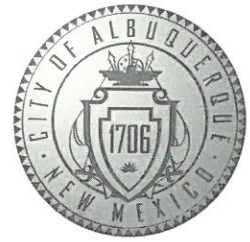


# CITY OF ALBUQUERQUE



December 13, 2017

Shawn Biazar  
SBS Construction & Engineering, LLC.  
10209 Snowflake Ct. NW  
Albuquerque, NM 87114

RE: **9841 Buckeye St. NW**

**Grading Plan**

**Engineer's Stamp Date ~~12/12/17~~**

**Hydrology File: B13D028**

12/07/17.dp

Dear Mr. Biazar:

Based on the information provided in your submittal received 12/12/17, the Grading Plan is approved for Building Permit.

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

**Location**  
Lot, Block 7, Knolls of Paradise Hills, Unit 2 is located at 9841 Buckeye St., NW containing 0.1570 acre. See attached portion of Vicinity Map B-13-Z for exact location.

**Purpose**  
The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvements for Lot 14, Block, Knolls of Paradise Hills Unit 2.

**Existing Drainage Conditions**  
This site falls within Master Drainage Plan for SAD 222. Lot drains to the north. No other offsite flows enters this site.

**Proposed Conditions and On-Site Drainage Management Plan**  
This site is within the SAD 222 Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the street (Buckeye St., NW) per the master drainage plan. We are ponding the first flush water quality generated by this site. There are existing and proposed retaining walls on this lot. The shallow harvesting pond is located at front of the Lot. First flush volume requirement for Lot 14 is 92.18 cf and total volume provided is ( ponds A ) is 103.67 cf.

**1ST FLUSH VOLUME CALCULATIONS**

**BUILDING/DRIVE WAY AREA:**

3253 SF / 12 = 271.83  
271.83 \* 0.34 = 92.18 CF

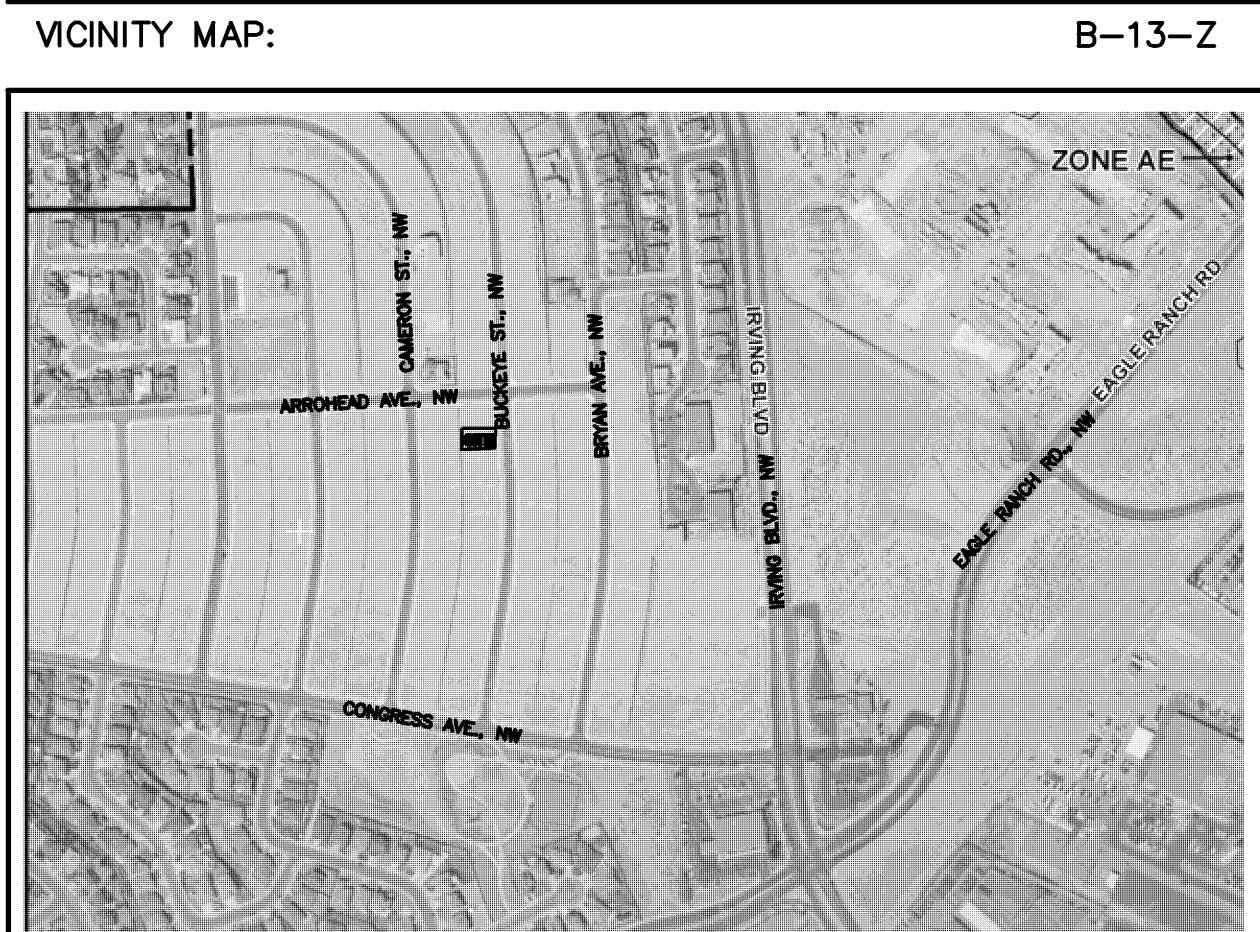
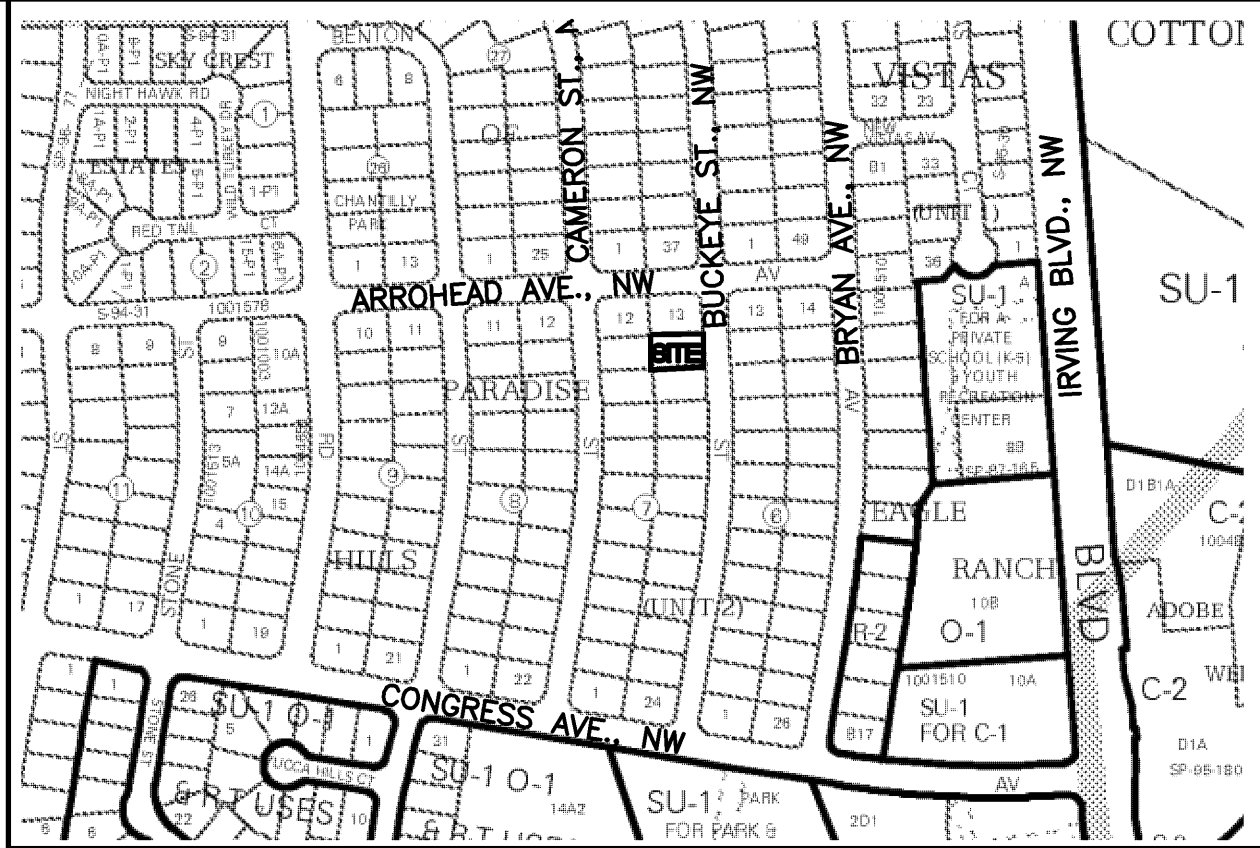
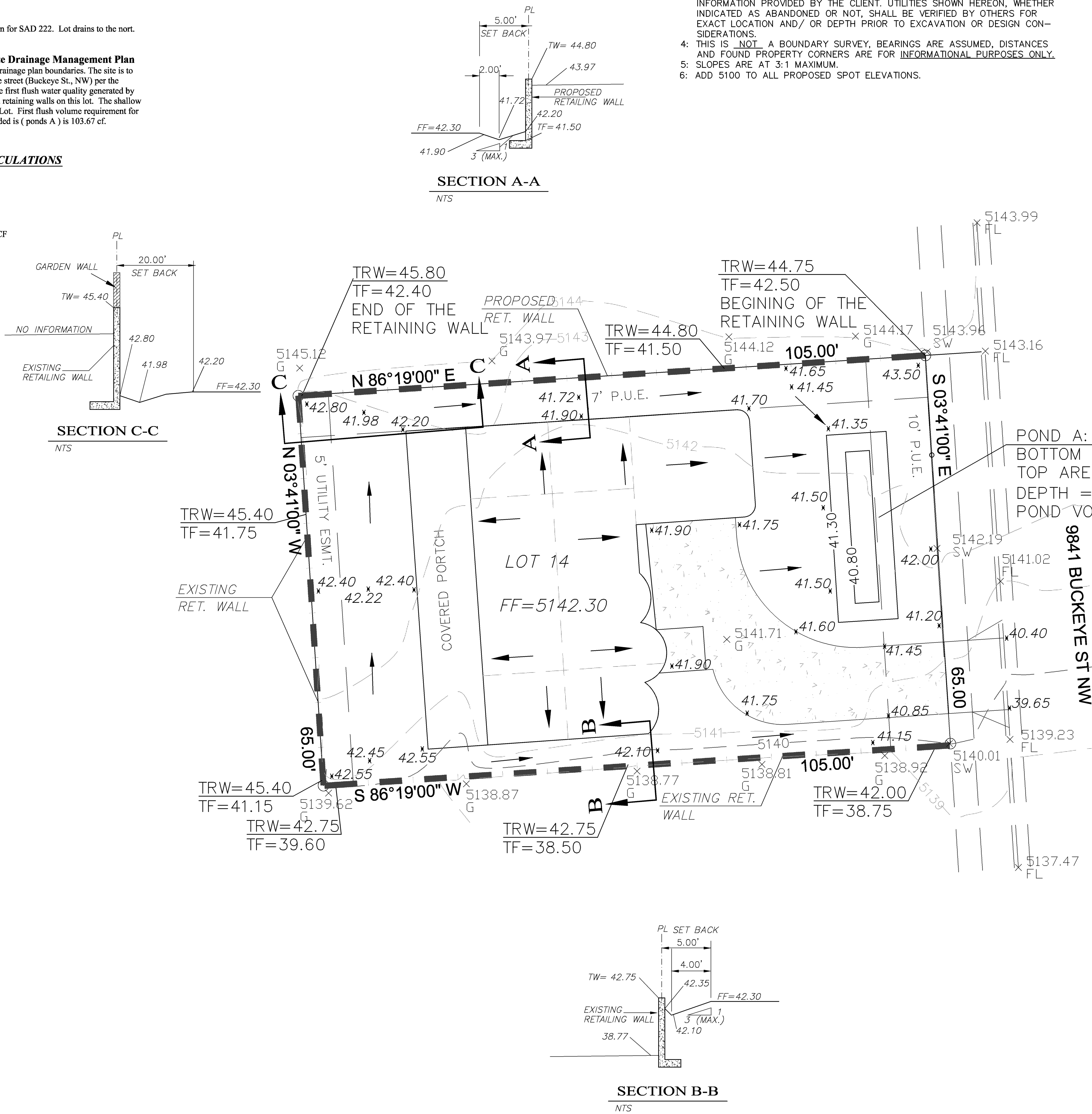
V (1ST FLUSH REQUIRED) = 92.18 CF  
V (PROVIDED) = 103.67 CF

**GENERAL NOTES:**

- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 17\_C13, HAVING AN ELEVATION OF 5055.164 FEET ABOVE SEA LEVEL.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 5: SLOPES ARE AT 3:1 MAXIMUM.
- 6: ADD 5100 TO ALL PROPOSED SPOT ELEVATIONS.

**EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF



**LEGAL DESCRIPTION:**  
LOT 14, BLOCK 7, KNOLLS OF PARADISE HILLS UNIT 2  
ADDRESS: 9841 BUCKEYE STREET, NW



**SBS CONSTRUCTION AND ENGINEERING, LLC**

10209 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)899-5570

**9841 BUCKEYE STREET, NW  
GRADING PLAN**

DRAWING: 201739-GD.DWG  
DRAWN BY: SH-B  
DATE: 11/20/2017  
SHEET # 1



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

**Project Title:** 9841 Buckeye St., NW Building Permit #: BP 2017-37910 Hydrology File #: B13D028

RB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 14, Block 7, Knolls of Paradise Hills, Unit 2

City Address: 9841 Buckeye St., NW

**Applicant:** SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

**Other Contact:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

### PRE-DESIGN MEETING?

\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 12-8-2017 By: SHAWN BIAZAR