQUIRED GRADE DIFFERENCES.

ALL SITE DISCHARGE WILL FREE DISCHARGE AS FOLLOWS: APPROXIMATELY 30% WILL DRAIN OUT THE PROPOSED ACCESS DRIVE TO TRAVEL A SHORT DISTANCE EAST TO ENTER THE EXISTING STORM DRAIN SYSTEM. THE REMAINING 70% WILL BE CAPTURED IN A PRIVATE STORM DRAIN SYSTEM AND DISCHARGED DIRECTLY INTO AN EXISTING STORM DRAIN MH AS SHOWN.

## GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, AND LANDSCAPING PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH AND LEVEL.
- ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCE F.F. ROCK EROSION PROTECTION.
- SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK OR LANDLOK TRM 450 O.E.) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

## VICINITY MAP B-13



## KEYED NOTES

- SPOT ELEVATION TEXT WITHIN FLOWLINE AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS..
- SITE ACCESS - CONSTRUCT TO ELEVATIONS SHOWN. SAWCUT EXISTING ASPHALT TO PROVIDE SMOOTH BONDING EDGE. MATCH EXISTING INFRASTRUCTURE.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN.
- CONSTRUCT MEDIAN CURB AND GUTTER AT ALL CURB LOCATIONS UNLESS NOTED.
- CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN.
- CONSTRUCT RETAINING WALL - STRUCTURAL DESIGN BY OTHERS.
- STEP(S) IN CONCRETE WALK. SEE ARCHITECTURAL.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS.
- NOT USED.
- ROOF DISCHARGE TO BE PIPED TO PROPOSED PRIVATE STORM DRAIN SYSTEM. INSTALL ADS N-12 WATERTIGHT HDPE PIPE TO SIZE AND INVERT ELEVATION SHOWN IN PLAN FOR STORM DRAIN SYSTEM. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION REGARDING ROOF DRAIN CONNECTIONS.
- PROVIDE 1' WIDE OPENING IN CURB TO PASS FLOW TO / FROM DEPRESSED LANDSCAPING AREA.
- CONSTRUCT 2' WIDE "U" SHAPED CONCRETE CHANNEL AT FL ELEVATIONS SHOWN. SEE DETAIL ON SHEET CG-501.
- FOR PHASE 1: INSTALL 8" ADS INLINE INLETS WITH PEDESTRIAN-RATED GRATES. SURROUND GRATES WITH WATTLE COILS TO PREVENT SOIL ERODING INTO STORM DRAIN.
- FOR PHASE 2: REMOVE WATTLE COILS, CLEAN UP ANY SOIL IN THE SIDEWALK, AND CLEAN OUT THE STORM DRAIN TO RESTORE IT TO FULL FUNCTION.
- CONSTRUCT CONCRETE TRANSFORMER PAD WITH MAX. 24" RETAINING WALL AS NECESSARY TO ACHIEVE GRADE DIFFERENCES SHOWN.
- PORTION OF BUILDING TO BE CONSTRUCTED WITH PHASE 2. CONNECT ROOF DRAINS TO STORM DRAIN.
- 2' WIDE FRACTURED FACE (F.F.) ROCK SWALE PER DETAIL ON SHEET CG-501.

## LEGEND

- |                         |                            |
|-------------------------|----------------------------|
| EXISTING CONTOUR        | SIDEWALK CULVERT           |
| PROPOSED CONTOUR        | FL=72.5 FLOWLINE ELEVATION |
| PROPOSED SPOT ELEVATION | INV=72.5 INVERT ELEVATION  |
| FLOW ARROW              | DRAIN LINE WITH SIZE       |
| FINISH FLOOR ELEVATION  |                            |

## DRAINAGE CERTIFICATION

SEE SHEET CG-501

## DRAINAGE CALCULATIONS

CALCULATIONS: 1659 - WEST SIDE MEDICAL OFFICE : April 23, 2008				
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993				
ON-SITE				
AREA OF SITE:	73429	SF	=	1.69 Ac.
ALLOWABLE DISCHARGE				
On-Site Historic Land Condition				
Area a	0	SF		
Area b	7343	SF		
Area c	7343	SF		
Area d	58743	SF		
Total Area	73429	SF		
DEVELOPED FLOWS:				
On-Site Developed Land Condition				
Area a	0	SF		
Area b	3671	SF		
Area c	7343	SF		
Area d	62415	SF		
Total Area	73429	SF		
EXCESS PRECIP:				
Precip. Zone	1			
Ea	0.44			
Eb	0.67			
Ec	0.99			
Ed	1.97			
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)				
Weighted E	EaAa + EbAb + EcAc + EdAd			
	Aa + Ab + Ac + Ad			
E	1.74 in.	Developed E	1.81 in.	
On-Site Volume of Runoff: V360 = E*A / 12				
V360	10659	CF	Developed V360	11057 CF
On-Site Peak Discharge Rate: Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560				
For Precipitation Zone 1				
Qpa	1.29	Qpc	2.87	
Qpb	2.03	Qpd	4.37	
Qp	6.7 CFS	Developed Qp	6.9 CFS	

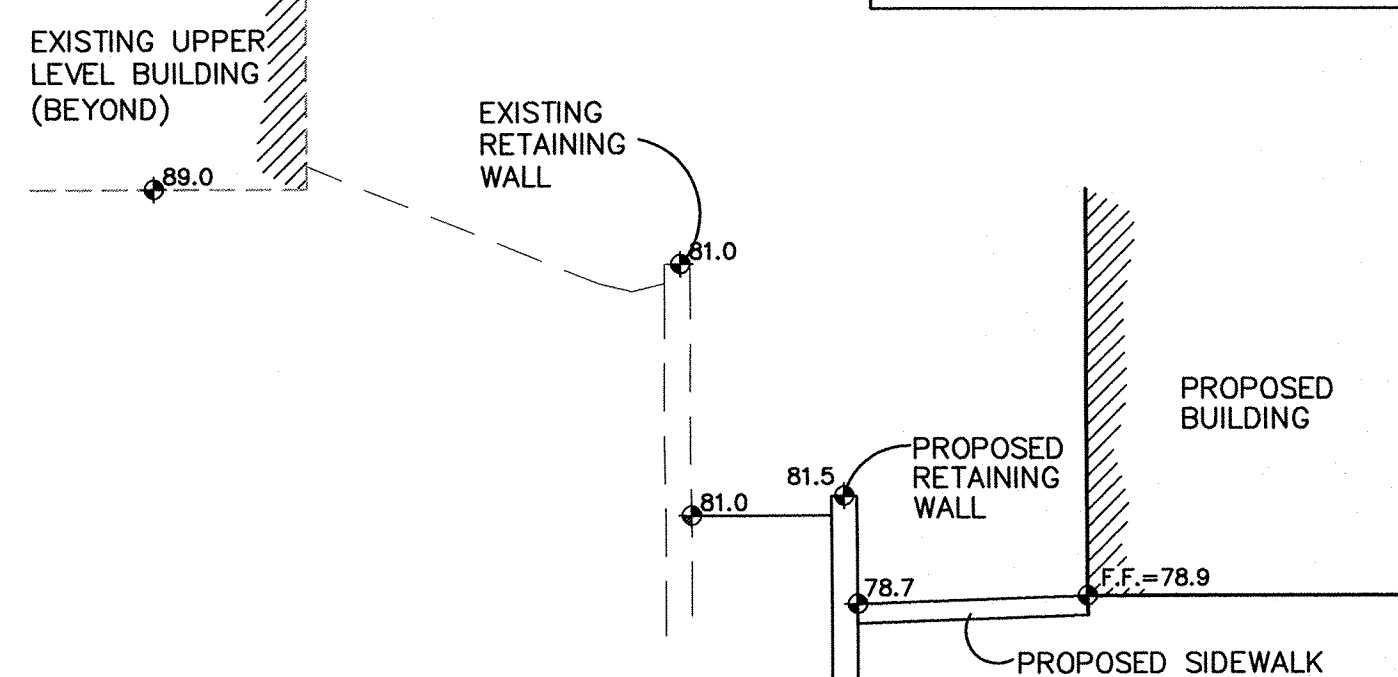
## S.O.19 : NOTICE TO CONTRACTORS

- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR	JASON RODRIGUEZ	8-9-13

## SECTION A-A

SCALE: 1"=5'



## WEST SIDE MEDICAL OFFICE

4410 IRVING BLVD. NW

## GRADING AND DRAINAGE PLAN

Date:	No. Revisions	Date	Job No.
04/17/13	1	4/17/13	1659
Drawn By:	GLD		
Ckd By:	FCA		
	1	REVISE SW CORNER OF PARKING LOT, SHOW PHASE BLDG., ADD DETAIL SHEET	
	2	REVISE GRADES AT NW CORNER OF BLDG., ADD INLET	
			CG-101
			SH. OF

B13 - D022A - Phase 1



## DRAINAGE CERTIFICATION

I, Genevieve L. Donart, NMPE, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 10/06/2008, with the following changes:

1

The building is broken into 2 phases. The below table identifies the phase(s) being certified on the corresponding shown dates. The phasing limits include:

Phase 1 - the western portion of the building; the complete parking lot; most of the sidewalk, landscaping and drainage improvements, with the exception of those listed in the phase 2 improvements.

Phase 2 - the eastern portion of the building; the sidewalks and landscaping adjacent to it; and roof drain connections from the portion of the building built with phase 2, connecting to the storm drain built with phase 1.

PHASE	CERTIFICATION	DATE
1	Genevieve L. Donart	07/31/13
2		

2

The NE portion of the parking area was altered, and picnic tables were added. A rock swale was installed to direct flows from the NE side of the building to a curb cut in the parking area. An additional inlet was installed in the upstream end of the storm drain in the sidewalk on the north side of the building.

3

An area drain with a sanitary sewer connection was added to the garbage enclosure area. The garbage enclosure was graded to drain to the area drain.

4

Details for drainage swales, curb cuts, and concrete rundowns were moved to a second sheet.

5

Clarification of type of pipe for storm drain system.

The record information edited onto the original design document has been obtained by Will Plotner, Jr, NMPS #14271, of the firm Cartesian Surveys. I further certify that I have personally visited the project site on 07/30/2013 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

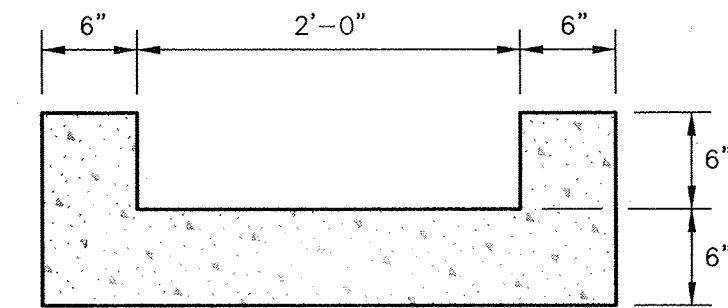


Genevieve L. Donart

NMPE

7/31/13

Date

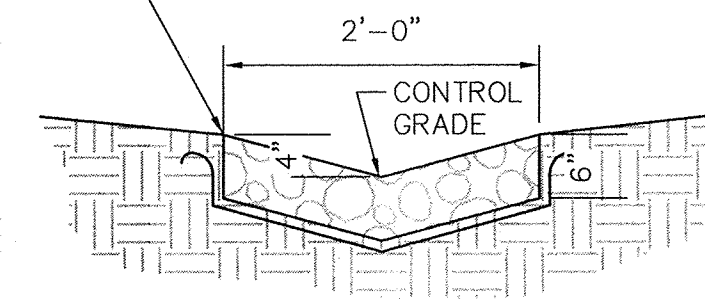


PROVIDE CONTRACTION JOINTS  
@ 10' O.C.

### 1 'U' SHAPED CONCRETE CHANNEL

SCALE: N.T.S.

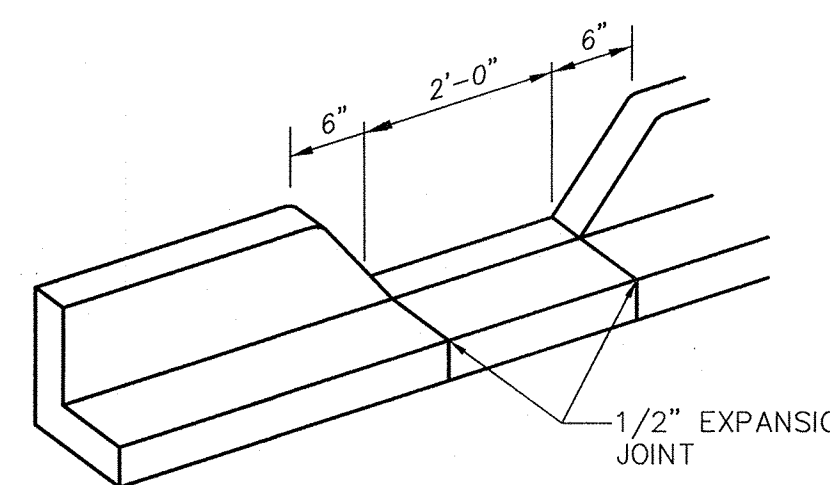
CONSTRUCT ALL SWALES BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY



- VARY ANGULAR FACE ROCK SIZE BETWEEN 4" AND 8" DIA. (AVG.=6")
- PLACE GEOTEX 501 NON-WOVEN GEOTEXTILE (0.E.) BENEATH ALL EROSION PROTECTION

### 2 ROCK SWALE

SCALE: N.T.S.



4

#### GENERAL NOTES

- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.

### 9 CURB OPENING

SCALE: N.T.S.

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1659 CG-501-AS-BUILT.dwg Jul 31, 2013

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**WEST SIDE MEDICAL OFFICE**  
4410 IRVING BLVD. NW

**GRADING DETAILS**

Date:	No.	Revision	Date:	Job No.
4-17-13	1	REVISE SW CORNER OF PARKING LOT, SHOW PHASED BLDG., ADDED DETAIL SHEET	4/17/13	1659
Drawn By: GLD				<b>CG-501</b>
Ckd By: FCA				<b>SH. OF</b>

