

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

May 14, 2019

Shawn Biazar  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct. NW  
Albuquerque, NM, 87114

**RE: 9817 Bentley Court NW  
Grading and Drainage Plan  
Engineer's Stamp Date: 05/08/19  
Hydrology File: B13D030**

Dear Mr. Biazar:

PO Box 1293

Based upon the information provided in your submittal received 05/08/19, the Grading and Drainage Plan is approved for Building Permit and Grading Permit.

Albuquerque

Once the grading is complete, a pad certification will be required prior to release of Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter and the pad certification approval letter.

NM 87103

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

**Location**  
Lot, Block 35, Block 25, Knolls of Paradise Hills, Unit 2 is located at 9841 Bentley Ct., NW, containing 0.2679 acre. See attached portion of Vicinity Map B-13-Z for exact location.

**Purpose**  
The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvements for Lot 35, Block 25, Knolls of Paradise Hills, Unit 2.

**Existing Drainage Conditions**  
This site falls within Master Drainage Plan for SAD 226. Lot drains to the south. No other offsite flows enters this site.

**Proposed Conditions and On-Site Drainage Management Plan**  
This site is within the SAD 226 Master Drainage plan boundaries. There are existing retaining walls all around this lot along the property line (along north, east and west property line). The site is to maintain existing patterns and drain to the street (Bentley Ct., NW) per the master drainage plan.

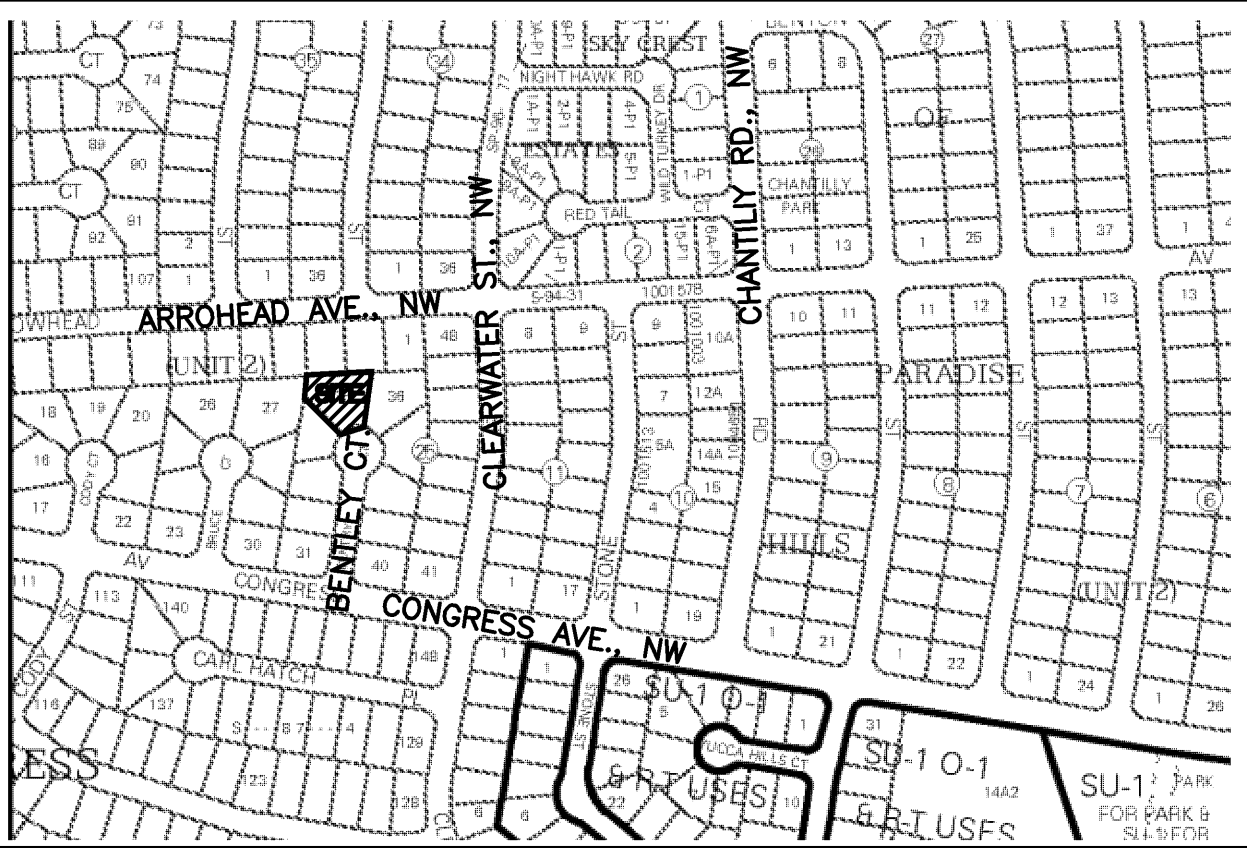
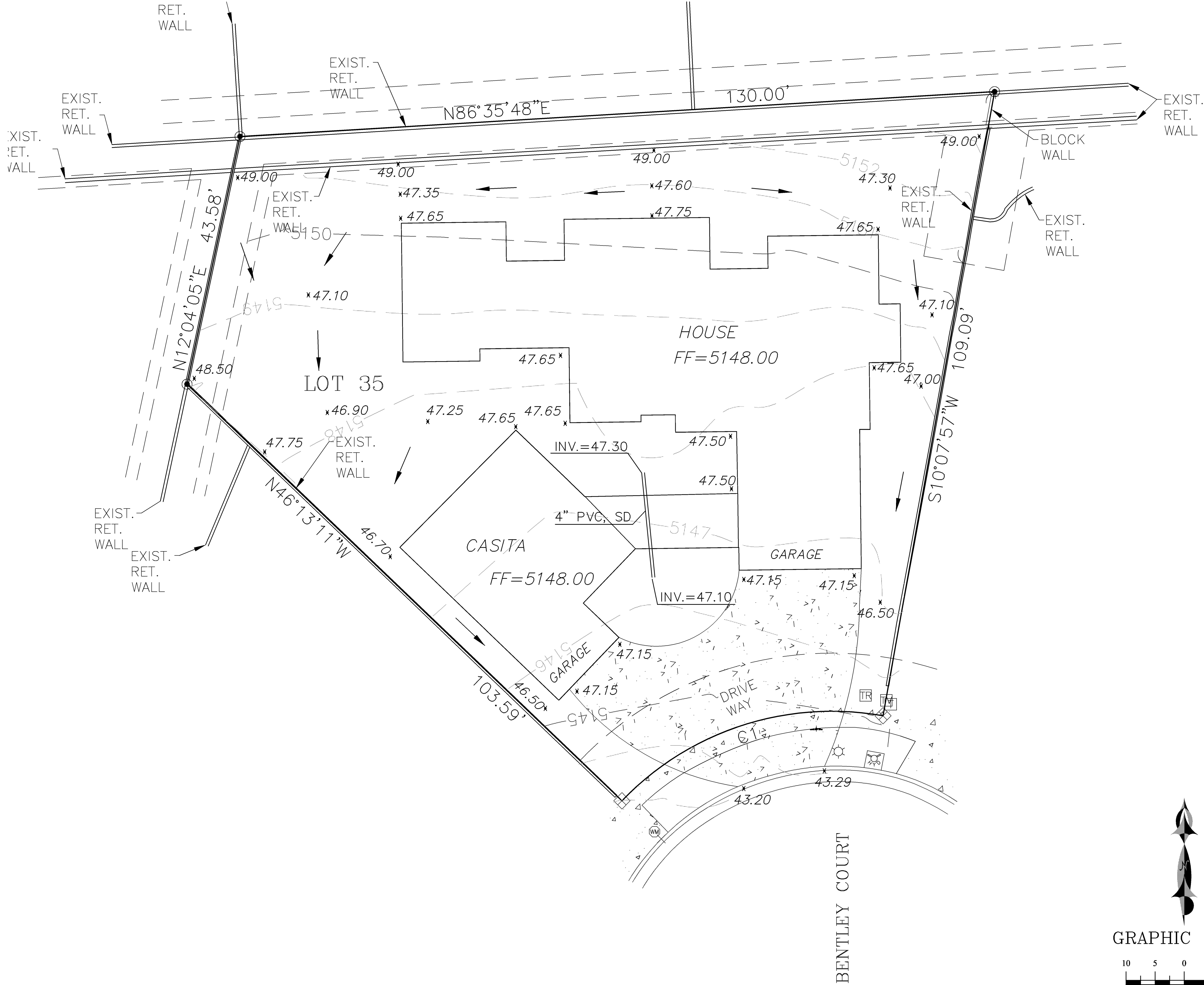
- GENERAL NOTES:**
- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
  - 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 17\_C13, HAVING AN ELEVATION OF 5055.164 FEET ABOVE SEA LEVEL.
  - 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CON-SIDERATIONS.
  - 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
  - 5: SLOPES ARE AT 3:1 MAXIMUM. 6: ADD 5100 TO ALL PROPOSED SPOT ELEVATIONS.
  - 6: NO GRADING OR WALL CONSTRUCTION INCLUDING THE FOOTING OF RETAINING WALL IS ALLOWED ACROSS THE PROPERTY LINE.

**EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

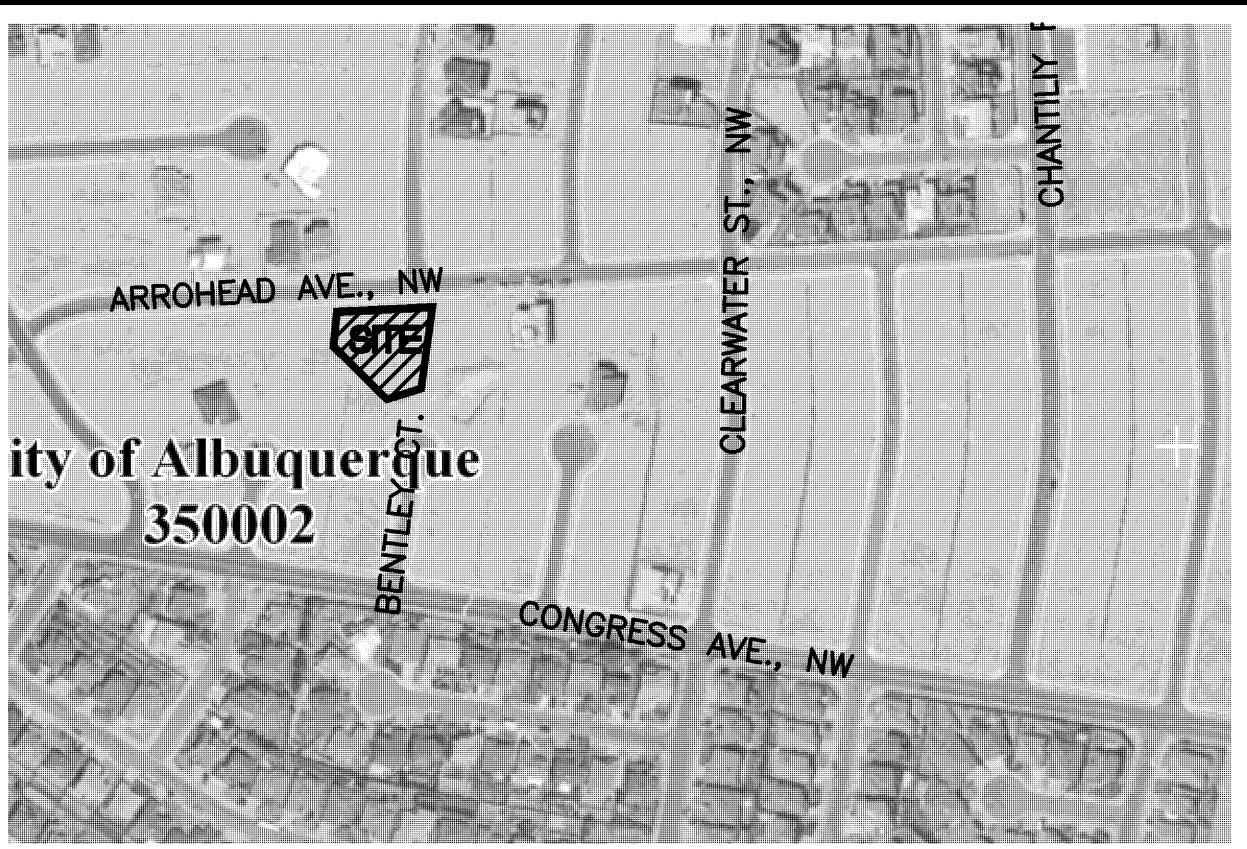
**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL FOR LOCATING SERVICE, 260-1990 OR "811", FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



VICINITY MAP:

B-13-Z



FIRM MAP:

FM35001C0108G

**LEGAL DESCRIPTION:**  
LOT 35, BLOCK 25, KNOLLS OF PARADISE HILLS, UNIT 2  
ADDRESS: 9817 BENTLEY CT., NW

LEGEND	
---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
---	BOUNDARY LINE
x 42.70	PROPOSED SPOT ELEVATION
x 5029.16	EXISTING GRADE
x 5075.65	EXISTING FLOWLINE ELEVATION
█	PROPOSED RETAINING WALL
BC=41.30	BOTTOM OF CHANEL
TF=42.00	TOP OF FOOTING
TRW=45.12	TOP OF RETAINING WALL
HP	HIGH POINT
42.40	AS-BUILT GRADES
x 5141.50	AS-BUILT SPOT ELEVATIONS
FF=5142.30	
FP=5142.25	

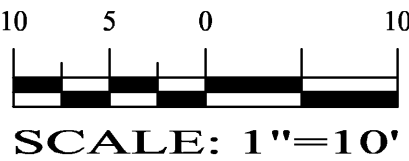


REZA AFAGHPOUR  
P.E. #11814

**SBS CONSTRUCTION AND ENGINEERING, LLC**

10209 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)804-5013

GRAPHIC SCALE



LAST REVISION: 05-08-2019

**9817 BENTLEY COURT, NW  
GRADING PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
201912-GD.DWG	SH-B	5-8-19	1