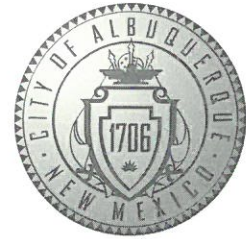


CITY OF ALBUQUERQUE

Hydrology Section Planning Department
David S. Campbell, Director



Timothy M. Keller, Mayor

August 22, 2018

Roger Cinelli
Roger Cinelli & Associates Inc.
2418 Manuel Torres Ln NW
Albuquerque, NM 87107

RE: **Tokyo Hana Remodel Addition**
Architect's Stamp Date: 8/13/2018
Hydrology File: B14D004D

Dear Mr. Cinelli:

Based on the information provided in the submittal received on 8/13/2018 the above-referenced Grading and Drainage Plan is approved for Building Permit.

Attach a copy of this approved plan dated 8/13/2018 and attach a copy of this approval letter to the construction plan sets for Building Permit.

If you have any questions, please contact me at 924-3986 or jhughes@cabq.gov.

Sincerely,

James D. Hughes
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: TOKYO HANA REMODEL_ADD'N **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: TRACT C-4 REPLAT OF TRACTS H-1 & H-2 SEVEN BAR RANCH NOW COMPRISING COTTONWOOD MALL CONT. 1.5435 AC M/L

City Address: 10,001 COORS BLVD N.W.

Applicant: ROGER CINELLI & ASSOCIATES INC. **Contact:** ROGER

Address: 2418 MANUEL TORRES LANE N.W.

Phone#: 505-243-8211 **Fax#:** 505-243-8196 **E-mail:** rcinelli@q.com

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☒ OTHER (SPECIFY) ABSTRACTION CREDIT

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☒ PRE-DESIGN MEETING?

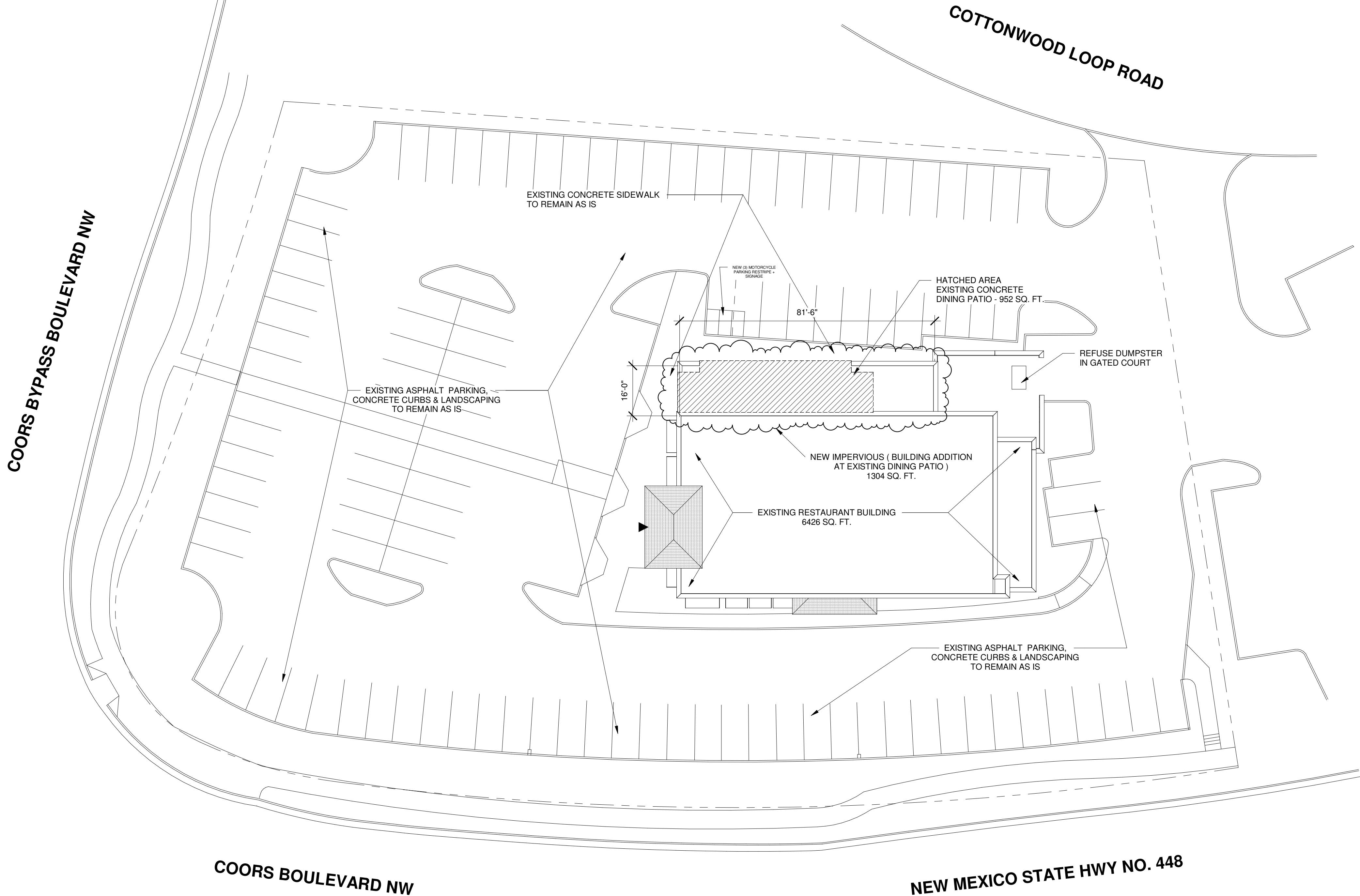
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 08/13/18 **By:** ROGER CINELLI, ARCHITECT # 1102

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____



1 GRADING & DRAINAGE PLAN
Scale: 1" = 20'-0"

TOKYO HANA RESTAURANT REMODEL ADDITION
10,001 COORS BLVD. N.W.,
ALBUQUERQUE, NEW MEXICO



2 VICINITY MAP
Scale: NOT TO SCALE B-14-Z

LEGAL DESCRIPTION AND CALCULATION

ADDRESS:
10,001 COORS BLVD NW
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION

TRACT C-4 REPLAT OF TRACTS H-1 & H-2 SEVEN BAR RANCH NOW COMPRISING
COTTONWOOD MALL CONT. 1.5435 AC M/L

SCOPE OF WORK:

1304 SQ. FT. NEW IMPERVIOUS AREA (ENCLOSED BUILDING TO REPLACE FORMER
OUTDOOR DINING PATIO FROM ORIGINAL APPROVED SITE DEVELOPMENT
PLAN) - NO AT-GRADE IMPERVIOUS CHANGE- SIDEWALKS AND PARKING AREA
ASPHALT TO REMAIN AS IS.

FIRST FLUSH CALCULATION:

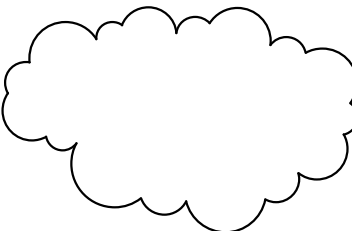
26 X NEW IMPERVIOUS AREA/12 = FIRST FLUSH SQUARE FOOTAGE
26 X 1304 = 339 CUBIC INCHES
339/ 12 = 28.25 CUBIC FEET

STRUCTURAL TREATMENT CONTROL BMP'S ARE NOT IN
PLACE AND SHALL NOT BE INSTALLED
ABSTRACTION CREDIT TO BE CHARGED TO DEVELOPER

LEGEND



RESTAURANT MAIN ENTRANCE



AREA OF PROPOSED
BUILDING ADDITION
ON FORMER OUTDOOR
DINING PATIO

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS 2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
RESTAURANT REMODEL
FOR CAIGUI ZHU
10,001 COORS BLVD NW
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
GRADING AND DRAINAGE PLAN

SEAL



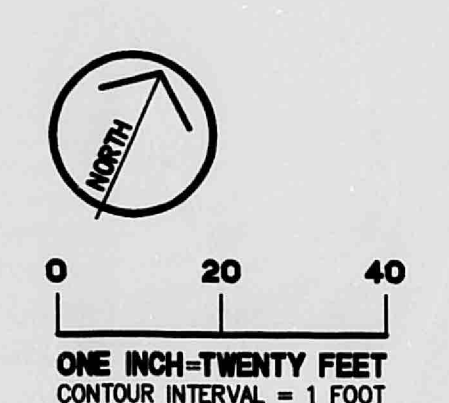
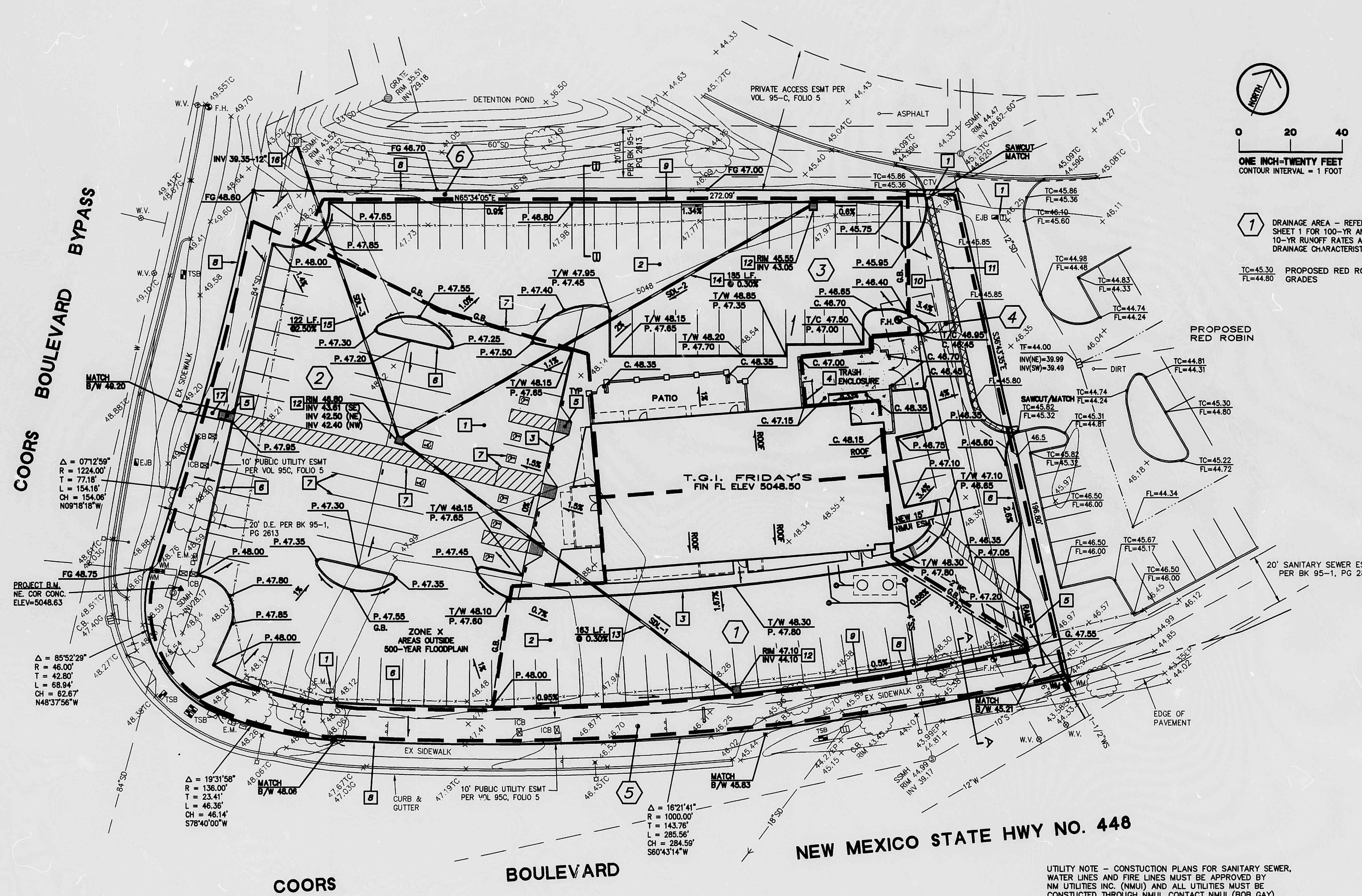
DATE
AUG 2018

PROJECT NO.
CAI

DRAWING NO.

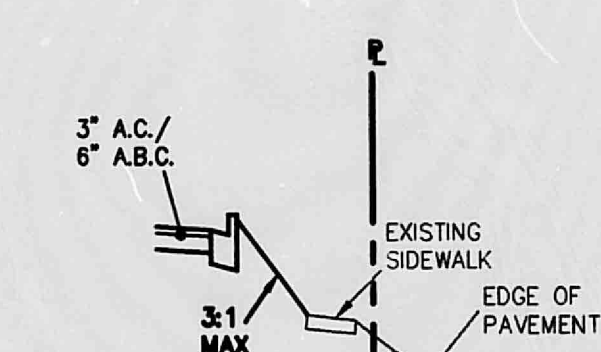
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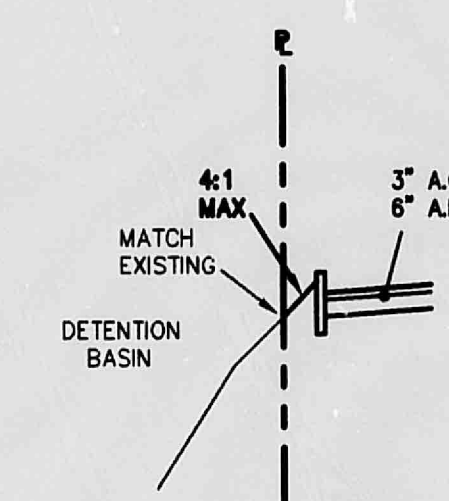


1 DRAINAGE AREA - REFER TO SHEET 1 FOR 100-YR AND 10-YR RUNOFF RATES AND DRAINAGE CHARACTERISTICS.

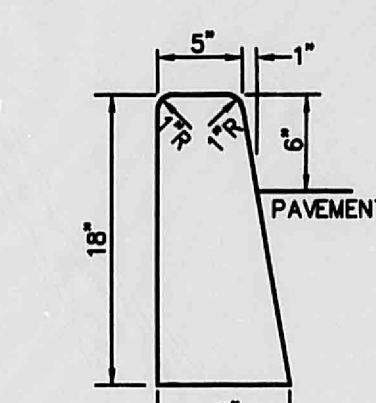
TC=45.30
FL=44.60
PROPOSED RED ROBIN GRADES



SECTION A-A



SECTION B-B



6 HEADER CURB

ONSITE CONSTRUCTION NOTES -

- 1 CLEAR WORK AREA OF EXISTING IMPROVEMENTS, AND ANY MISCELLANEOUS ITEMS AS REQUIRED. COORDINATE ANY RELOCATIONS AND ABANDONMENTS OF UTILITIES WITH RESPECTIVE UTILITY COMPANIES. REFER TO ARCHITECT'S DEMOLITION PLANS.
- 2 CONSTRUCT 3" A.C. / 6" AGG. BASE COURSE PAVEMENT PER SOILS REPORT.
- 3 CONSTRUCT TURNDOWN SIDEWALK - SEE ARCHITECTURAL PLANS FOR DETAILS AND C. OF ALBUQUERQUE DRAWING NO. 2430.
- 4 CONSTRUCT TRASH ENCLOSURE - SEE ARCHITECTURAL PLANS FOR DETAILS.
- 5 CONSTRUCT ACCESSIBILITY RAMP PER A.D.A. AND CITY REQUIREMENTS/STANDARDS. SEE ARCHITECTURAL PLANS FOR DETAILS. RAMPS SHALL HAVE 1:12 MAXIMUM SLOPE.

6 CONSTRUCT 6" CONC. HEADER CURB PER CITY OF ALBUQUERQUE DRAWING NO. 2415, MODIFIED PER DETAIL THIS SHEET.

- 7 INSTALL ALL PARKING BAY, ACCESSIBLE STRIPING AND SIGNAGE. PAINTED ACCESS ROUTE WITH MAXIMUM 1:20 SLOPE AND 1:50 CROSS SLOPE, WIDTH PER ARCHITECTURAL PLANS.
- 8 MATCH EXISTING GRADES ALONG PROPERTY LINES AND WHERE INDICATED.
- 9 CONSTRUCT 6" MEDIAN CURB AND GUTTER PER CITY OF ALBUQUERQUE DRAWING NO. 2415 WITH STANDARD GUTTER SLOPE.
- 10 SAWCUT AND REMOVE EXISTING CURB. MATCH SAWCUT LINES WITH NEW.
- 11 2" MINIMUM PAVEMENT SAWCUT TO A NEAT CLEAN EDGE, REMOVE AND REPLACE. MATCH WITH NEW PAVEMENT.

12 CONSTRUCT SINGLE STORM INLET PER C. OF ALBUQUERQUE DRAWING NO'S 2206 AND 2220. PROVIDE 1.5' SUMP BELOW OUTLET ELEVATION FOR SILTATION.

- 13 INSTALL 10" P.V.C., C-900, CLASS 200 PIPE. LENGTH AND SLOPE PER PLANS. (100-YR FLOW RATE = 1.20 CFS - PIPE CAPACITY = 2.20 CFS)
- 14 INSTALL 10" P.V.C., C-900, CLASS 200 PIPE. LENGTH AND SLOPE PER PLANS. (100-YR FLOW RATE = 1.56 CFS - PIPE CAPACITY = 2.20 CFS)
- 15 INSTALL 10" R.C.P., CLASS III. LENGTH AND SLOPE PER PLANS. (100-YR FLOW RATE = 4.82 CFS - PIPE CAPACITY = 5.63 CFS)
- 16 CORE DRILL INTO EXISTING STORM DRAIN MANHOLE PER C. OF ALBUQUERQUE REQUIREMENTS AND NOTES ON SHEET 1 - STORM DRAIN LINE CONNECTION TO EXISTING MANHOLE.
- 17 CONSTRUCT SIDEWALK, WIDTH PER ARCHITECTURAL PLANS, PER C. OF ALBUQUERQUE DRAWING NO. 2430.



MAIN STREET & MAIN INCORPORATED
5050 North 40th St., Suite 200, Phoenix, Arizona 85016
Tele. (602) 852-9000 Fax (602) 852-9094

TRACT C-4 COTTONWOOD MALL
ALBUQUERQUE, NEW MEXICO

SOUTHGATE ASSOCIATES, LIMITED
4385 N. 75th Street, Suite 100, Scottsdale, Arizona 85251
T. (480) 970-6862 F. (480) 970-3984 sgates@scottsdale.com
Civ. Engr. Consultants

PROJECT NO.	99-4304	REVISIONS	MAY00
DATE	APRIL00		JUNE00

A PORTION OF SECTION 8, TOWNSHIP 11 N, RANGE 3 E,
N.M. P.M., BERNALILLO COUNTY, NEW MEXICO

CIVIL -
GRADING AND DRAINAGE PLAN 2/2

CITY OF ALBUQUERQUE
THIS MICROIMAGE IS THE BEST
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1/05 DATE 7-26-01 OF EGT

CITY OF ALBUQUERQUE
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Notary Public
Commission expires: 10/22/2001

Commission expires: 10/22/2001