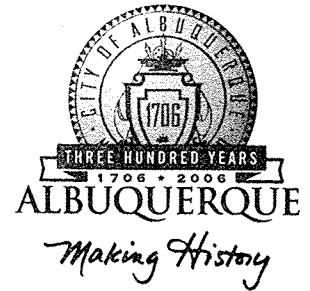


# CITY OF ALBUQUERQUE



August 10, 2005

Jeffrey Mortensen, P.E.  
Jeff Mortensen & Associates, Inc.  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109

**Re: Cibola High School Temporary Parking Lot, SW Corner of Coors Bypass  
and Seven Bar Loop NW, Site Plan**

**Engineer's Stamp dated 7-27-05 (B13-D23)**

Dear Mr. Mortensen,

P.O. Box 1293

Based upon the information provided in your submittal received 7-27-05, the  
above referenced plan is approved for Topsoil Disturbance Permit.

Albuquerque

If you have any questions, you can contact me at 924-3981.

New Mexico 87103

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: File

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**

(REV. 1/28/2003rd)

PROJECT TITLE: CHS TEMPORARY PARKING LOT ZONE ATLAS/DRNG. FILE #: B13/1223  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT N-2B-1 (CITY PROPERTY)  
 CITY ADDRESS: SOUTHWEST CORNER OF COORS BYPASS & SEVEN BAR LOOP NW

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN  
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: CITY OF ALBUQUERQUE CONTACT: LINDA ADAMSKO  
 ADDRESS: ONE CIVIC PLAZA PHONE: \_\_\_\_\_  
 CITY, STATE: ALBUQUERQUE ZIP CODE: \_\_\_\_\_

DEVELOPER: ALBUQUERQUE PUBLIC SCHOOLS CONTACT: JOHN DUFAY  
 ADDRESS: 915 LOCUST AVE SE PHONE: 765-5950 (X-228)  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: \_\_\_\_\_

SURVEYOR: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN  
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: UNIVERSAL CONSTRUCTORS CONTACT: PAUL FISHER  
 ADDRESS: \_\_\_\_\_ PHONE: 884-0400  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

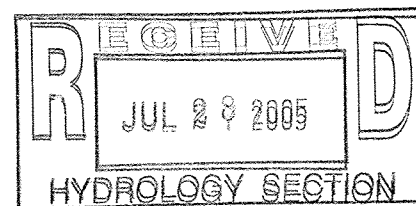
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☒ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)  
☒ OTHER - SITE PLAN

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) TOPSOIL DISTURBANCE

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☒ YES (07/26/2005)  
☐ NO  
☐ COPY PROVIDED

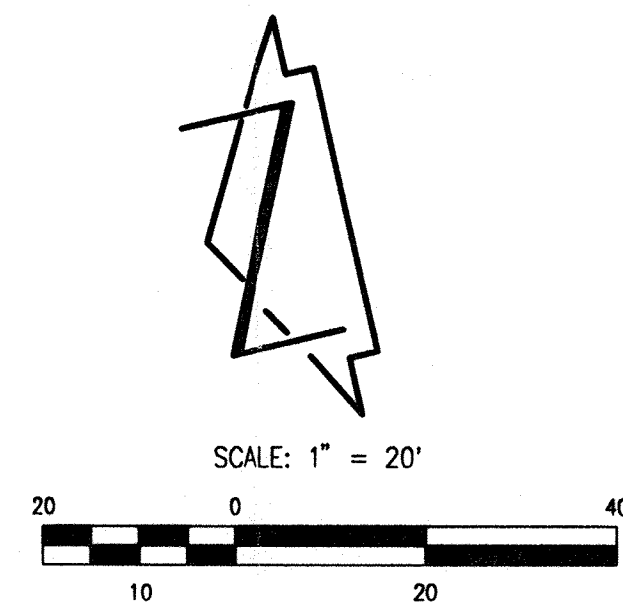


DATE SUBMITTED: 07/27/2005 BY: JEFFREY G. MORTENSEN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Xc: Kathy Aldaz, M&O; Bob Wood, M&O



# I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED IN THE NORTHWEST MESA OF THE ALBUQUERQUE METROPOLITAN AREA, REPRESENTS THE INTERIM DEVELOPMENT OF AN EXISTING SITE WITHIN AN INFILL AREA. THE DRAINAGE CONCEPT FOR THIS PROJECT WILL BE TO ALLOW THE SITE RUNOFF TO SHEET DRAIN FROM WEST TO EAST TOWARD THE COORS BYPASS. AT THIS LOCATION, THE COORS BYPASS DRAINS NORTH TO AN EXISTING PUBLIC DETENTION POND LOCATED AT THE SOUTHWEST CORNER OF THE COORS BYPASS AND ELLISON ROAD NW. AT PRESENT, THE SITE IS OWNED BY THE CITY OF ALBUQUERQUE AND WILL BE DEVELOPED BY THE ALBUQUERQUE PUBLIC SCHOOLS BY AGREEMENT WITH THE CITY. IN THE INTERIM, THE SITE WILL SERVE AS A TEMPORARY PARKING LOT FOR CIBOLA HIGH SCHOOL.

THIS SUBMITTAL IS MADE IN SUPPORT OF A TOPSOIL DISTURBANCE WITHIN THE JURISDICTION OF THE CITY OF ALBUQUERQUE.

# II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF THE COORS BYPASS AND SEVEN BAR LOOP NW. THE CURRENT LEGAL DESCRIPTION IS THE SOUTHERLY PORTION OF TRACT N-28-1. AS SHOWN BY PANELS 108 AND 109 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER 20, 1996, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE (ZONE AO).

# III. EXISTING AND PROPOSED CONDITIONS

THE SITE CURRENTLY SLOPES FROM WEST TO EAST TOWARD THE COORS BYPASS. THE COORS BYPASS DRAINS FROM SOUTH TO NORTH AT THIS LOCATION WITH RUNOFF CARRIED BY THE ROADWAY DRAINING TO THE EXISTING PUBLIC DETENTION AT THE SOUTHWEST CORNER OF THE COORS BYPASS AND ELLISON DRIVE NW. AT THE TIME THAT THE SAD THAT INCLUDED THE EXISTING PUBLIC DETENTION POND WAS CONSTRUCTED, THE SITE WAS USED AS THE CONTRACTOR'S CONSTRUCTION AND STAGING YARD. AS SUCH, IT IS CONSIDERED LAND TREATMENT C. MORE RECENTLY, THE SITE HAS BEEN AN UNPAVED PARKING LOT FOR THE STUDENTS. EITHER WAY, IT IS LAND TREATMENT C IN THE EXISTING CONDITION.

THE PROPOSED CONSTRUCTION IS TO CLEAR AND GRUB THE SITE, MAINTAINING THE EXISTING DRAINAGE PATTERN OF SHEET FLOW TO THE EAST. THEN, 4-INCHES OF CRUSHED ASPHALT BASE COURSE WILL BE ADDED TO STABILIZE THE NATIVE SOIL AND PROVIDE GRAVEL SURFACE, ALSO LAND TREATMENT C, FOR THE INTERIM PARKING LOT. BY MAINTAINING LAND TREATMENT C IN BOTH CONDITIONS, THE HYDROLOGY OF THE SITE WILL NOT BE SIGNIFICANTLY ALTERED.

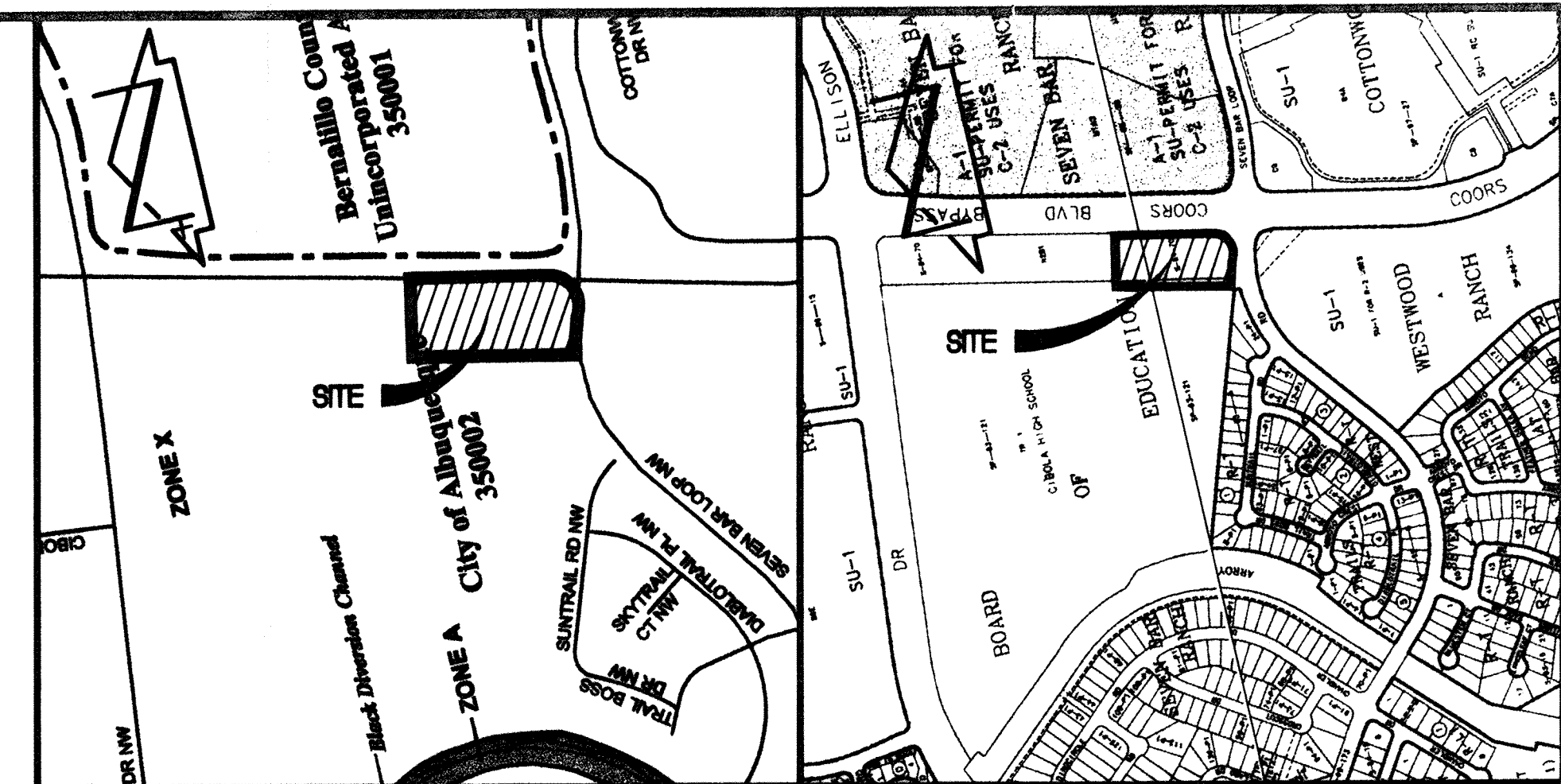
FOR EROSION CONTROL, SILT FENCE WILL BE ATTACHED TO A NEW CHAIN LINK FENCE AT THE SITE PERIMETER. A COPY OF THE EROSION CONTROL PLAN ACCOMPANIES THIS SUBMITTAL.

# LEGAL DESCRIPTION

SOUTHERN PORTION OF TRACT N-28-1

# PARKING SUMMARY

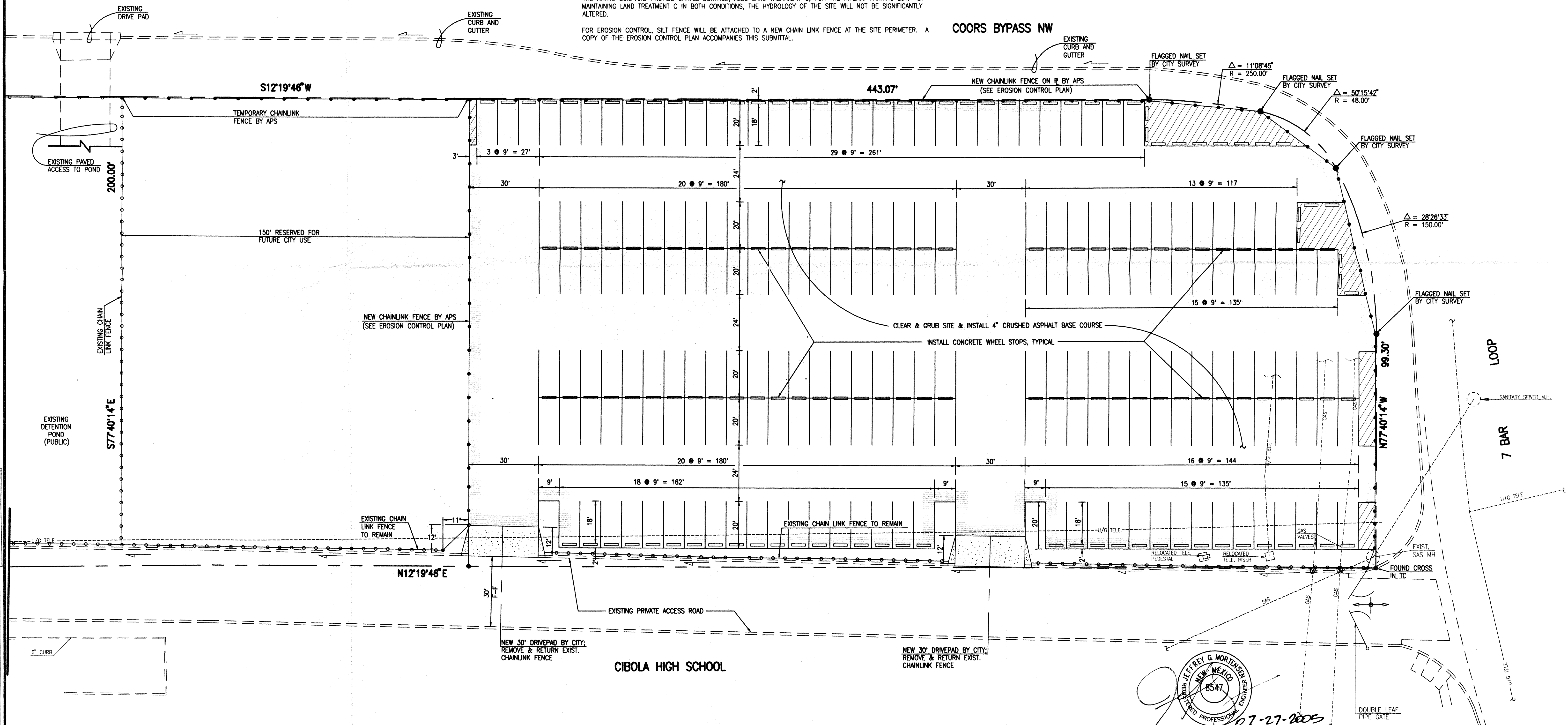
205 REGULAR SPACES



FLOODPLAIN MAP  
SCALE: 1" = 500'

108, 109 VICINITY MAP  
SCALE: 1" = 750'

A-13, B-13



# FINAL SITE PLAN TEMPORARY PARKING LOT CIBOLA HIGH SCHOOL

APPROVED FOR TOPSOIL DISTURBANCE

CITY HYDROLOGY DATE

DESIGNED BY J.G.M./J.W.  
DRAWN BY J.L.P.  
APPROVED BY J.G.M.

NO.	DATE	BY	REVISIONS

JOB NO. 2004.184.5  
DATE 05-2005  
SHEET 1 OF 1



JEFF MORTENSEN & ASSOCIATES, INC.  
6800-B MIDWAY PARK BLVD. NE  
ALBUQUERQUE, NEW MEXICO 87109  
ENGINEERS & SURVEYORS (SOS) 345-4250  
FAX: 505 345-4254 ESTABLISHED 1977

File Path: \\JMA\WORK\2004\2004.184.5  
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Plot Date: 07-27-2005  
Plot Time: 12:56 pm