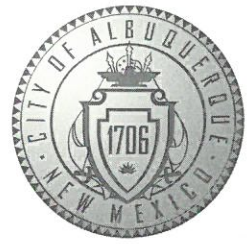


CITY OF ALBUQUERQUE



November 30, 2017

Shawn Biazar
SBS Construction & Engineering, LLC.
10209 Snowflake Ct. NW
Albuquerque, NM 87114

RE: **9841 Buckeye St. NW**
Grading Plan
Engineer's Stamp Date 11/20/17
Hydrology File: B13D028

Dear Mr. Biazar:

Based on the information provided in your submittal received 11/21/17, the Grading Plan cannot be approved for Building Permit until the following are addressed:

1. Provide section cuts of the proposed retaining wall and the two existing retaining walls. Ensure these section views show that the flowline is not set against any retaining walls or walls of the house.
2. Show the property line, existing and proposed grades on the section views. In accordance with Ch.22, section 5 part B, of the DPM, grading and wall construction near the property line may not endanger adjacent property or constrain its use.
3. If the proposed retaining wall will create such an encroachment, written agreement from both landowners must be provided for such work.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: 9841 Buckeye St., NW Building Permit #: BP 2017-27673 Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 14, Block 7, Knolls of Paradise Hills, Unit 2

City Address: 9841 Buckeye St., NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 11-20-2017 By: SHAWN BIAZAR

Location
Lot, Block 7, Knolls of Paradise Hills, Unit 2 is located at 9841 Buckeye St., NW containing 0.1570 acre. See attached portion of Vicinity Map B-13-Z for exact location.

Purpose
The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvements for Lot 14, Block, Knolls of Paradise Hills Unit 2.

Existing Drainage Conditions
This site falls within Master Drainage Plan for SAD 222. Lot drains to the north. No other offsite flows enters this site.

Proposed Conditions and On-Site Drainage Management Plan
This site is within the SAD 222 Master Drainage plan boundaries. The site is to maintain existing patterns and drian to the street (Buckeye St., NW) per the master drainage plan. We are ponding the first flush water quality generated by this site. There are existing and proposed retaining walls on this lot. The shallow harvesting pond is located at front of the Lot. First flush volume requirement for Lot 14 is 92.18 cf and total volume provided is (ponds A) is 103.67 cf.

- GENERAL NOTES:**
- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
 - 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 17_C13, HAVING AN ELEVATION OF 5055.164 FEET ABOVE SEA LEVEL.
 - 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 - 5: SLOPES ARE AT 3:1 MAXIMUM.
 - 6: ADD 5100 TO ALL PROPOSED SPOT ELEVATIONS.

**EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES**

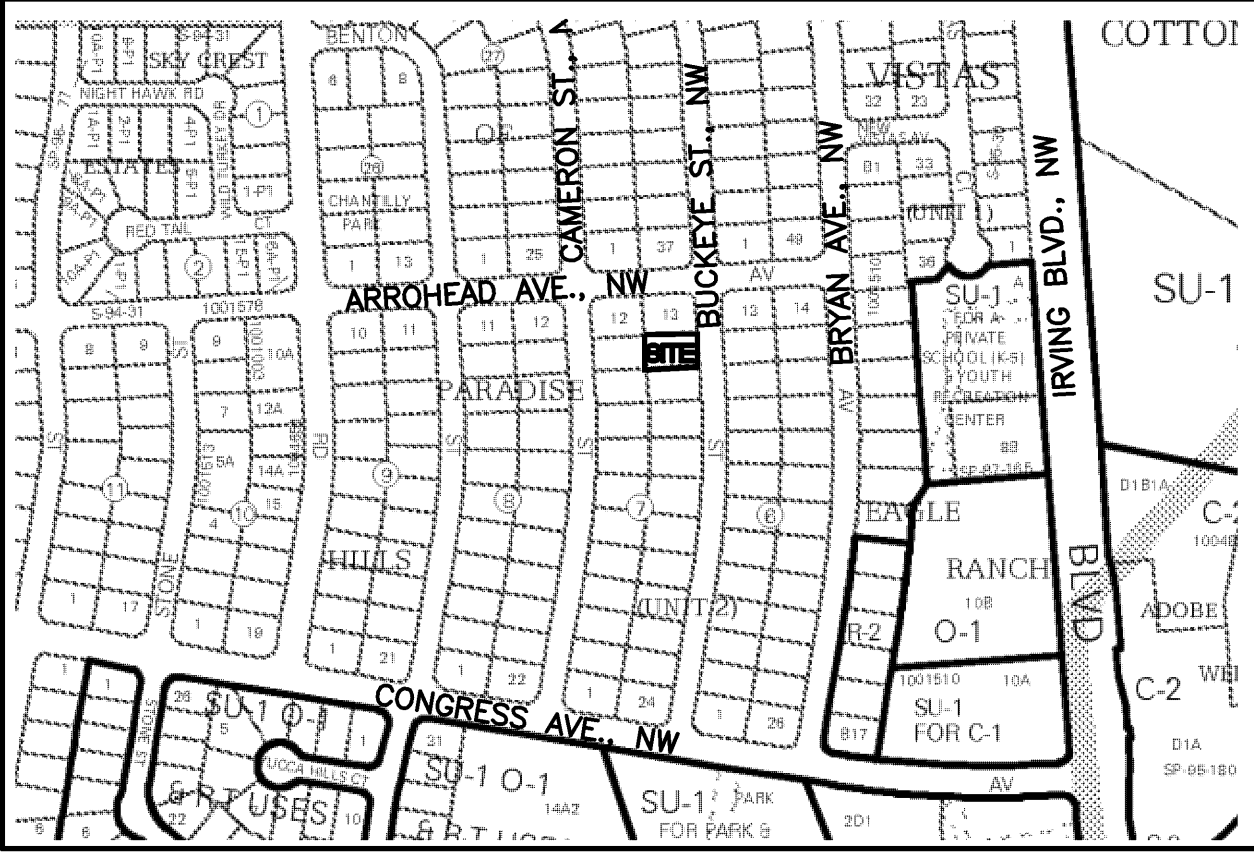
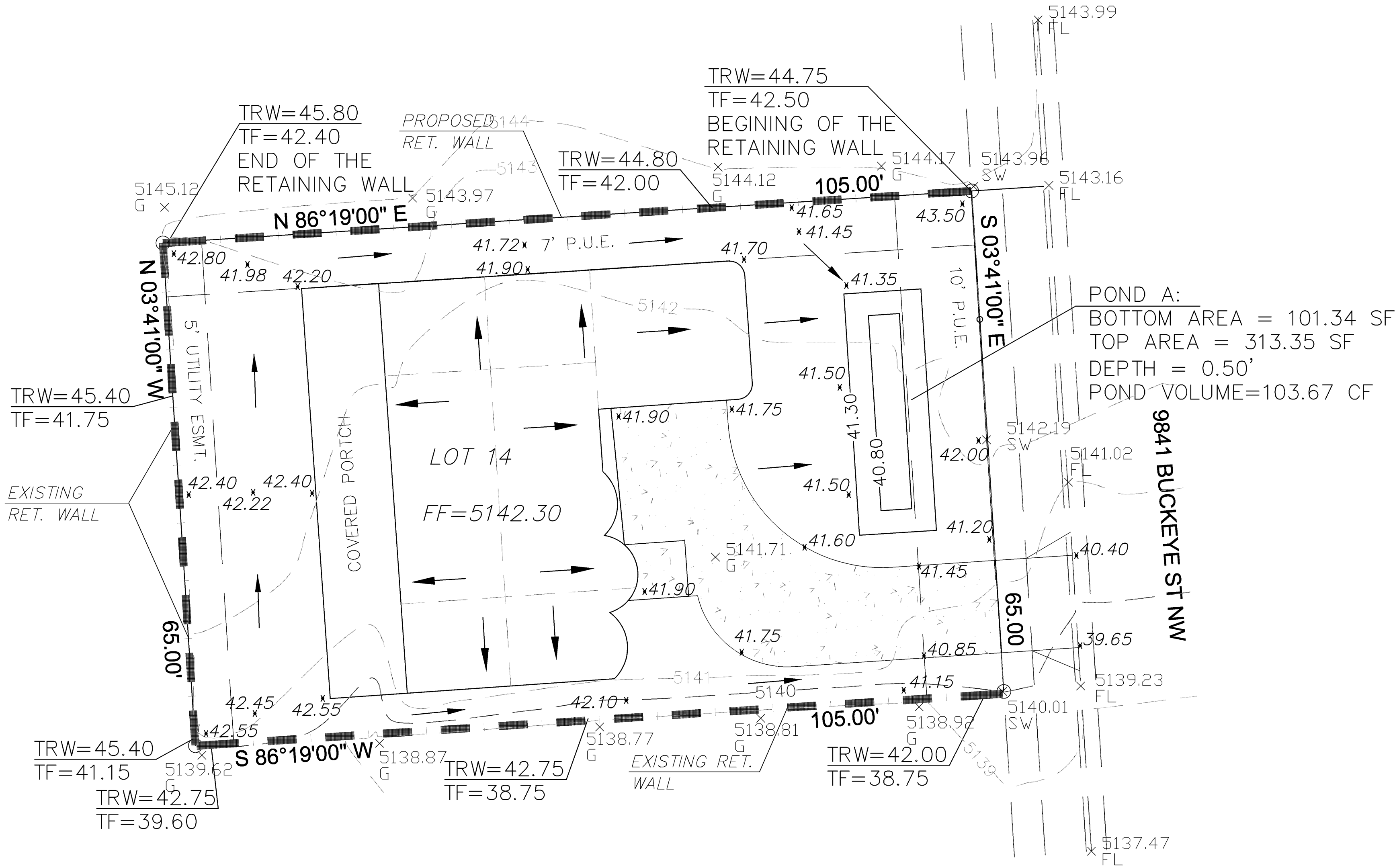
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

1ST FLUSH VOLUME CALCULATIONS

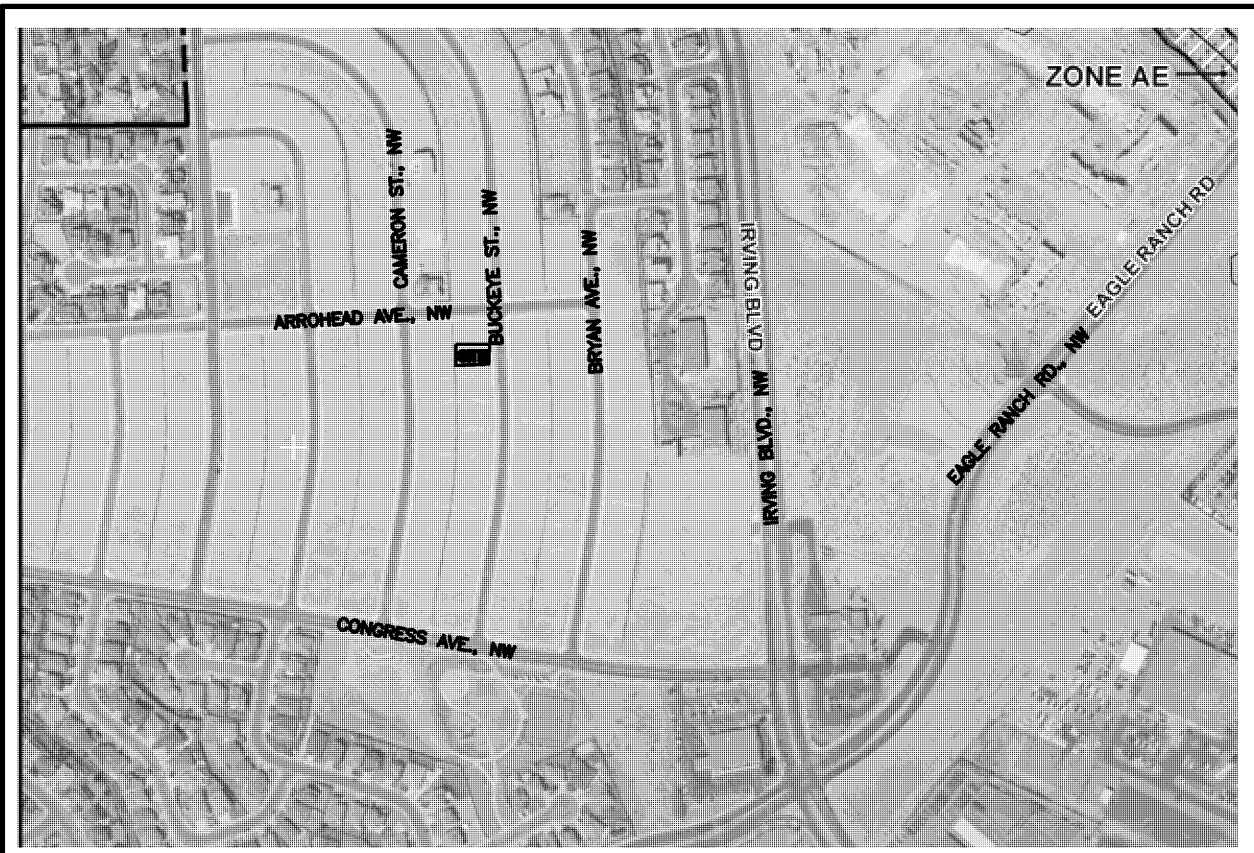
BUILDING/DRIVE WAY AREA:

3253 SF / 12 = 271.83
271.83 * 0.34 = 92.18 CF

V (1ST FLUSH REQUIRED) = 92.18 CF
V (PROVIDED) = 103.67 CF



VICINITY MAP: B-13-Z



FIRM MAP: FM35001C0108G

LEGAL DESCRIPTION:
LOT 14, BLOCK 7, KNOLLS OF PARADISE HILLS UNIT 2
ADDRESS: 9841 BUCKEYE STREET, NW

LEGEND	
---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
---	BOUNDARY LINE
x 42.70	PROPOSED SPOT ELEVATION
x 5029.16	EXISTING GRADE
x 5075.65	EXISTING FLOWLINE ELEVATION
---	PROPOSED RETAINING WALL
BC=41.30	BOTTOM OF CHANEL
TF=42.00	TOP OF FOOTING
TRW=45.12	TOP OF RETAINING WALL
HP	HIGH POINT
42.40	AS-BUILT GRADES
x 5141.50	AS-BUILT SPOT ELEVATIONS
FF=5142.30	FP=5142.25



REZA AFAGHPOUR
P.E. #11814

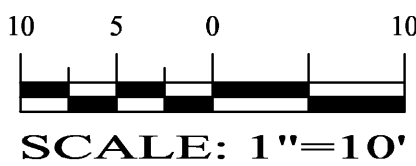
**SBS CONSTRUCTION
AND ENGINEERING, LLC**

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

RETAINING WALL/GARDEN WALL NOTES

- 1) WEEP HOLES ARE REQUIRED TO BE 3" ABOVE GRADE
- 2) A SEPARATE PERMIT IS REQUIRED FOR ANY RETAINING WALLS OR GARDEN WALLS

GRAPHIC SCALE



**9841 BUCKEYE STREET, NW
GRADING PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
201739-GD.DWG	SH-B	11/20/2017	1