

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 30, 2025

Brandon Goldberg  
GreenbergFarrow  
8600 W Bryn Mawr Avenue, Suite 800N  
Chicago, IL 60631

**RE: Bubba's 33**  
**10000 Coors Blvd NW**  
**Permanent C.O. – Accepted**  
**Engineer's Certification Date: 7/14/25**  
**Engineer's Stamp Date: 7/24/2024**  
**Hydrology File: B14D004H**  
**Case # HYDR-2025-00251**

PO Box 1293

Dear Mr. Goldberg:

Albuquerque

Based on the Certification received 7/28/2025 and the site visit on 7/14/2025, this letter serves as a conditional approval from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

NM 87103

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



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Designing Solutions Together

## HYDROLOGY ENGINEERING CERTIFICATION

I, ZACHARY MICHELS, NMPE OR NMRA NUMBER 28488, OF THE FIRM GREENBERGFARROW, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/29/24. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ZACHARY MICHELS OF THE FIRM GREENBERGFARROW. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/11/25 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect

7/14/25  
Date

GENERAL GRADING NOTES:

- ALL GRADING AND SITE PREPARATION WORK SHALL CONFORM WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL CAREFULLY PRESERVE ALL SITE BENCHMARKS AND REFERENCE POINTS DURING CONSTRUCTION OPERATIONS.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL INSTALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
- ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL STORM DRAINAGE STRUCTURES. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
- CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
- MAXIMUM SLOPES WITHIN THE HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
- MAXIMUM GRADE DIFFERENCE BETWEEN PAVEMENT SURFACES AND ADJACENT CONCRETE SIDEWALKS FOR THE ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED.
- ALL HANDICAP ACCESSIBLE EXTERIOR DOORWAY LOCATIONS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF FIVE (5) FEET IN LENGTH WITH A SLOPE NOT EXCEEDING 2% IN ANY DIRECTION.
- EXCAVATION SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
- ALL STRUCTURE BENCH WALLS SHALL BE SHAPED AND FORMED FOR A CLEAN TRANSITION WITH PROPER HYDRAULICS TO ALLOW THE SMOOTH CONVEYANCE OF FLOWS THROUGH THE MANHOLE OR BOX INLET. THE BENCH WALL SHALL FORM A DEFINED CHANNEL, TO A MINIMUM HEIGHT OF 80-PERCENT OF THE INSIDE DIAMETER OF THE INLET AND OUTLET PIPES TO FORM A 'U' SHAPED CHANNEL, CONSTRUCTED AT A MINIMUM 1/8-INCH PER FOOT SLOPE TO THE MANHOLE WALL.
- ALL STORM WATER INLETS AND CATCH BASIN CASTINGS SHALL HAVE THE WORDS 'NO DUMPING, DRAINS TO STREAM', OR SIMILARLY APPROVED MESSAGE, CAST IN RAISED OR RECESSED LETTERS AT A MINIMUM OF 1" IN HEIGHT. IN ADDITION, A SYMBOL OF A FISH SHALL ALSO BE CAST WITH THE LETTERS.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

PROJECT BENCHMARKS:

SITE BENCHMARKS:

BM #1 ACS MONUMENT "10-B13"  
ELEVATION= 5074.478 (NAVD 88)

BM #2 ACS MONUMENT "8-B13"  
ELEVATION= 5059.673 (NAVD 88)

FLOOD NOTE:

PROJECT SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD AREA AND IS LOCATED IN ZONE "X" AS SHOWN ON THE ABOVE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 35001C01086 WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

UTILITY RIM NOTE:

UTILITY RIM CONCRETE COLLAR NOTES:

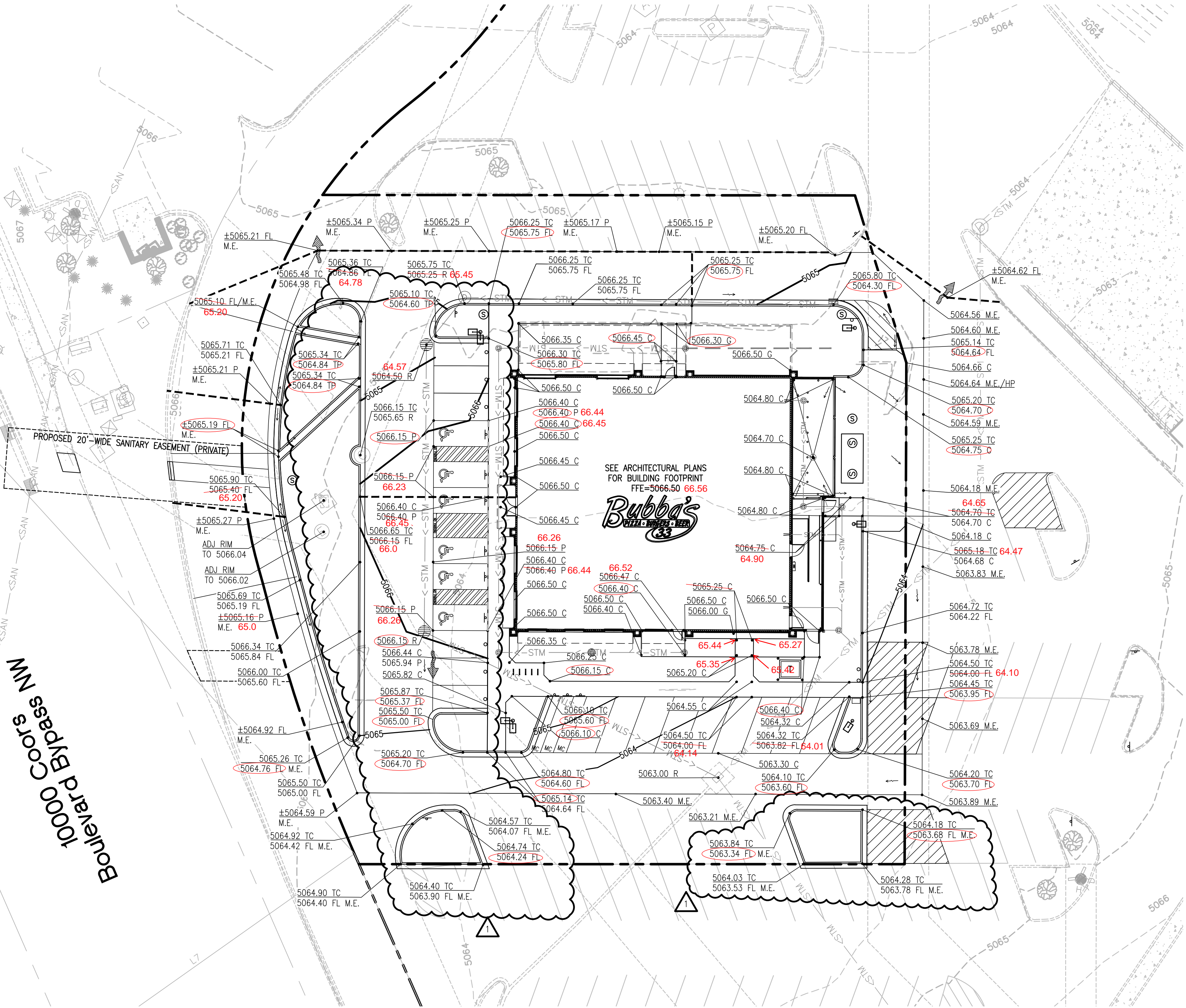
- MANHOLES, CATCH BASINS AND OTHER LARGE STRUCTURES
  - IF GRATE IS 2-FT ROUND, THE CONCRETE COLLAR SHALL BE A 3-FT WIDE POUR TO FULLY ENCAPSULATE THE GRATE
  - IF THE GRATE IS 2-FT SQUARE, THE CONCRETE COLLAR SHALL BE A 3-FT WIDE POUR TO FULLY ENCAPSULATE THE GRATE
- CLEAN OUTS
  - ALL CLEAN OUTS SHALL HAVE A 2-FT WIDE CONCRETE COLLAR

UNDERGROUND CONDUITS

- CONTRACTOR TO REVIEW ELECTRICAL PLAN SHEET ESP-1 AND INSTALL ALL UNDERGROUND CONDUITS PRIOR TO PAVING.
- ALL UNDERGROUND CONDUIT TYPE, SIZES AND LOCATIONS CAN BE FOUND ON ELECTRICAL PLAN SHEET ESP-1.

UTILITY RIM NOTE:

- ALL UTILITY STRUCTURE RIMS SHALL HAVE A 6'x6" BLACK CONCRETE COLLAR WITHIN NEW ASPHALT
- ALL UTILITY CLEAN-OUT RIMS SHALL HAVE A 3'x3" BLACK CONCRETE COLLAR WITHIN NEW ASPHALT



PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED FLUSH CURB
- 50 PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FFE: FINISHED FLOOR ELEVATION
- TC: TOP OF CURB ELEVATION
- FL: CURB FLOWLINE ELEVATION
- C: TOP OF CONCRETE ELEVATION
- P: TOP OF PAVEMENT ELEVATION
- FG: FINISHED GRADE ELEVATION
- ME: MATCH EXISTING ELEVATION
- PROPOSED GRADING RIDGE LINE
- PROPOSED DRAINAGE FLOW DIRECTION
- PROPOSED OVERLAND FLOOD ROUTE
- PROPOSED STORM SEWER STRUCTURE WITH OPEN GRADE
- PROPOSED STORM SEWER STRUCTURE WITH CLOSED LID
- PROPOSED STORM SEWER CLEAN OUT
- PROPOSED HEAVY DUTY AREA DRAIN
- STM-> PROPOSED STORM SEWER

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PROJECT TEAM

ISSUE/REVISION RECORD

DATE	DESCRIPTION
04/11/24	COORDINATION SET
05/22/24	PERMIT SET
06/14/24	BID SET
07/12/24	PERMIT RESPONSE
07/24/24	PERMIT RESPONSE
08/23/24	PERMIT RESPONSE
10/09/24	CONSTRUCTION SET

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE

ZACH MICHELS  
PROFESSIONAL ENGINEER  
LICENSE NO. 28488

PROJECT MANAGER

EDWARD GOSS

QUALITY CONTROL

EDWARD GOSS

DRAWN BY

EC

PROJECT NAME

BUBBA'S 33

ALBUQUERQUE  
NEW MEXICO

10000 COORS BYPASS NW  
ALBUQUERQUE, NM 87114



PROJECT NUMBER

20182050.0

SHEET TITLE

GRADING PLAN

SHEET NUMBER

C4.0



Professional Certification:

All work was substantially completed and does not deviate from the approved permitted plans. Statements: All grades within the development do not deviate by more than 18-inches. All drainage was built in accordance with the permitted plans. All as-built elevations were built within tolerances.

*Zach Michels*  
Zach Michels License number: 28488

SURVEYOR'S CERTIFICATION

I, BRIAN J. MARTINEZ, A DULY QUALIFIED, REGISTERED, PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND 'AS-BUILT' SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS 'AS-BUILT' INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. CARTESIAN SURVEYS IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORDED DRAWINGS.

*Brian J. Martinez* 7/22/25  
BRIAN J. MARTINEZ, NMPS 18374



GRAPHIC SCALE

