CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

July 29, 2024

Zachary P. Michels, P.E.
GreenbergFarrow
8600 W Bryn Mawr Avenue, Suite 800N
Chicago, IL 60631

RE: Bubba's 33
10000 Coors Bypass NW
2nd Revised Grading and Drainage Plans
Engineer's Stamp Date: 07/24/24
Hydrology File: B14D004H

Dear Mr. Michels:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 07/24/2024, the 2nd Revised Grading & Drainage Plans are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of **$ 5,480.00** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then be produced and email back. Follow the instructions on the bottom of the form and pay it at the Treasury in Plaza de Sol. Once paid, please provide me proof of payment.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Bubba's 33 Hydrology File # B14D004H
Legal Description: TBD
City Address, UPC, OR Parcel: 10000 Coors Blvd Bypass NW (Tract B-4-A-1-B)

Applicant/Agent: GreenbergFarrow Contact: Brandon Goldberg
Address: 8600 W Bryn Mawr Avenue, Suite 800N, Chicago, IL 60631 Phone: 224-764-0360
Email: bgoldberg@greenbergfarrow.com

Applicant/Owner: Strategic Restaurant Concepts, LLC Contact: Caitlin Kincaid
Address: 6040 Dutchmans Lane, Louisville, KY 40205 Phone: caitlin.kincaid@TexasRoadhouse.com
Email: 502-855-5556

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☑ PLAT (#of lots) 1 ☐ RESIDENCE ☐ DFT SITE ☐ ADMIN SITE

RE-SUBMITTAL: ☑ YES ☐ NO

DEPARTMENT: ☐ TRANSPORTATION ☑ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☑ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)

TYPE OF APPROVAL SOUGHT:

- ☑ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 7/24/24

REV. 09/13/23

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION

WAIVER APPLICATION FROM STORMWATER QUALITY VOLUME MANAGEMENT ON-SITE

GENERAL INFORMATION

APPLICANT: GreenbergFarrow DATE: 7/23/24

DEVELOPMENT: Bubba's 33

LOCATION: 10000 Coors Blvd Bypass NW (Tract B-4-A-1-B)

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 685 cubic feet

The provided volume is _____ cubic feet

The deficient volume is 685 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
b. Any of the following conditions apply:
    i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
    ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
    iii. The site use is inconsistent with the capture and reuse of stormwater.
    iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
    v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
    vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
    vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.

2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: Condition 1 above.

Zachary P. Michels
Professional Engineer or Architect

ZACHARY P. MICHELS
NEW MEXICO
28488
PROFESSIONAL ENGINEER

7/24/2024

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times $6 per cubic feet for detached single-family residential projects or $8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = $ 5,480

THIS SECTION IS FOR CITY USE ONLY

[X] Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

[ ] Waiver is DENIED.

Renée C. Brissette 07/29/24

City of Albuquerque
Hydrology Section

GENERAL GRADING NOTES:

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2. CONTRACTOR SHALL CAREFULLY PRESERVE ALL SITE BENCHMARKS AND REFERENCE POINTS DURING CONSTRUCTION OPERATIONS.
3. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
4. CONTRACTOR SHALL INSTALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
5. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
6. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL STORM DRAINAGE STRUCTURES. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
7. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
8. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
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11. MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
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18. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

PROJECT BENCHMARKS:

SITE BENCHMARKS:

BM #1 ACS MONUMENT "10-B13"
ELEVATION= 5074.478 (NAVD 88)

BM #2 ACS MONUMENT "8-B13"
ELEVATION= 5059.673 (NAVD 88)

FLOOD NOTE:

PROJECT SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD AREA AND IS LOCATED IN ZONE "X" AS SHOWN ON THE ABOVE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 35001C0108G WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

UTILITY RIM NOTE:

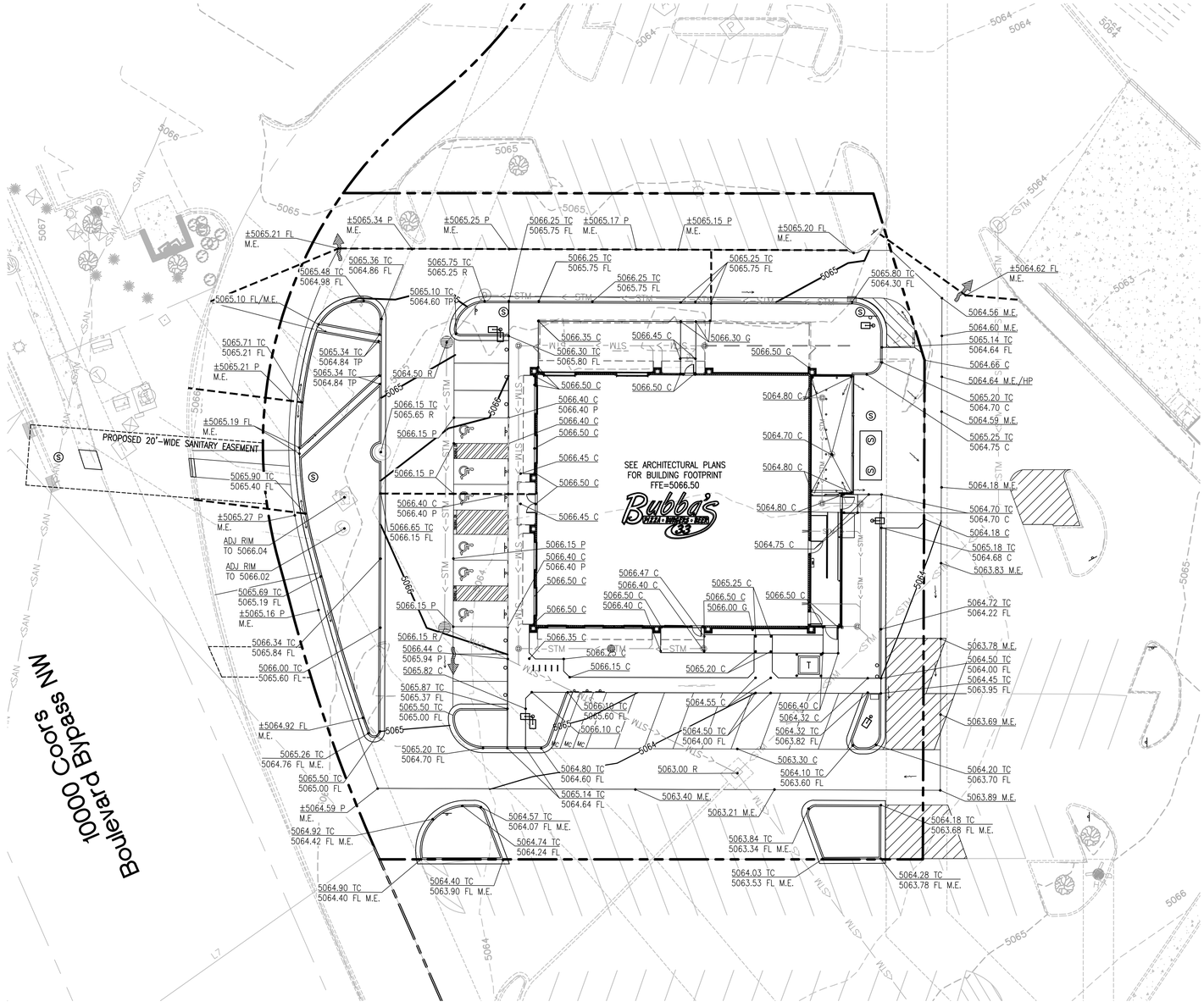
UTILITY RIM CONCRETE COLLAR NOTES:
1. MANHOLES, CATCH BASINS AND OTHER LARGE STRUCTURES
   a. IF GRATE IS 2-FT ROUND, THE CONCRETE COLLAR SHALL BE A 3-FT WIDE POUR TO FULLY ENCAPSULATE THE GRATE
   b. IF THE GRATE IS 2-FT SQUARE, THE CONCRETE COLLAR SHALL BE A 3-FT WIDE POUR TO FULLY ENCAPSULATE THE GRATE
2. CLEAN OUTS
   a. ALL CLEAN OUTS SHALL HAVE A 2-FT WIDE CONCRETE COLLAR

UNDERGROUND CONDUITS

1. CONTRACTOR TO REVIEW ELECTRICAL PLAN SHEET ESP-1 AND INSTALL ALL UNDERGROUND CONDUITS PRIOR TO PAVING.
2. ALL UNDERGROUND CONDUIT TYPE, SIZES AND LOCATIONS CAN BE FOUND ON ELECTRICAL PLAN SHEET ESP-1.

UTILITY RIM NOTE:

- ALL UTILITY STRUCTURE RIMS SHALL HAVE A 6'x6' BLACK CONCRETE COLLAR WITHIN NEW ASPHALT
- ALL UTILITY CLEAN-OUT RIMS SHALL HAVE A 3'x3' BLACK CONCRETE COLLAR WITHIN NEW ASPHALT



PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED FLUSH CURB
- PROPOSED CONTOUR
- 61.10 TC / 60.60 FL — PROPOSED SPOT ELEVATION
  - FFE: FINISHED FLOOR ELEVATION
  - TC: TOP OF CURB ELEVATION
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- 60.50 C / 60.50 P — PROPOSED SPOT ELEVATION EXPOSED CURB FACE VARIES
- PROPOSED GRADING RIDGE LINE
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- PROPOSED STORM SEWER STRUCTURE WITH OPEN GRATE
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- PROPOSED HEAVY DUTY AREA DRAIN
- PROPOSED STORM SEWER

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 07/29/24
BY: Renée C. Brissette
HydroTrans # B14D004H

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GRAPHIC SCALE

20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

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www.greenbergfarrow.com

PROJECT TEAM

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05/22/24	PERMIT SET
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PROFESSIONAL SEAL

ZACHARY P. MICHELS
NEW MEXICO
28488
PROFESSIONAL ENGINEER
7/24/2024

PROFESSIONAL IN CHARGE
ZACH MICHELS
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LICENSE NO. 28488

PROJECT MANAGER
EDWARD GOSS

QUALITY CONTROL
EDWARD GOSS

DRAWN BY
EC

PROJECT NAME
BUBBA'S 33

ALBUQUERQUE
NEW MEXICO
10000 COORS BYPASS NW
ALBUQUERQUE, NM 87114

PROJECT NUMBER
20182050.0

SHEET TITLE
GRADING PLAN

SHEET NUMBER
C4.0

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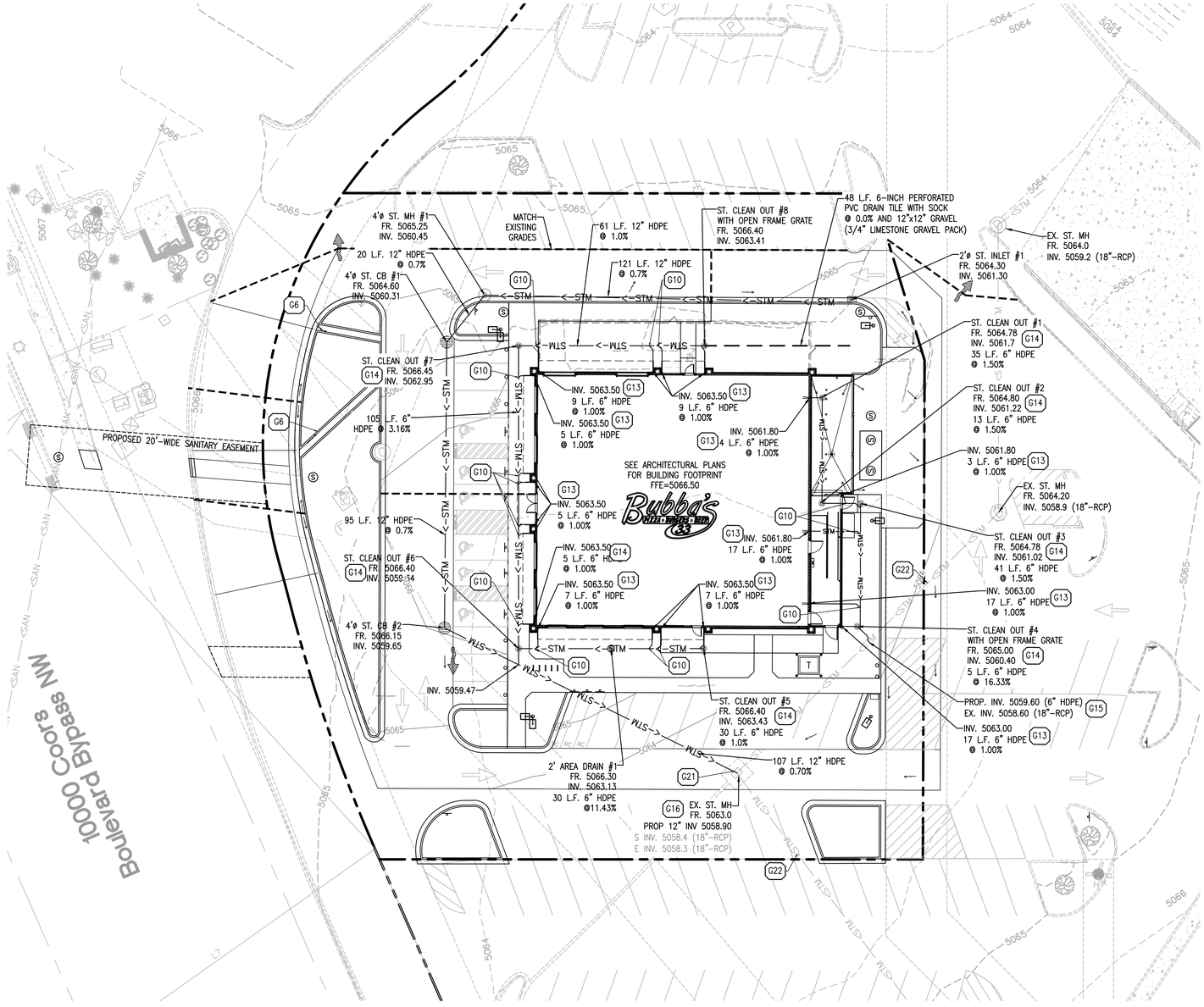

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GRADING & DRAINAGE KEY NOTES:

G6 PROPOSED 2' WIDE CURB OPENING FOR DRAINAGE

G10 PROPOSED STORM SEWER WYE CONNECTION. CONTRACTOR TO ROLL WYE UP FROM HORIZONTAL ON RECEIVING STORM SEWER TO CONNECT TO UPSTREAM STORM

G13 PROPOSED BUILDING ROOF DRAIN CONNECTION (COORDINATE EXACT LOCATIONS AND PIPE SIZES WITH ARCHITECTURAL AND PLUMBING PLANS). CONTRACTOR SHALL INSTALL NEW WYE FITTING AT PROPOSED STORM SEWER CONNECTION POINTS

G14 PROPOSED STORM SEWER CLEAN OUT

G15 CORE DRILL AND CONNECT PROPOSED 6" STORM SEWER LINE TO EXISTING STORM SEWER LINE WITH AN INSERTA TEE AND RISER SECTION (CONTRACTOR SHALL VERIFY EXISTING INVERT ELEVATION PRIOR TO STORM SEWER INSTALLATION)

G16 CORE DRILL AND CONNECT PROPOSED 6" STORM SEWER LINE TO EXISTING STORM SEWER STRUCTURE (CONTRACTOR SHALL VERIFY EXISTING INVERT ELEVATION PRIOR TO STORM SEWER INSTALLATION)

G21 EXISTING STORM SEWER STRUCTURE TO REMAIN

G22 EXISTING STORM SEWER LINE TO REMAIN

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PROJECT NAME
BUBBA'S 33

ALBUQUERQUE
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10000 COORS BYPASS NW
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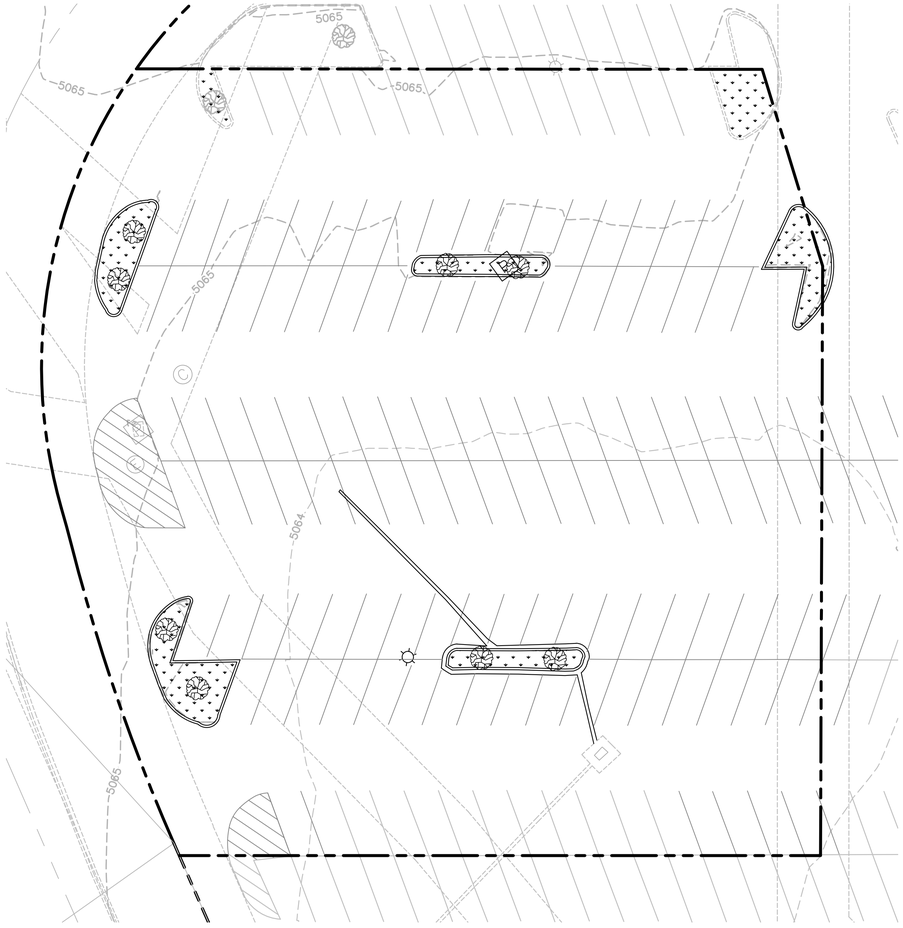
Bubba's 33 PIZZA • BURGERS • BEER

PROJECT NUMBER
20182050.0

SHEET TITLE
DRAINAGE PLAN

SHEET NUMBER
C4.1

EXISTING CONDITIONS



PROPOSED CONDITIONS

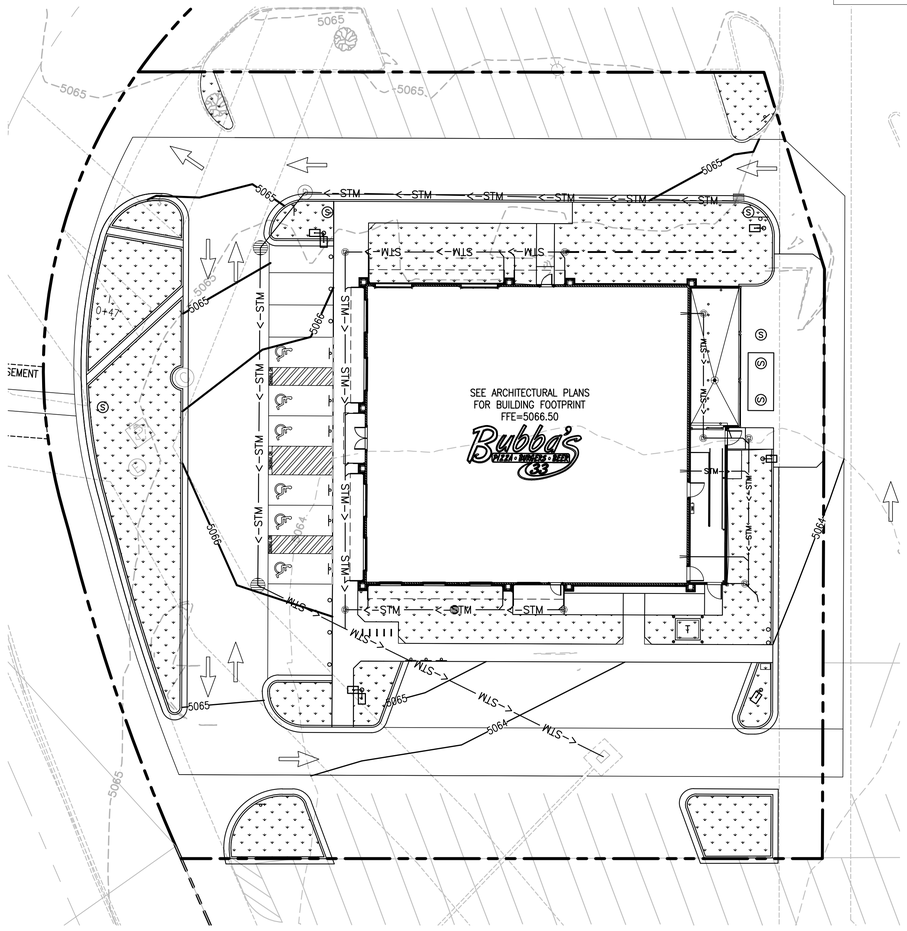


EXHIBIT LEGEND:

PROPERTY LINE

PERVIOUS AREA

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BY: René C. Brissette
HydroTrans # B14D004H

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR POLICY NOR SHALL IT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTION, OR ERROR OR OMISSION IN PLANS, SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS SHALL NOT BE USED, ALTERED OR ALTERED WITHOUT AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

STORMWATER SUMMARY TABLE:

TOTAL SITE AREA:	44,717 SQ. FT./1.03 ACRES
EXISTING CONDITIONS:	
EXISTING IMPERVIOUS AREA:	43,078 SQ. FT./0.99 ACRES
EXISTING PERVIOUS AREA:	1,639 SQ. FT./0.04 ACRES
	44,717
PROPOSED CONDITIONS:	
PROPOSED IMPERVIOUS AREA:	36,763 SQ. FT./0.85 ACRES
PROPOSED PERVIOUS AREA:	7,954 SQ. FT./0.18 ACRES
	44,717

STORMWATER CALCULATIONS:

THE SITE IS LOCATED IN ZONE 1 AND HAS LAND TREATMENT IN AREAS B & D.

PEAK DISCHARGE (100 YEAR, 6-HOUR STORM EVENT):
ZONE 1, LAND TREATMENT AREA B = 2.16 CFS
ZONE 1, LAND TREATMENT AREA D = 4.12 CFS

EXISTING:

RUNOFF (Q) = $Q_{PB}(A_B) + Q_{PD}(A_D)$ = 2.16(0.04) + 4.12(0.99)
= 4.17

PROPOSED:

RUNOFF (Q) = $Q_{PB}(A_B) + Q_{PD}(A_D)$ = 2.16(0.18) + 4.12(0.85)
= 3.89

THE RUNOFF IS DECREASED IN THE PROPOSED CONDITIONS.

NOTE:

STORMWATER DESIGN IS BASED ON ARTICLE 6-2(A) FROM THE THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL.

DISTURBED SITE AREA TABLE:

TOTAL DISTURBED AREA:	39,797 SQ. FT. / 0.91 ACRES
IMPERVIOUS AREA:	31,601 SQ. FT. / 0.72 ACRES
PERVIOUS AREA:	8,196 SQ. FT. / 0.19 ACRES

STORMWATER QUALITY VOLUME:

STORMWATER QUALITY VOLUME = 0.26*(NEW IMPERVIOUS AREA)*(1/12)
= 0.26*31,892*(1/12)
= 691 CF

THE OWNER HAS ELECTED TO PAY FOR THE STORMWATER QUALITY VOLUME. THE PAYMENT-IN-LIEU WILL BE $5,568.

SWQ VOLUME PAYMENT CALCULATION = $8/CF*(SWQ VOLUME)
= $8/CF*691
= $5,528

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

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PROJECT TEAM

ISSUE/REVISION RECORD

DATE	DESCRIPTION
04/11/24	COORDINATION SET
05/22/24	PERMIT SET
06/14/24	BID SET
07/12/24	PERMIT RESPONSE
07/24/24	PERMIT RESPONSE

PROFESSIONAL SEAL

ZACHARY P. MICHELS
NEW MEXICO
28488
PROFESSIONAL ENGINEER
7/24/2024

PROFESSIONAL IN CHARGE
ZACH MICHELS
PROFESSIONAL ENGINEER
LICENSE NO. 28488

PROJECT MANAGER
EDWARD GOSS

QUALITY CONTROL
EDWARD GOSS

DRAWN BY
EC

PROJECT NAME
BUBBA'S 33

ALBUQUERQUE
NEW MEXICO

10000 COORS BYPASS NW
ALBUQUERQUE, NM 87114

PROJECT NUMBER
20182050.0

SHEET TITLE
PRE/POST LAND USE COMPARISON

SHEET NUMBER
C4.2