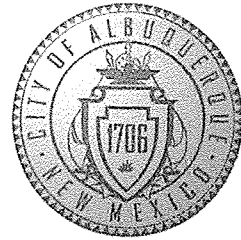


# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

July 23, 2013

Kent Trauernicht, R.A.  
AKT Architects, LLC  
PO Box 3366  
Albuquerque, NM 87190

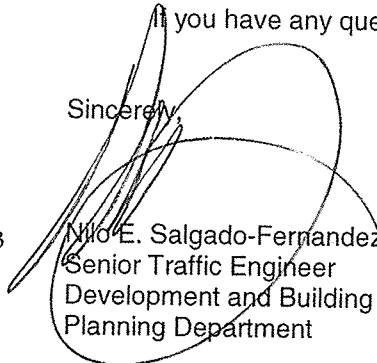
Re: **Certification for Certificate of Occupancy (C.O.)**  
Westside Medical Office Bldg. for Urology (B-13/D022A)  
4410 Irving Blvd. NW  
Architect's Stamp dated 07-18-13

Dear Mr., Trauernicht

Based upon the information provided in your submittal received 07-19-13, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



P. O. B O X 3 3 6 6  
ALBUQUERQUE, NM 87190  
T: (505) 281 - 9560  
F: (505) 286 - 1055  
C: (505) 259 - 7919  
aktarch@earthlink.net

July 19, 2013

City of Albuquerque  
Public Works Department  
Transportation Development Services  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

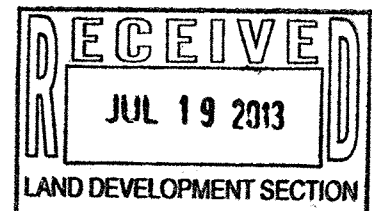
RE: Traffic Circulation Layout – Certification  
Westside Medical Building  
4410 Irving Blvd. NW  
Albuquerque, NM

I Kent Trauernicht, AKT Architects, certify that this project is in substantial compliance and accordance with the design intent of the attached DRB plan, approval date 11/26/08. The record information edited onto the original design document was provided by the firm of Isaacson & Arfman. I visited the site and determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. The record information edited onto the original design. This certification is for the "Traffic Circulation Layout" substantial construction completion.

The record information presented is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose. This document neither expresses nor implies a warranty.



July 18, 2013



DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 12/2005)

PROJECT TITLE: WESTSIDE MEDICAL

ZONE MAP/DRG. FILE #: B-13 D022A

DRB#: 1001907 BPC#: \_\_\_\_\_

WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT 10-A PLAT OF EAGLE RANCH

CITY ADDRESS: 4410 IRVING BLVD. NW

ENGINEERING FIRM: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

ARCHITECT: AKT Architects

ADDRESS: 55 Camino Del Senador

CITY, STATE: Tijeras, NM

CONTACT: Kent Trauernicht

PHONE: 281-9560

ZIP CODE: 87059

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL

☐ DRAINAGE PLAN RESUBMITTAL

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERT (HYDROLOGY)

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT

☒ ENGINEER'S/ARCHITECT'S CERT (TCL)

☐ ENGINEER'S CERT (DRB SITE PLAN)

☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D APPROVAL

☐ S. DEV. FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY (PERM)

☐ CERTIFICATE OF OCCUPANCY (TEMP)

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☐ NO

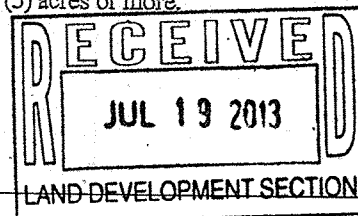
☐ COPY PROVIDED

SUBMITTED BY: Kent Trauernicht

DATE: 7/11/13

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





PROJECT

**WEST SIDE  
MEDICAL  
OFFICE  
BUILDING  
SHELL WITH  
TI FOR  
UROLOGY  
ASSOC**

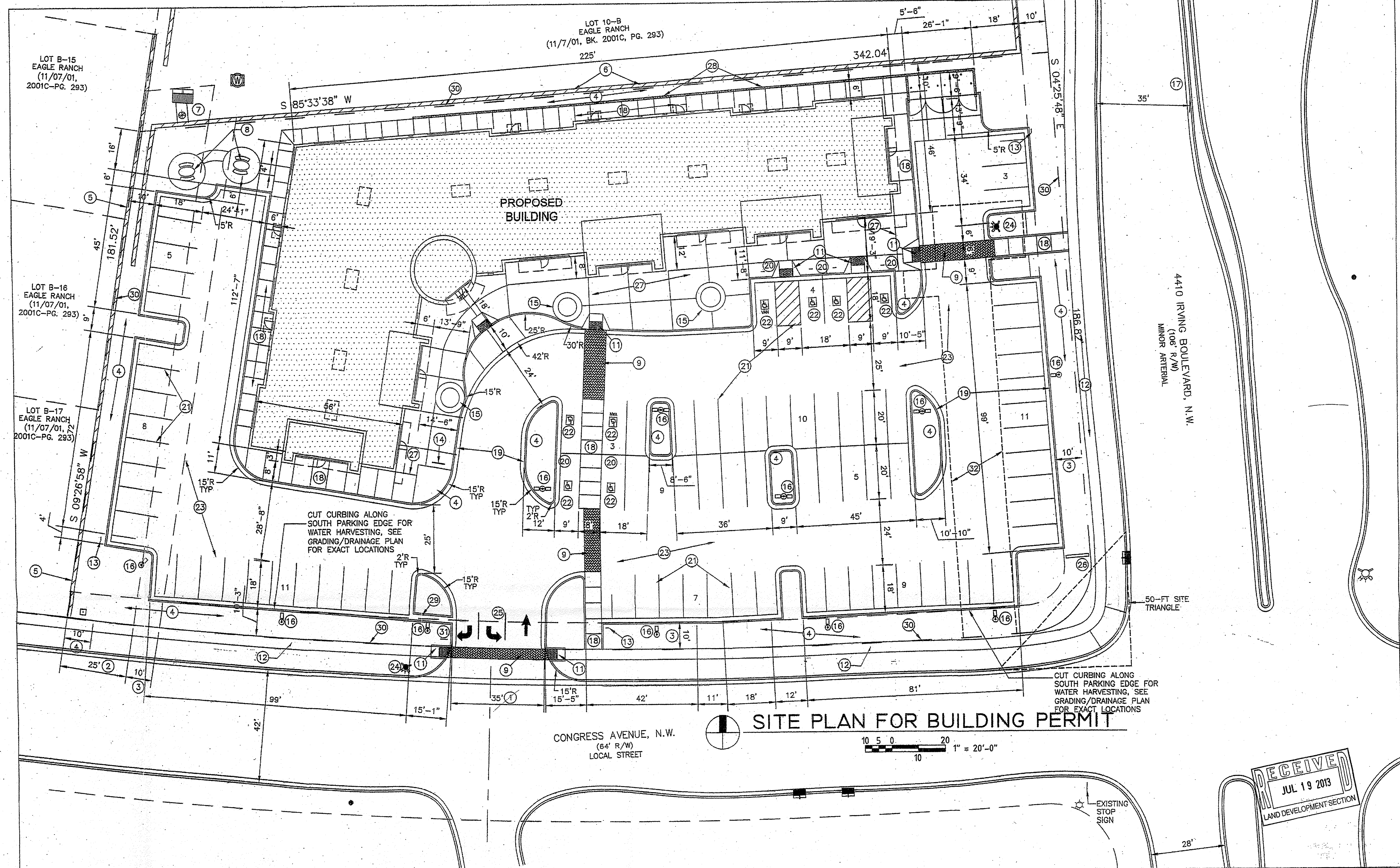
PROJECT ADDRESS

4410 IRVING BLVD NW  
ALBUQUERQUE, NM  
87114

MARK	DATE	DESCRIPTION
ISSUE DATE:	JUNE 30, 2008	

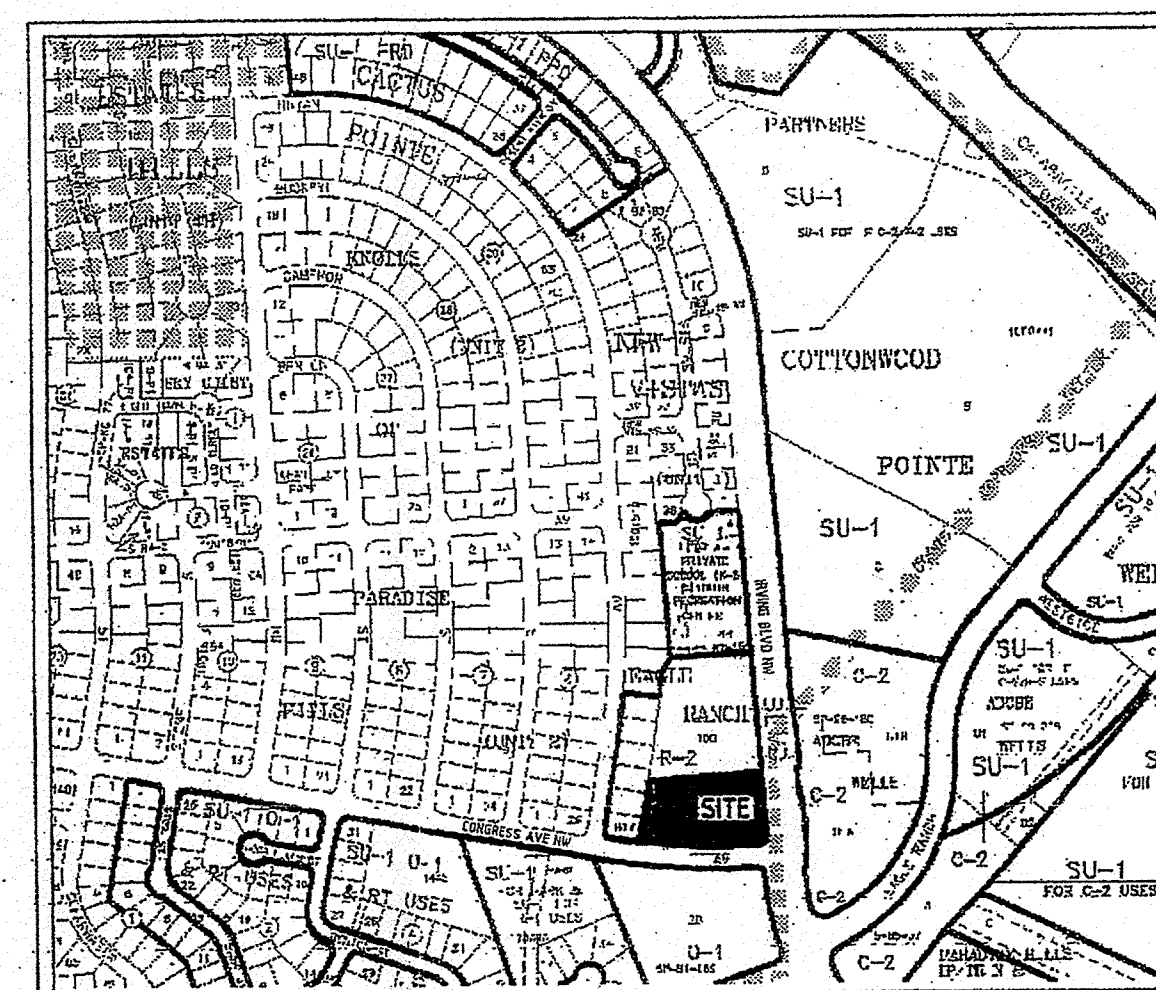
PROJECT NO:  
COPYRIGHT AKT ARCHITECTS, LLC  
SHEET TITLE

**SITE PLAN  
FOR  
BUILDING  
PERMIT**



KEYED NOTES

- CURB CUT AND CONCRETE DRIVEPAD, PER COABQ STANDARD DETAIL 2426
- DRAINAGE, WATER, SEWER EASEMENT
- EXISTING 10-FT WIDE PUBLIC UTILITY EASEMENT (PUE)
- LANDSCAPING
- EXISTING RESIDENTIAL LANDSCAPE AND RETAINING WALL, VARIES 6' TO 9' HIGH ON PROJECT SIDE
- EXISTING ADJOINING PROJECT RETAINING WALL, VARIES 3' TO 7' HIGH ON PROJECT SIDE
- EXISTING ADJOINING PROPERTY CONCRETE INLET STRUCTURE
- CONCRETE PICNIC TABLES ON 14-FT DIAMETER CONCRETE PATIO AS SHOWN
- RAISED (MAX 1/4\"
- RAISED, BEIGE COLORED, & TEXTURED CONCRETE PEDESTRIAN WALK, 6-FT WIDE TYPICAL
- WHEELCHAIR RAMP, PER COABQ STANDARD DETAIL 2441, ALL RAMPS SHALL COMPLY WITH ADA REQUIREMENTS, 1:12 MAX SLOPE AND 1:10 MAX SLOPE AT SIDE FLARES, WITH TRUNCATED DOME MAT FOR THE FIRST 36-INCHES AT BOTTOMS OF ALL RAMPS. SEE DETAIL E
- EXISTING 4-FT WIDE CONCRETE WALK ALL AROUND AS SHOWN. EXISTING WHEELCHAIR RAMP AT CORNER OF IRVING AND CONGRESS AS SHOWN
- 4'x8' MOTORCYCLE PARKING SPACE WITH MINIMUM 12'x18' SIGN DESIGNATING "MOTORCYCLE PARKING", MOUNT ON SIGN STANDARD WITH BOTTOM OF SIGN NO LESS THAN 48" ABOVE FINISH GRADE
- BICYCLE RACK. SEE DETAIL F
- RAISED CONCRETE PLANTERS, WITH SEATING 24"Wx18"H, 11"-0" OVERALL DIAMETER
- PARKING AREA LIGHTING FIXTURE, POLE, AND BASE. SEE DETAIL J
- REFUSE ENCLOSURE. SEE DETAIL G
- CONCRETE WALK AS SHOWN
- CONCRETE CURB AND GUTTER, TYPICAL AROUND ALL VEHICULAR TRAFFIC AND PARKING AREAS AS SHOWN. SEE DETAIL B
- HANDICAPPED PARKING SIGN, MINIMUM 50% OF HC SPACES SHALL BE SIGNED FOR VAN PARKING. SEE DETAIL D
- TWO COATS TRAFFIC PAINT, 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT), AS SHOWN THROUGHOUT TRAFFIC/PARKING AREAS
- HANDICAPPED PARKING SYMBOL PER COABQ STANDARD DETAIL 2426
- ASPHALT PAVING PER GEOTECHNICAL REPORT
- NEW FIRE HYDRANT WITH FIRE LINE EASEMENT AS REQUIRED, PER COABQ REQUIREMENTS AND WORK ORDERS
- DIRECTIONAL ARROWS AND LANE STRIPING AS SHOWN
- PROJECT MONUMENT SIGN. SEE DETAIL I
- TAN COLORED CONCRETE WALK AT BUILDING FRONT
- RETAINING WALL AS REQUIRED, SEE DETAIL H
- CONCRETE STORM WATER DRAINAGE GUTTER, SEE GRADING/DRAINAGE
- PROPERTY LINE
- INSTALL STANDARD COABQ STOP SIGN AND POST
- 20-FT WIDE PUBLIC WATERLINE EASEMENT



LOCATOR / ZONE ATLAS PAGE: B-13-Z

SITE DATA

PROPERTY: TRACT 10A, PLAT OF EAGLE RANCH  
ZONING: SU-1 FOR C-1 WITH RESTRICTED USES  
LOT SIZE: 73,430 SF (1.69 ACRES)  
LAND USE: MEDICAL OFFICES

BUILDING AREA: 15,394 SF  
PARKING 15,394 / 200 = 77 SPACES REQUIRED  
85 SPACES SHOWN  
MAXIMUM PARKING: ORDINANCE MINIMUM PLUS 10% = 85 SPACES

ACCESSIBLE PARKING REQUIRED: 4 SPACES (1 VAN)  
ACCESSIBLE SPACES PROVIDED: 8

3 MOTORCYCLE PARKING SPACES REQUIRED AND PROVIDED  
6 BICYCLE RACK SPACES REQUIRED AND PROVIDED

GENERAL NOTES

- THERE ARE BICYCLE LANES WITHIN THE IRVING BLVD, R.O.W.
- SCREENING OF TRANSFORMERS, ELECTRICAL BOXES AND OTHER UTILITY STRUCTURES SHALL NOT IMPEDE ACCESS FOR SAFE REPAIR AND MAINTENANCE OF THE EQUIPMENT.

PROJECT NUMBER: 1001907

APPLICATION NUMBER: 08DRB-30309

THIS SITE PLAN FOR BUILDING PERMIT IS CONSISTENT WITH THE SITE PLAN FOR SUBDIVISION, APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION, SEPTEMBER 19, 2002, (PROJECT NUMBER: 1001907)

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.  
DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	11/26/08
DATE	7-16-08
WATER UTILITY DEPARTMENT	7/16/08
DATE	7/16/08
PARKS AND RECREATION DEPARTMENT	7/16/08
DATE	7/16/08
CITY ENGINEER	7/16/08
DATE	7/16/08
N/A	7/16/08
DATE	7/16/08
SOLID WASTE MANAGEMENT	7/16/08
DATE	7/16/08
DRB CHAIRPERSON, PLANNING DEPARTMENT	12-01-08
DATE	12-01-08