

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 3, 2021

Michael E. Haas, P.E.
GreenbergFarrow
21 South Evergreen Avenue - Suite 200
Arlington Heights, IL 60005

RE: Bubba's 33
10000 Coors Bypass NW
Grading and Drainage Plan
Engineer's Stamp Date: 04/14/21
Hydrology File: B14D004H

Dear Mr. Haas:

PO Box 1293

Based upon the information provided in your resubmittal received 04/19/2021, the Grading & Drainage Plan is approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

Also, the Payment-in-Lieu of \$ 5,952.00 must be paid prior to Hydrology's Permanent Release of Occupancy approval. Due to COVID-19, please follow the instructions:

Please use the attached City of Albuquerque Treasury Deposit form and when ready please email this form to Shannon Cordero (sdcordova@cabq.gov). She will then produce and email back with a receipt and instructions on how to pay online. Once paid, please email me proof of payment. This will insure that Hydrology will be able to process Permanent Release of Occupancy approval when officially submitted.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Bubba's 33 **Building Permit #:** BP-2021-10682 **Hydrology File #:** B14D004H

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: TBD (UPC# 101306546539410602)

Applicant: GreenbergFarrow **Contact:** Brandon Goldberg

Address: 21 South Evergreen Avenue - Suite 200 Arlington Heights, IL 60005

Phone#: 224-764-0369 **Fax#:** NA **E-mail:** bgoldberg@greenbergfarrow.com

Other Contact: Strategic Restaurant Concepts, LLC **Contact:** Caitlin Kincaid

Address: 6040 Dutchmans Lane, Louisville, KY 40205

Phone#: 502-855-5556 **Fax#:** NA **E-mail:** caitlin.kincaid@TexasRoadhouse.com

TYPE OF DEVELOPMENT: 1 PLAT (# of lots) _____ RESIDENCE X DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? X Yes _____ No

DEPARTMENT _____ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 4/20/21 **By:** Brandon Goldberg

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

April 20, 2021

To City of Albuquerque	Project: Bubba's 33 – Albuquerque, NM
Attn: Renée C. Brissette	
Senior Hydrology Engineer	Re: Grading and Drainage Plan Review Comments
505-924-3995	
rbrissette@cabq.gov	Hydrology File: B14D004H

Renée,

We are in receipt of your Grading and Drainage Plan Review Comments, on 4/2/2021, in regard to the proposed Bubba's 33 restaurant, which is to be located at 10000 Coors Bypass NW. Your comments are listed below, in the order received, and our response to each comment is shown in **bold**.

1. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) (signed 06/08/20) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100-year 6-hour storm event.

Response: The existing/proposed storm event calculations have been added to the new C4.1 Pre/Post Land Use Comparison sheet.

2. Provide management onsite for the Stormwater Quality Volume (SWQV) in accordance with the new drainage ordinance, § 14-5-2-6 (H) enacted 10/2/18 (Council Bill C/S O-18-2) and as outlined in DPM (signed 06/08/20) Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. Since this site is a redevelopment the SWQ pond volume will be $0.26 * \text{new impervious area (new paving, sidewalks, and building) (sf)} * 1/12$. If you are planning to provide for the SWQ volume, please show the top and bottom of the ponds along with the volume for each pond within the landscape areas. The onsite drainage should be directed to these ponds via curb cuts prior to either being collected in the existing inlet or leaving the site for the public drainage system. If you are going to not provide for the SWQ volume within the landscape areas, then you will need to add a statement, "The Owner has elected to pay for the Stormwater Quality Volume. The Payment-in-lieu will be $\$8 / CF * SWQ \text{ volume (CF)} = \$ XX$."

Response: Due to limited pervious areas and the pervious areas mostly residing on existing easements, we will be unable to provide SWQ volume on the site. The Stormwater Quality Volume and payment calculations/statement have been added the C6.0 Stormwater Pollution Prevention Plan.

3. Please show the edge of saw cut of the existing pavement and label along this, "Match existing grades". I can see this on the Site Plan but I need the saw cut line here as well.

Response: The edge of proposed pavement lines are being shown and the "match existing grades" labels have been added to the C4.0 Grading and Drainage Plan.

4. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's Certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

Response: We are disturbing 0.88 acres so we are currently under the 1 acre limit. See the C6.0 Stormwater Pollution Prevention Plan.

5. Standard review fee of \$150 will be required at the time of resubmittal.

Response: Noted. We will pay this \$150 review fee, after we resubmit, when an invoice is sent.

We trust that we have satisfied all your comments. Should you have any questions or require additional information, please contact me at bgoldberg@greenbergfarrow.com or 224-764-0369

Sincerely,

Brandon Goldberg
Site Development Coordinator

GENERAL GRADING NOTES:

- ALL GRADING AND SITE PREPARATION WORK SHALL CONFORM WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL CAREFULLY PRESERVE ALL SITE BENCHMARKS AND REFERENCE POINTS DURING CONSTRUCTION OPERATIONS.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL INSTALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
- ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL STORM DRAINAGE STRUCTURES. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
- CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
- MAXIMUM SLOPES WITHIN THE HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
- MAXIMUM GRADE DIFFERENCE BETWEEN PAVEMENT SURFACES AND ADJACENT CONCRETE SIDEWALKS FOR THE ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED.
- ALL HANDICAP ACCESSIBLE EXTERIOR DOORWAY LOCATIONS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF FIVE (5) FEET IN LENGTH WITH A SLOPE NOT EXCEEDING 2% IN ANY DIRECTION.
- EXCAVATION SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A. AND LOCAL REGULATIONS.
- ALL STRUCTURE BENCH WALLS SHALL BE SHAPED AND FORMED FOR A CLEAN TRANSITION WITH PROPER HYDRAULICS TO ALLOW THE SMOOTH CONVEYANCE OF FLOWS THROUGH THE MANHOLE OR BOX INLET. THE BENCH WALL SHALL FORM A DEFINED CHANNEL, TO A MINIMUM HEIGHT OF 80-PERCENT OF THE INSIDE DIAMETER OF THE INLET AND OUTLET PIPES TO FORM A 'U' SHAPED CHANNEL, CONSTRUCTED AT A MINIMUM 1/2-INCH PER FOOT SLOPE TO THE MANHOLE WALL.
- ALL STORM WATER INLETS AND CATCH BASIN CASTINGS SHALL HAVE THE WORDS 'NO DUMPING, DRAINS TO STREAM', OR SIMILARLY APPROVED MESSAGE, CAST IN RAISED OR RECESSED LETTERS AT A MINIMUM OF 1" IN HEIGHT. IN ADDITION, A SYMBOL OF A FISH SHALL ALSO BE CAST WITH THE LETTERS.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

PROJECT BENCHMARKS:

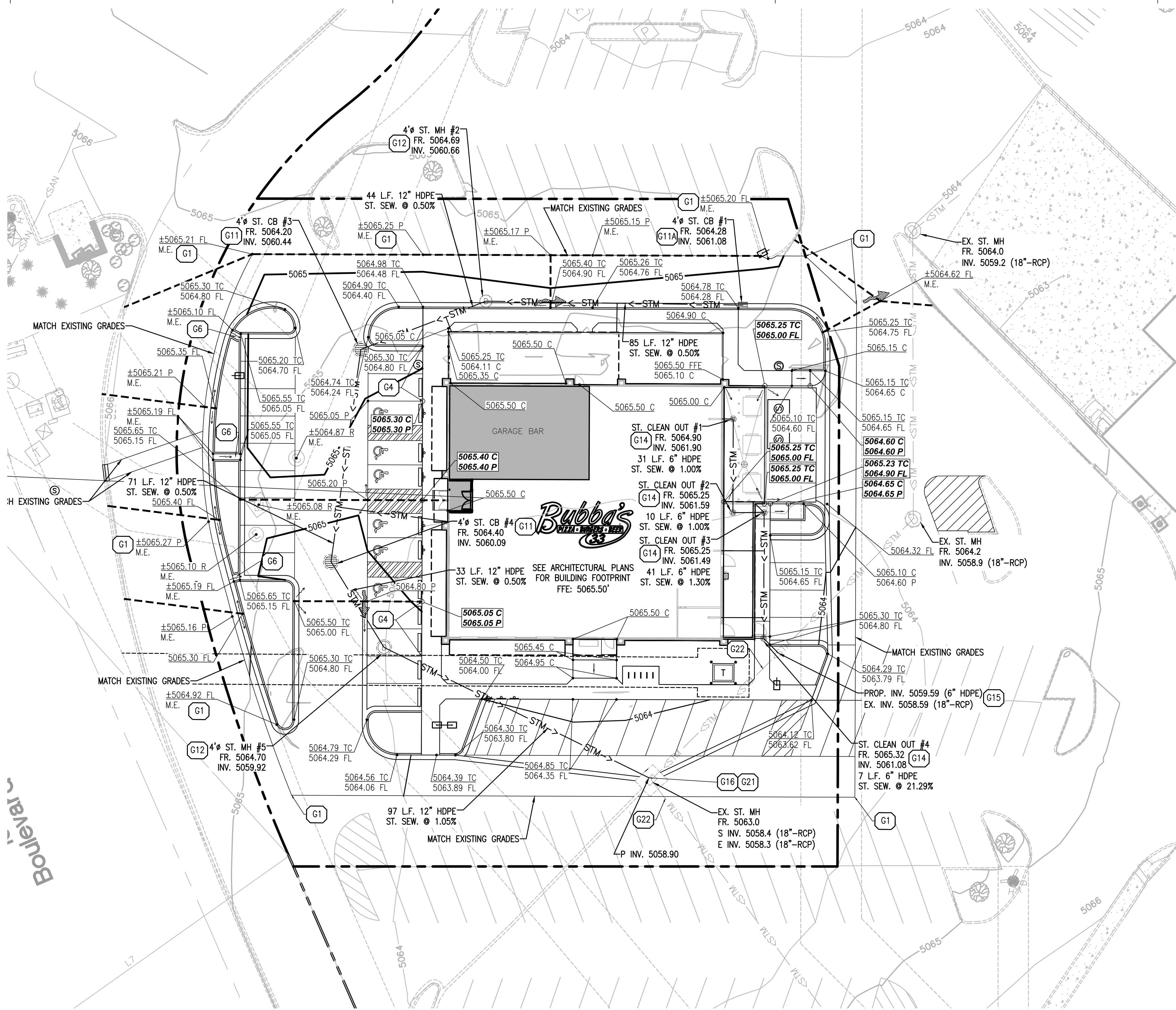
SITE BENCHMARKS:

BM #1 ACS MONUMENT "10-B13"
ELEVATION= 5074.478 (NAVD 88)

BM #2 ACS MONUMENT "8-B13"
ELEVATION= 5059.673 (NAVD 88)

FLOOD NOTE:

PROJECT SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD AREA AND IS LOCATED IN ZONE "X" AS SHOWN ON THE ABOVE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 35001C0108G WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

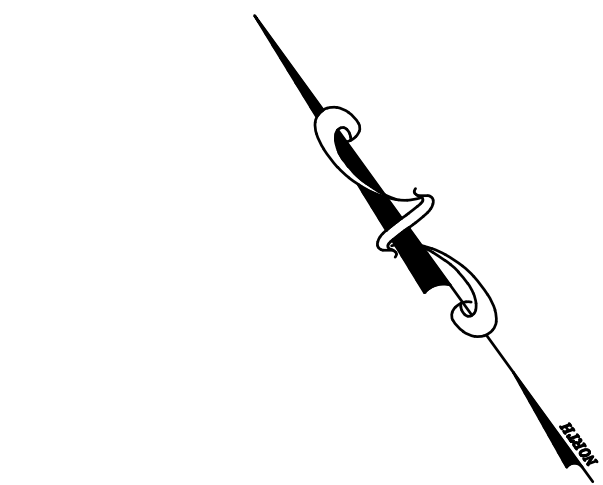


PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED DEPRESSED CONCRETE CURB AND GUTTER
- PROPOSED REVERSE PITCH CONCRETE CURB AND GUTTER
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FFE: FINISHED FLOOR ELEVATION
- TC: TOP OF CURB ELEVATION
- FL: CURB FLOWLINE ELEVATION
- C: TOP OF CONCRETE ELEVATION
- P: TOP OF PAVEMENT ELEVATION
- FG: FINISHED GRADE ELEVATION
- ME: MATCH EXISTING ELEVATION
- PROPOSED SPOT ELEVATION EXPOSED CURB FACE VARIES
- SITE BENCH MARK (SEE SURVEY FOR ADDITIONAL INFORMATION)
- PROPOSED GRADING RIDGE LINE
- PROPOSED DRAINAGE FLOW DIRECTION
- PROPOSED OVERLAND FLOOD ROUTE
- PROPOSED STORM SEWER STRUCTURE WITH OPEN GRATE
- PROPOSED STORM SEWER STRUCTURE WITH CLOSED LID
- PROPOSED STORM SEWER CLEAN OUT
- PROPOSED HEAVY DUTY AREA DRAIN
- PROPOSED STORM SEWER

GRADING & DRAINAGE KEY NOTES:

- G1 FIELD VERIFY AND MATCH EXISTING ELEVATION AT PROJECT SCOPE OF WORK LIMITS (TYP.)
- G4 CURB TRANSITION FOR 0" TO 6" IN HEIGHT
- G6 PROPOSED 2' WIDE CURB OPENING FOR DRAINAGE
- G11 PROPOSED 4' PRECAST CONCRETE CATCH BASIN WITH NEENAH R-2502-D FRAME AND GRATE AND CONCRETE COLLAR PER CATCH BASIN DETAIL
- G11A PROPOSED 4' PRECAST CONCRETE CATCH BASIN WITH NEENAH R-3065-A CURB BOX
- G12 PROPOSED 4' PRECAST CONCRETE MANHOLE WITH NEENAH R-1772 FRAME AND LID
- G13 PROPOSED BUILDING ROOF DRAIN CONNECTION (COORDINATE EXACT LOCATIONS AND PIPE SIZES WITH ARCHITECTURAL AND PLUMBING PLANS). CONTRACTOR SHALL INSTALL NEW WYE FITTING AT PROPOSED STORM SEWER CONNECTION POINTS
- G14 PROPOSED STORM SEWER CLEAN OUT
- G15 CORE DRILL AND CONNECT PROPOSED 6" STORM SEWER LINE TO EXISTING STORM SEWER LINE WITH AN INSERTA TEE AND RISER SECTION (CONTRACTOR SHALL VERIFY EXISTING INVERT ELEVATION PRIOR TO STORM SEWER INSTALLATION)
- G16 CORE DRILL AND CONNECT PROPOSED STORM SEWER LINE TO EXISTING STORM SEWER STRUCTURE PER LOCAL CODES (CONTRACTOR TO FIELD VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO CONSTRUCTION.)
- G21 EXISTING STORM SEWER STRUCTURE TO REMAIN
- G22 EXISTING STORM SEWER LINE TO REMAIN



GreenbergFarrow
COAF
21 South Evergreen Avenue
Suite 200
Arlington Heights, IL 60005
t: 847 788 9200 f: 847 788 9537
PROJECT TEAM

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ISSUE/REVISION RECORD	
DATE	DESCRIPTION
02/26/21	COORDINATION SET
03/19/21	PERMIT SET
04/09/21	SITE PLAN
04/14/21	PERMIT RESPONSE

Proj. 20182050
MICHAEL E. HAAS
NEW MEXICO
26056
PROFESSIONAL ENGINEER
MICHAEL HAAS
PROFESSIONAL ENGINEER
LICENSE NO. 26056
PROJECT MANAGER
EDWARD GOSS
QUALITY CONTROL
EDWARD GOSS
DRAWN BY
MITCH HEFFERNAN

PROJECT NAME
TEXAS ROADHOUSE

ALBUQUERQUE
NEW MEXICO
10000 COORS BYPASS NW
ALBUQUERQUE, NM 87114



PROJECT NUMBER
20182050.0
SHEET TITLE
GRADING AND DRAINAGE PLAN
SHEET NUMBER
C4.0

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
02/28/21	COORDINATION SET
03/19/21	PERMIT SET
04/09/21	SITE PLAN
04/14/21	PERMIT RESPONSE
04/30/21	PERMIT RESPONSE

Proj. 20182050



Michael E. Haas
expires 12/31/22
date 4/30/21

PROFESSIONAL IN CHARGE

MICHAEL HAAS
PROFESSIONAL ENGINEER
LICENSE NO. 26056

PROJECT MANAGER

EDWARD GOSS

QUALITY CONTROL

EDWARD GOSS

DRAWN BY

MITCH HEFFERNAN

PROJECT NAME

**TEXAS
ROADHOUSE**

**ALBUQUERQUE
NEW MEXICO**

**10000 COORS BYPASS NW
ALBUQUERQUE, NM 87114**



PROJECT NUMBER

20182050.0

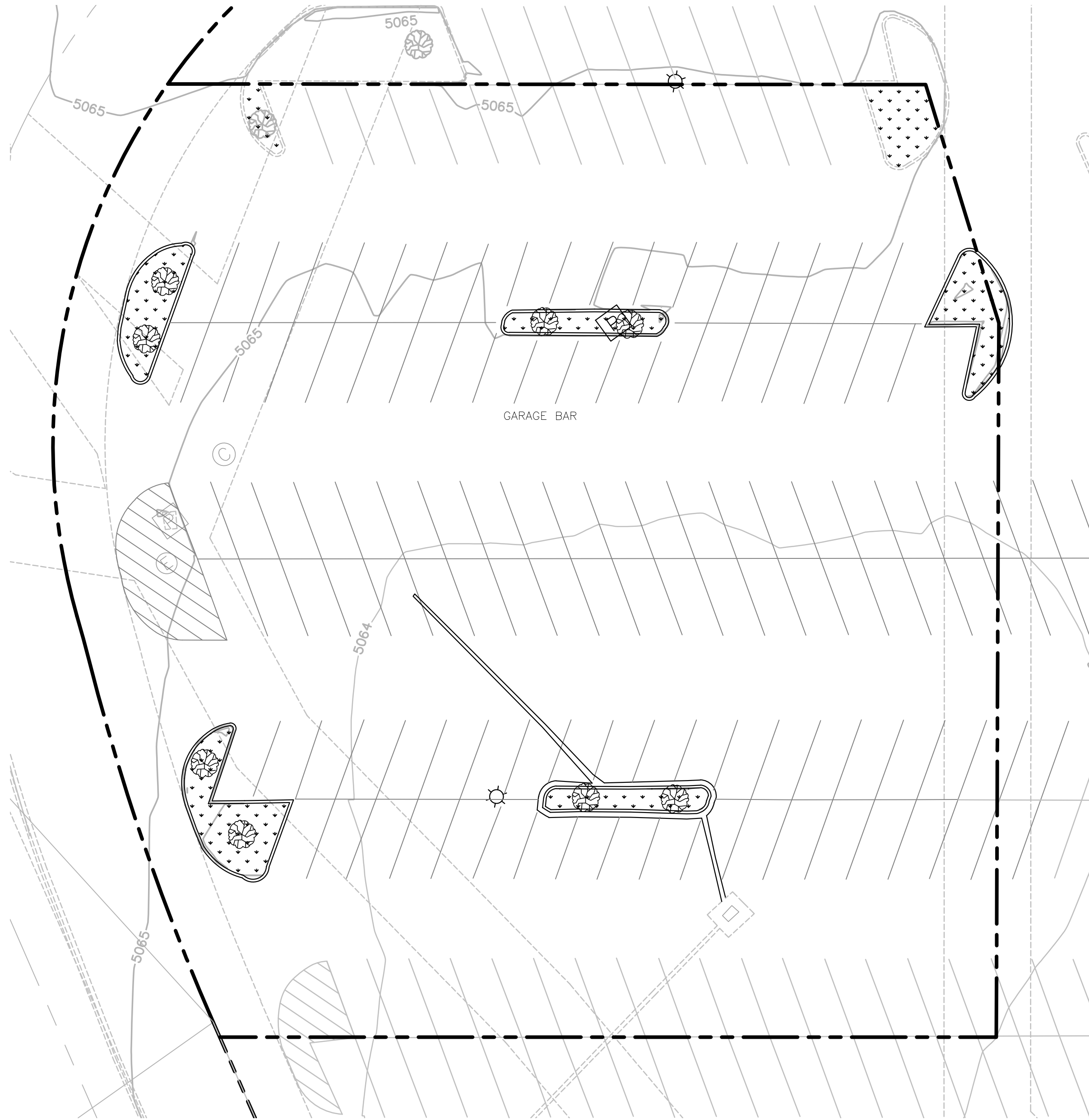
SHEET TITLE

**PRE/POST
LAND USE
COMPARISON**

SHEET NUMBER

C4.1

EXISTING CONDITIONS



PROPOSED CONDITIONS

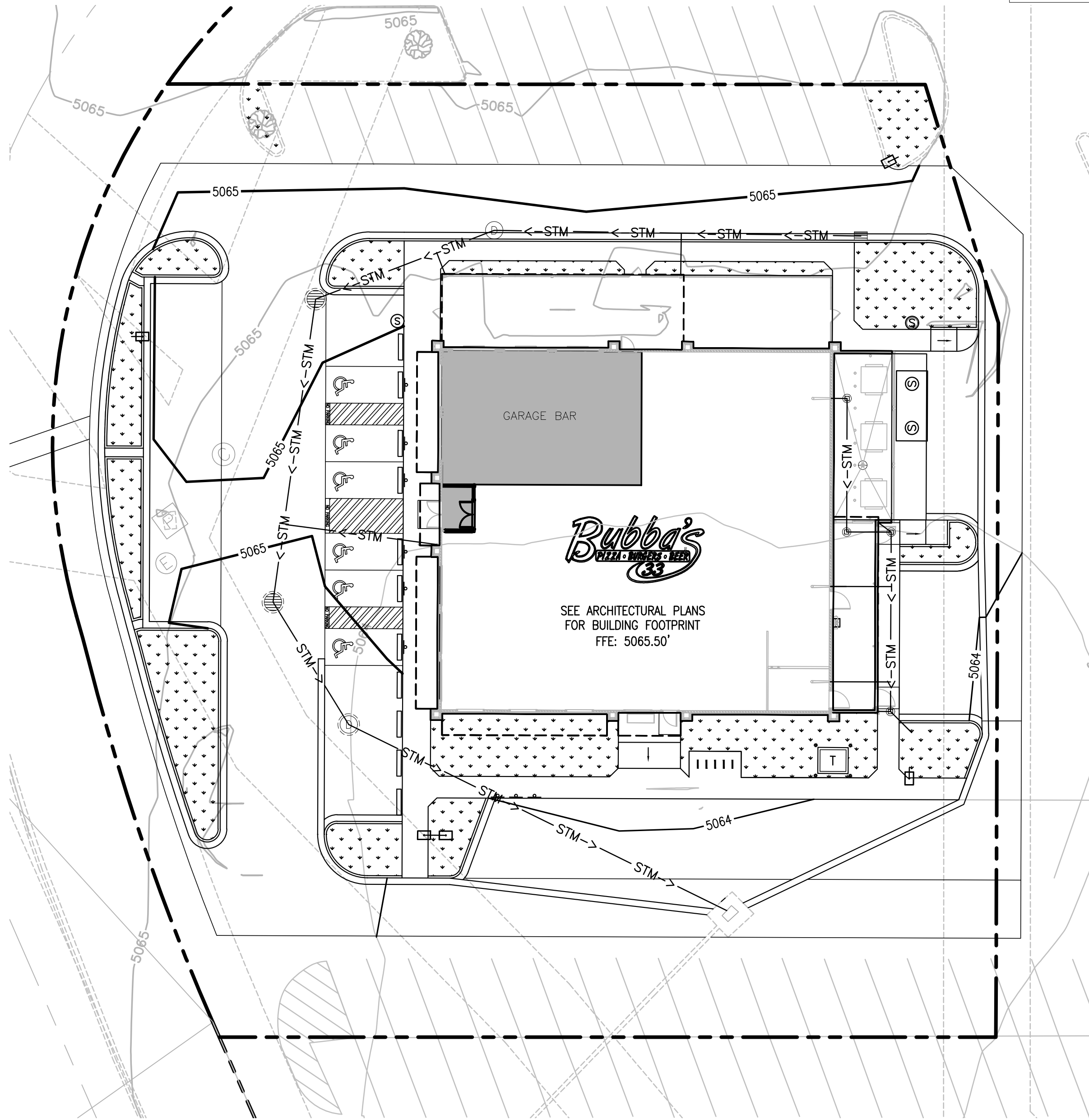
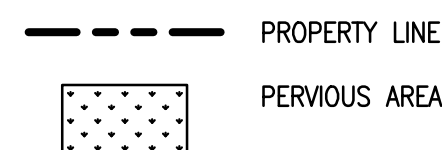


EXHIBIT LEGEND:



STORMWATER SUMMARY TABLE:

TOTAL SITE AREA:	44,717 SQ. FT./1.03 ACRES
EXISTING CONDITIONS:	
EXISTING IMPERVIOUS AREA:	43,078 SQ. FT./0.99 ACRES
EXISTING PERVIOUS AREA:	1,639 SQ. FT./0.04 ACRES
	44,717
PROPOSED CONDITIONS:	
PROPOSED IMPERVIOUS AREA:	40,482 SQ. FT./0.93 ACRES
PROPOSED PERVIOUS AREA:	4,235 SQ. FT./0.10 ACRES
	44,717

STORMWATER CALCULATIONS:

THE SITE IS LOCATED IN ZONE 1 AND HAS LAND TREATMENT IN AREAS B & D.

PEAK DISCHARGE (100 YEAR, 6-HOUR STORM EVENT):
ZONE 1, LAND TREATMENT AREA B = 2.16 CFS
ZONE 1, LAND TREATMENT AREA D = 4.12 CFS

EXISTING:

$$\text{RUNOFF (Q)} = Q_{pB}(A_B) + Q_{pD}(A_D) = 2.16(0.04) + 4.12(0.99) = 4.17$$

PROPOSED:

$$\text{RUNOFF (Q)} = Q_{pB}(A_B) + Q_{pD}(A_D) = 2.16(0.10) + 4.12(0.93) = 4.05$$

THE RUNOFF IS DECREASED IN THE PROPOSED CONDITIONS.

NOTE:

STORMWATER DESIGN IS BASED ON ARTICLE 6-2(A) FROM THE THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL.

DISTURBED SITE AREA TABLE:

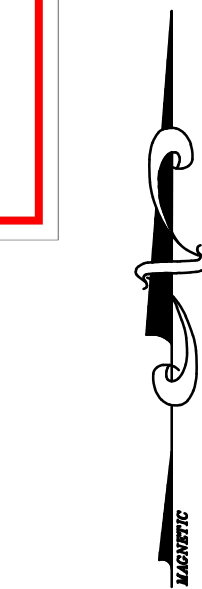
TOTAL DISTURBED AREA:	38,454 SQ. FT. / 0.88 ACRES
IMPERVIOUS AREA:	34,325 SQ. FT. / 0.79 ACRES
PERVIOUS AREA:	4,129 SQ. FT. / 0.09 ACRES

STORMWATER QUALITY VOLUME:

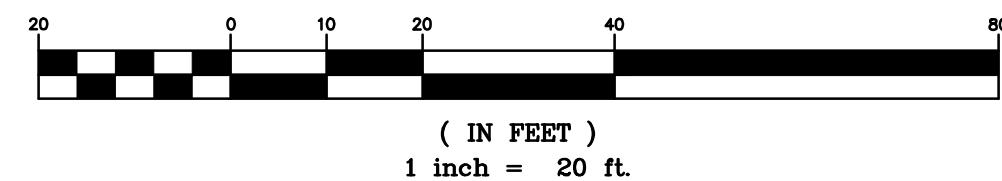
$$\text{STORMWATER QUALITY VOLUME} = 0.26 * (\text{NEW IMPERVIOUS AREA}) * (1/12) = 0.26 * 34,325 * (1/12) = 744 \text{ CF}$$

THE OWNER HAS ELECTED TO PAY FOR THE STORMWATER QUALITY VOLUME.
THE PAYMENT-IN-LIEU WILL BE \$5,952.

$$\text{SWQ VOLUME PAYMENT CALCULATION} = \$8/\text{CF} * (\text{SWQ VOLUME}) = \$8/\text{CF} * 744 = \$5,952$$



GRAPHIC SCALE



- COPIES OF THE APPROVED SOIL EROSION AND SEDIMENT CONTROL (SESC) PLANS OR STORMWATER POLLUTION PREVENTION PLANS (SWPPP) SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH ANY NECESSARY PERMITS AND INSPECTION FORMS.
2. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
3. CONTRACTOR SHALL IMPLEMENT SITE SPECIFIC BEST MANAGEMENT PRACTICES (BMPs) AS SHOWN AND REQUIRED BY THE SWPPP/SESC. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED BY THE CONTRACTOR AS DICTATED BY SITE CONDITIONS OR THE PROJECT GOVERNING AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. ALL BEST MANAGEMENT PRACTICES AND CONTROLS SHALL CONFORM TO THE APPLICABLE FEDERAL, STATE, OR LOCAL REQUIREMENTS, STANDARDS, AND SPECIFICATIONS OR MANUAL PRACTICE.
5. IF ANY REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL SOIL EROSION, SEDIMENT AND/OR POLLUTION FROM THE PROJECT SITE, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
6. INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN WITHIN THE VICINITY OF THE DISTURBED AREA LIMITS AS SHOWN ON THE PLANS. THESE SHALL BE MAINTAINED UNTIL THE TRIBUTARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER AND/OR APPROPRIATE GROUND STABILIZATION.
7. ALL STREETS ADJACENT TO THE PROJECT SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS. CONTRACTOR SHALL CLEAN ADJACENT PAVEMENTS AT THE END OF EACH WORKING DAY WHEN NECESSARY.
8. CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION TO THE EXTENT PRACTICABLE.
9. ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AS SOON AS IS PRACTICABLE.
10. IF DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED.
11. SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
12. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
13. SURFICIAL OIL, GREASE OR GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
14. DUST SHALL BE ADEQUATELY CONTROLLED ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
15. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED TRASH CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
16. DRAINAGE OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DOWERSING BAGS OR POLYMER MIXING SWALES. DOWERSING DIRECTLY INTO FIELD TILES OR STORMWATER SYSTEMS IS PROHIBITED.
17. ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED WITHIN THREE (3) DAYS OF FINAL DISTURBANCE.
18. ALL SOIL STOCKPILES SHALL BE STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
19. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
 - 19.1. WHEN THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 19.2. WHEN CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED (I.E. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS), THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
20. PRE-QUALIFIED PERSONNEL (PROVIDED BY THE CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
21. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 4:1 SLOPE OR STEEPER.
22. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OF OFF-SITE BY THE CONTRACTOR.
23. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE IDENTIFIED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT, ADJACENT SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY STORM WATER POLLUTION PREVENTION PLAN SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR REVIEW.
24. ALL CONSTRUCTION VEHICLE TRAFFIC MUST REMAIN WITHIN THE LIMITS OF CONSTRUCTION.

TOTAL DISTURBED AREA: 38,454 SQ. FT. / 0.88 ACRES

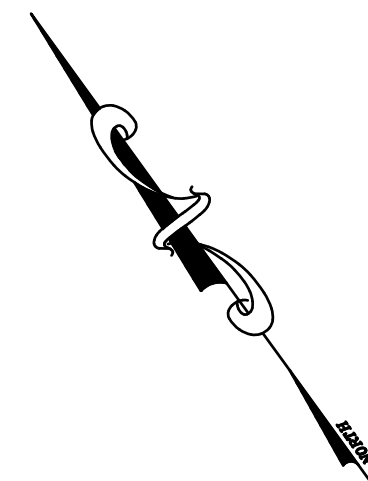
IMPERVIOUS AREA: 34,266 SQ. FT. / 0.79 ACRES






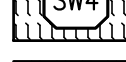




PERVIOUS AREA: 4,188 SQ. FT. / 0.09 ACRES

$$\begin{aligned}\text{STORMWATER QUALITY VOLUME} &= 0.26 * (\text{NEW IMPERVIOUS AREA}) * (1/12) \\ &= 0.26 * 34,266 * (1/12) \\ &= 742 \text{ CF}\end{aligned}$$

THE OWNER HAS ELECTED TO PAY FOR THE STORMWATER QUALITY VOLUME.
THE PAYMENT-IN-LIEU WILL BE \$5,936.

$$\begin{aligned}\text{SWQ VOLUME PAYMENT CALCULATION} &= \$8/\text{CF} * (\text{SWQ VOLUME}) \\ &= \$8/\text{CF} * 742 \\ &= \$5,936\end{aligned}$$



- | | |
|---|---|
|  | PROPERTY LINE |
|  | LAND DISTURBANCE LIMITS (SEE DISTURBED AREA TABLE) |
|  | PROPOSED SILT FENCE |
|  | PROPOSED INLET PROTECTION INSERT |
|  | PROPOSED STABILIZED CONSTRUCTION ENTRANCE |
|  | PROPOSED CONCRETE WASHOUT (SUGGESTED LOCATION) |
|  | PROPOSED CONTRACTOR STAGING AREA (SUGGESTED LOCATION) |
|  | PROPOSED GRAVEL FILTER BAG |
|  | PROPOSED STORM SEWER STRUCTURES |
|  | PROPOSED STORM SEWER |

- SW1 PROPOSED PROJECT LAND DISTURBANCE LIMITS
SW3 PROPOSED STABILIZED CONSTRUCTION ENTRANCE
SW4 PROPOSED CONCRETE WASHOUT WITH MINIMUM 30--MIL POLYETHYLENE LINING
AND LOCATION SIGNAGE
SW5 PROPOSED CONTRACTOR STAGING AREA INCLUDING MATERIALS STORAGE,
COVERED TRASH DUMPSTER, AND PORTABLE TOILET FACILITIES
SW7 PROPOSED INLET PROTECTION
SW8 PROPOSED GRAVEL FILTER BAG

1. OBTAIN ALL APPLICABLE SITE PERMITS AND THOROUGHLY REVIEW PROJECT'S SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) OR STORMWATER POLLUTION PREVENTION PLANS (SWPPP) PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SWPPP/SESC THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (I.E. SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE).
3. INSTALL INLET PROTECTION DEVICES FOR EXISTING STORM SEWER INLETS AND DRAINAGE STRUCTURES.
4. PERFORM SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP/SESC.
- 4.1. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 4.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTIONS.
5. INSTALL NEW STORM SEWERS AND/OR SITE UTILITIES AS INDICATED ON THE PLANS.
6. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
7. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY PRIOR TO COMMENCEMENT OF ANY CONCRETE WORK ON SITE.
8. INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.).
9. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED FOR AREAS ADJACENT TO THE PROJECT SITE.
10. INSTALL BUILDING FOUNDATION AND COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
11. WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION, ONCE PERMANENT STABILIZATION OF THE ENTIRE SITE HAS BEEN COMPLETED AND ALL GROUND COVER IS ESTABLISHED.

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PROJECT TEAM

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
02/26/21	COORDINATION SET
03/19/21	PERMIT SET
04/09/21	SITE PLAN
04/14/21	PERMIT RESPONSE

[illegible]

Proj. 20182050




 expires 12/31/22
 date 4/14/21

PROFESSIONAL IN CHARGE

MICHAEL HAAS
PROFESSIONAL ENGINEER
LICENSE NO. 26056

PROJECT MANAGER

EDWARD GOSS

QUALITY CONTROL

EDWARD GOSS

DRAWN BY

MITCH HEFFERNAN

PROJECT NAME

TEXAS ROADHOUSE

**ALBUQUERQUE
NEW MEXICO**

**10000 COORS BYPASS NW
ALBUQUERQUE, NM 87114**



PROJECT NUMBER

20182050.0

SHEET TITLE

STORMWATER POLLUTION PREVENTION PLAN

SHEET NUMBER

C6.0