

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

August 21, 2017

Travis Barr, P.E.
Mark Goodwin & Associates
PO Box 90606
Albuquerque, NM, 87199

**RE: Taco Cabana Cottonwood
Grading Plan
Stamp Date: 8/14/17
Hydrology File: B13D025**

Dear Mr. Barr:

PO Box 1293

Based upon the information provided in your re-submittal received 8/15/2017, the Grading and Drainage Plan is approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

www.cabq.gov

Reneé C. Brissette

Reneé C. Brissette, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Taco Cabana Restaurant Building Permit #: _____ City Drainage #: _____

DRB#: 1007502 EPC#: _____ Work Order#: _____

Legal Description: Tract M-1-B Seven-Bar Ranch

City Address: Intersection of Cottonwood Dr and Seven Bar Loop Rd

Engineering Firm: D. Mark Goodwin & Associates, P.A. Contact: Travis Barr, PE

Address: 8916 Adams St., Albuquerque, NM 87113

Phone#: (505) 828-2200 Fax#: _____ E-mail: travis@goodwinengineers.com

Owner: Taco Cabana of El Paso, Inc. Contact: Mel Sloan

Address: 6270 El View Road, Larkspur, CO 80118

Phone#: 972-310-2300 Fax#: _____ E-mail: _____

Architect: General Design Inc. Contact: Jim Lewis

Address: 904 Princeton SE, Albuquerque, NM 87106

Phone#: 505-247-1529 Fax#: _____ E-mail: gdi@mac.com

Other Contact: Precision Survey Contact: Larry Medrano

Address: 5571 Midway Park Place NE, Albuquerque, NM 87019

Phone#: 505-856-5700 Fax#: _____ E-mail: larry@presurv.com

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8-14-2017 By: Travis Barr, P.E.

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

*~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~*

August 14, 2017

Ms. Renee C. Brissette, P.E.
Senior Engineer, Hydrology
City of Albuquerque
PO Box 1293
Albuquerque, NM 87102

**Re: Taco Cabana Cottonwood Grading Plan
Hydrology File: B13D025**

Dear Ms. Brissette,

Attached hereto is the amended Grading and Drainage Plan for the Taco Cabana Cottonwood Property. Additionally, below are responses to your comments from your letter dated July 5, 2017.

1. Please see the attached Grading and Drainage Plan.
2. A copy of the Erosion, Sediment, and Control Plan has been sent to Mr. Cherne, P.E.
3. Please see the first flush calculations on the attached Grading and Drainage Plan.
4. Curb cuts and flow arrows have been added to the attached Grading and Drainage Plan.
5. Please see the attached email dated August 4, 2017.
6. Please see the cross lot drainage notes on the attached Grading and Drainage Plan and Plot.

Should you have any questions or concerns, please don't hesitate to contact myself at travis@goodwinengineers.com or 505-828-2200.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

W S Barr, P.E.

William Travis Barr, PE
Staff Engineer

Attachments as listed herein.

Travis Barr

From: Brissette, Renee C. <rbrissette@cabq.gov>
Sent: Friday, August 04, 2017 9:44 AM
To: Travis Barr
Cc: Mark Goodwin
Subject: RE: Taco Cabana Cottonwood, Question

Mr. Barr,

Sorry about the confusion. Number 5's comment should have stated the following:

- Please show Cross Lot Drainage Easements on both the Plat and the Grading & Drainage Plan specifying the beneficiary and maintenance agreement.

This is because the project's new lot has the existing parking and proposed Taco Cabana site drains through the Home Depot site in order to get the drainage to the detention pond on the other side of Home Depot. If you have any further questions, please give me a call.

Reneé C. Brissette, PE

Senior Engineer, Hydrology
Planning Department
Development Review Services Division
600 2nd St. NW
Albuquerque, NM 87102
(505)924-3995

From: Travis Barr [mailto:travis@goodwinengineers.com]
Sent: Friday, August 04, 2017 8:08 AM
To: Brissette, Renee C.
Cc: Mark Goodwin
Subject: Taco Cabana Cottonwood, Question

Good morning Ms. Brissette,

I am starting to work on the comments from your review letter dated July 5, 2017 for the Taco Cabana Cottonwood project. When reviewing the comments I wondering if you could explain comment five and additionally if you could describe what type of facility you envisioned?

Thank you,

Travis Barr, P.E.
Mark Goodwin & Associates, PA
Staff Engineer
PO BOX 90606
Albuquerque, NM 87119
(505) 828-2200

GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. HOME DEPOT SPECIFICATIONS SHALL BE USED FOR ALL WORK ABUTTING CARVE OUT PARCEL.

DRAINAGE NOTES

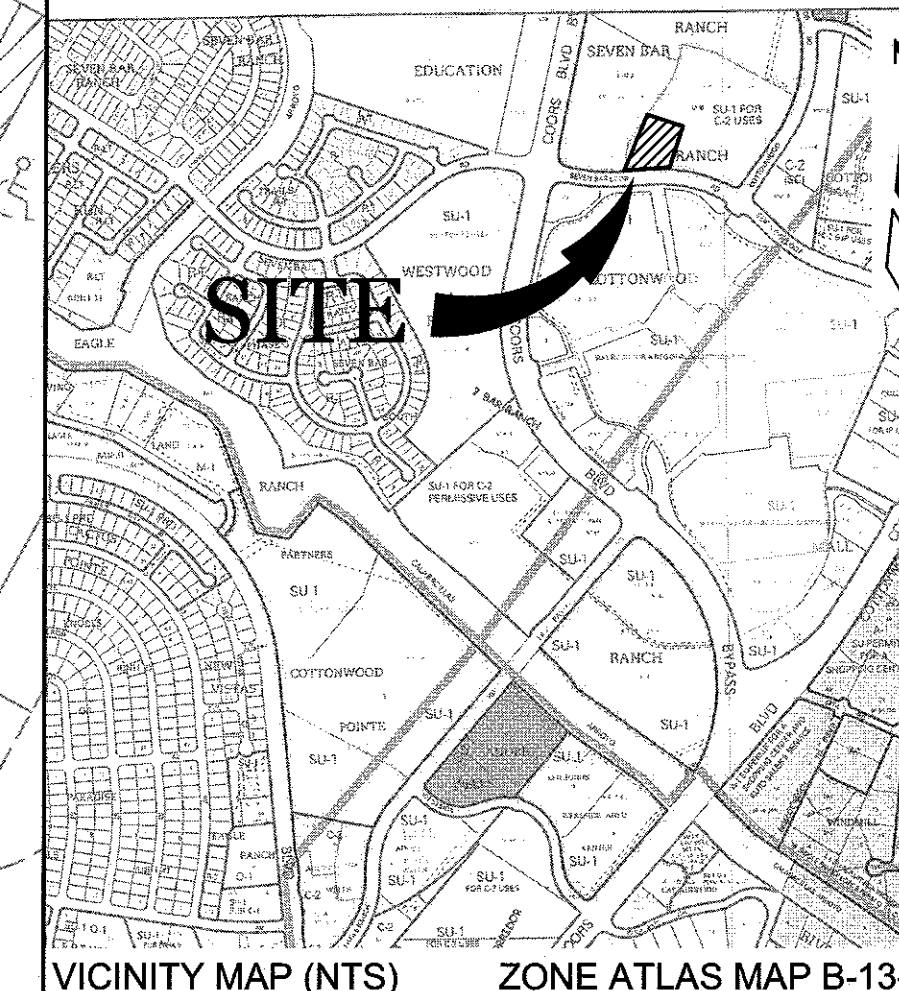
1. PROJECT ENTAILS CONSTRUCTING A NEW BUILDING, PARKING LOT AND LANDSCAPING OVER AN EXISTING PARKING LOT.
2. EXISTING DRAINAGE PATTERN IS SHEET FLOW TO AN EXISTING DETENTION POND ON THE NORTH SIDE OF THE EXISTING HOME DEPOT.
3. EXISTING IMPERVIOUS AREA = 90%
PROPOSED IMPERVIOUS AREA = 85%

THERE WILL BE A DECREASE IN RUN-OFF TO THE EXISTING POND
4. ALL LANDSCAPING AREAS ARE TO BE DEPRESSED BY 6".
5. SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD PLAIN.

FIRST FLUSH CALCULATIONS

IMPERVIOUS AREA = 37,537.92 SF
FIRST FLUSH VOLUME REQUIRED = $(A)(0.34)(1/12) = (37,537.92)(0.34)(1/12) = 1019.6$ CF
LANDSCAPED AREA = 5,145.4 SF
FIRST FLUSH VOLUME PROVIDED = $(A)(1/2) = (5,145.4)(1/2) = 509.8$ CF

RIM=5056.31



LEGAL DESCRIPTION

A TRACT OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING TRACT M-1-B, SEVEN BAR RANCH.

LEGEND

- EXISTING SANITARY SEWER MANHOLE
- EXISTING CLEANOUT
- EXISTING STORM DRAIN MANHOLE
- EXISTING CATCH BASIN/DROP INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING SPRINKLER CONTROL VALVE
- EXISTING GAS METER
- EXISTING ELECTRIC TRANSFORMER
- EXISTING ELECTRIC PEDESTAL
- EXISTING TELEPHONE/FIBER OPTIC MANHOLE
- EXISTING TELEPHONE/FIBER OPTIC PEDESTAL
- EXISTING TELEPHONE/FIBER OPTIC MARKER-UG
- EXISTING CABLE TV PEDESTAL
- EXISTING LIGHT POLE
- EXISTING TRAFFIC SIGNAL PULLBOX
- EXISTING UTILITY PULLBOX
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- NEW SWALE
- FF=58.00 NEW FINISHED FLOOR ELEVATION
- 56.90 NEW TOP OF CURB ELEVATION
- 56.40 NEW FLOWLINE ELEVATION
- 57.90 NEW SPOT ELEVATIONS
- NEW FLOW DIRECTION

AS THE ENGINEER OF RECORD, I HEREBY CERTIFY THAT THE TACO CABANA SITE WILL NOT INCREASE THE STORMWATER RUNOFF INTO THE EXISTING STORMWATER SYSTEM.

MARK GOODWIN, N.M.P.E. #8948 DATE

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: TACO CABANA @ COTTONWOOD
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET
	B-13-Z	1 OF 1

F:\A16\085\A16041 Home Depot Property\GRADE & DRAIN\A16041_G&D-TACO CABANA.dwg, Last saved by: Wharr, 6/5/17