

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services Section

May 14, 2008

Ronald A. Witherspoon, Registered Architect
6801 Jefferson NE, Ste. 100
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Cotton Commons Apartment, [B-14 / D006]
3550 Old Airport Avenue NW # 3600 OLD AIRPORT AVE. NW
Architect's Stamp Dated 04/28/08

42
5/23/08

Dear Mr. Witherspoon:

The TCL / Letter of Certification submitted on May 14, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

April 28, 2008

Mr. Nilo Salgado, P.E.
Senior Traffic Engineer
Development and Building Services
600 2nd St. NW
Albuquerque, NM 87102

RE: Cottonwood Commons, 3550 Old Airport Avenue NW, Traffic Circulation Layout
Request for temporary Certificate of Occupancy

Dear Mr. Salgado,

This letter is to request a final Certificate of Occupancy. Based on information provided by the Contractor and site observation, to the best of my knowledge, and belief the sidewalks, parking stalls, and drive aisles, have been constructed in substantial compliance with the approved Traffic Circulation Layout.

The "Tufftrack" grass pavers have been omitted in the center median with the fire marshal's approval. See attached inspection form.

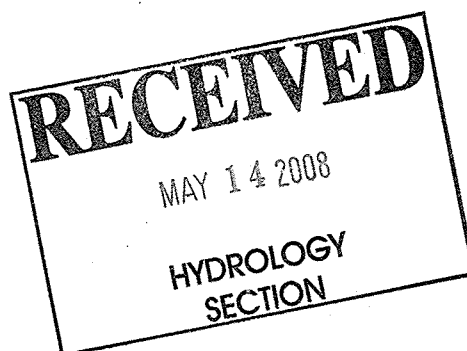
Feel free to call with any questions or concerns.

Very truly yours,

Dekker/Perich/Sabatini, Ltd.



Ron Witherspoon, AIA
Principal



cc. Rob Olson, GSL Construction
File

encl. Approved Traffic Circulation Layout
Fire Marshal Inspection form



CITY OF ALBUQUERQUE FIRE DEPARTMENT FIRE MARSHAL'S OFFICE

CASE NO. 2590-06
OF 213

PLANS REVIEW SECTION
600 2ND STREET NW
ALBUQUERQUE, NM 87102
(505)-924-3611 / FAX (505)-924-3619

TYPE OF OCCUPANCY

<input type="checkbox"/> A1	<input type="checkbox"/> B	<input type="checkbox"/> H1	<input type="checkbox"/> I1	<input type="checkbox"/> R1	<input type="checkbox"/> S1
<input type="checkbox"/> A2	<input type="checkbox"/> E	<input type="checkbox"/> H2	<input type="checkbox"/> I2	<input checked="" type="checkbox"/> R2	<input type="checkbox"/> S2
<input type="checkbox"/> A3	<input type="checkbox"/> F1	<input type="checkbox"/> H3	<input type="checkbox"/> I3	<input type="checkbox"/> R3	<input type="checkbox"/> U
<input type="checkbox"/> A4	<input type="checkbox"/> F2	<input type="checkbox"/> H4	<input type="checkbox"/> I4	<input type="checkbox"/> R4	
<input type="checkbox"/> A5		<input type="checkbox"/> H5	<input type="checkbox"/> M		

PERMIT NO: 0608488/0520098 DATE: 4-23-08
BUSINESS: Cottonwood Commons Cpt
ADDRESS: 3550 Old Market PHONE: _____

CONDITIONS SURROUNDING AND ARRANGEMENTS TO BE IN ACCORDANCE WITH THE FIRE PREVENTION CODE REGULATIONS ADOPTED BY ORDINANCE NO. 0-2005-034.

LB.C. SEC. 109.1, 110.1

STANDARD AFPA

SECTION 13.72

☒ FINAL CERTIFICATE OF OCCUPANCY / INSPECTION

☐ TEMPORARY CERTIFICATE OF OCCUPANCY / INSPECTION

☒ FIRE SPRINKLER SYSTEM. PLANS ☒ YES / ☐ NO

☒ FIRE ALARM SYSTEM. PLANS ☒ YES / ☐ NO 2631-07

☐ SUPPRESSION SYSTEM. PLANS ☐ YES / ☐ NO

LIST OF VIOLATIONS:

Inspection Bld C & E!
Medians Approved by Fire Marshal office w/ Crusher Fine Filling!
* Fire Marshal Found Issues for Bld
E & C

THIS IS AN OFFICIAL NOTIFICATION TO CORRECT THE ABOVE NOTED VIOLATION(S) IMMEDIATELY. A REINSPECTION WILL BE MADE ON OR ABOUT _____

FAILURE TO COMPLY WITH ANY ORDERS ISSUED CAN RESULT IN LEGAL ACTION BEING TAKEN AGAINST ANY VIOLATOR IN ANY COURT OF JURISDICTION, BY ISSUING CITATIONS OR BY ORDERING THE CLOSURE OF SUCH OCCUPANCY UNTIL COMPLIANCE IS ACHIEVED, OR BY ANY OTHER LEGAL PROCESS.

INSPECTOR: STEVEN WHIBRRI

(PLEASE PRINT)

Steven Whibri

(SIGNATURE)

ACKNOWLEDGED BY: Cony St John

(PLEASE PRINT)

C. St John

(SIGNATURE)

PHONE: 505.348.7925

TITLE: PROJECT ENGINEER

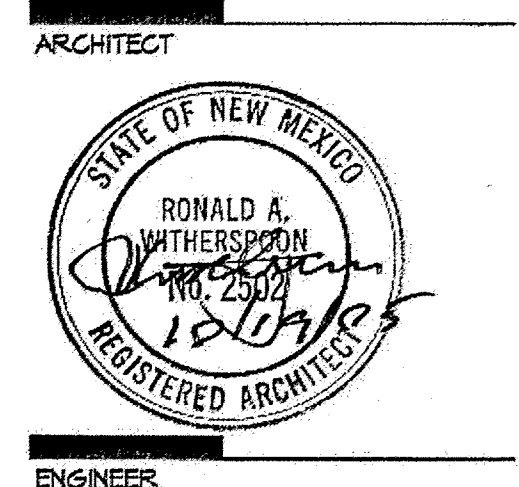
BILLING INFORMATION:

GSL Construction Inc 6000 Jefferson St
Albuquerque NM 87109

SQUARE FOOTAGE _____

Dekker
Perich
Sabatini

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com



**Cottonwood Apartments
GSL**
Old Airport Avenue
Albuquerque, New Mexico

REVISIONS	
△	
△	
△	
△	
△	
DRAWN BY	ms
REVIEWED BY	RM, Huitt-Zollars
DATE	October 19, 2005
PROJECT NO.	05013
DRAWING NAME	Traffic Circulation
RECEIVED	
OCT 19 2005	
HYDROLOGY SECTION	
SHEET NO.	1

Parking

Per EPC approved Site Development Plan for Subdivision. Parking shall be in accordance with the Albuquerque Comprehensive City Zoning Code section 14-1B-3-1 (A)(24)(b). For each dwelling unit with net leasable area of less than 1000 SF, one space per bath but not less than 1.5 spaces per unit.

Unit type / size	Gty.	Space Factor	# Spaces
1BR/1BA (575 SF)	60	1.5	90
2BR/1BA (825 SF)	60	1.5	90
2BR/2BA (842 SF)	65	2.0	130
Clubhouse (1664 SF)	1	1 per 200 SF	9
Subtotal:			319

10% Transit Reduction per 14-1B-3-1 (C)(6)(a): (32)
Total Required Parking: 287

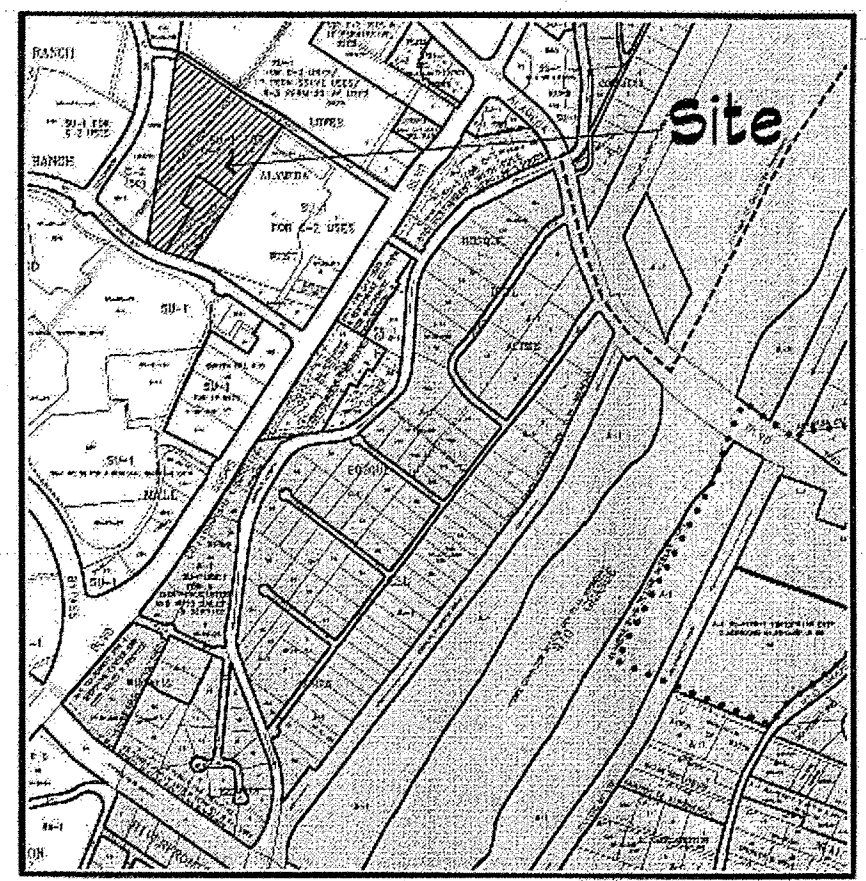
Designated Disabled Parking Incl.: 8
Van-accessible (NMAC Table 1106.1) 1

Unit type / size	Gty.	Space Factor	# Spaces
1BR/1BA (575 SF)	46	1.5	69
1BR/1BA (650 SF)	62	1.5	93
2BR/1BA (825 SF)	42	1.5	63
2BR/2BA (1150 SF)	63	2.0	126
2BR/2BA (1100 SF)	36	2.0	72
Clubhouse (1664 SF)	1	1 per 200 SF	9
Subtotal:			432

10% Transit Reduction per 14-1B-3-1 (C)(6)(a): (43)
Total Required Parking: 389

Designated Disabled Parking Incl.: 12
Van-accessible (NMAC Table 1106.1) 2

Vicinity Map B-14-Z



Description

Legal Description: Tract H, Seven Bar Ranch Subdivision

Type of Development: Apartments

Size of Development:
Tract 1 - 5.8115 acres
Tract 2 - 7.8510 acres
Tracts 1 & 2 - 13.6665 acres
Tract 3 - 2.0014 acres

Executive Summary

The site is bounded by Old Airport Road to the north, Seven Bar Loop Road to the south and Cottonwood Drive to the west. It is next to the Alameda shopping center to the east and Cottonwood Mall to the south.

The project includes two multifamily apartment sites and a remaining C-2 tract for future development. Tract 1 will be Affordable-rate units for seniors and Tract 2 will be Market-rate units.

The primary access to the apartments in Tract 1 and Tract 2 is from Old Airport Rd. This access is aligned with the access to site directly across Old Airport road to the north. The requirements for width, radius and design configurations comply with COA standards. This primary access will be a private easement with a public utilities easement to serve both tracts. The primary access is designed within the context of the Seven Bar Ranch Sector Development Plan design requirements. The main entrance is designed to provide a transition from the surrounding commercial activity to a village-type character within the apartment development.

The internal circulation with a primary access off of Old Airport road meets the required street widths; radius and configurations comply with COA standards. The internal circulation is designed with a Boulevard as the main circulation pattern completed with a landscaped median, parking and pedestrian friendly tree-lined sidewalks that provide residents with welcoming entrance to their residence. Roundabouts shall meet design requirements of the Fire and Solid Waste Departments.

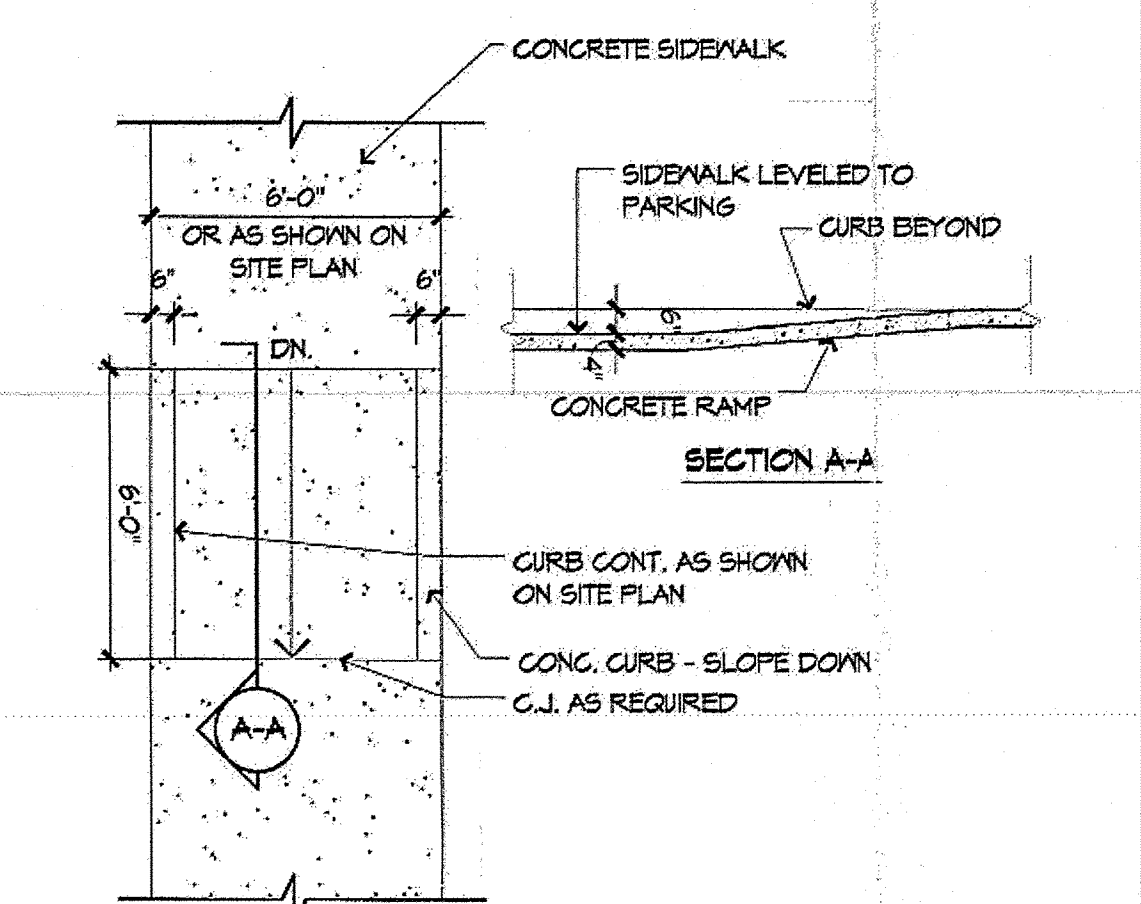
The Traffic Impact Study was submitted and accepted on February 28, 2005 for this site. This report addressed off-site traffic impacts.

Legend

- R25 R15 Landscaped Parking Aisle Island w/ 25' radius, typ. - conc. header curb COA std. dug. 2415B
- R2 R2
- R15 R15 Landscaped Parking Aisle Island w/ 15' radii, typ. - conc. header curb COA std. dug. 2415B
- R2 R2
- 11'-0" Landscaped Parking Aisle Planter for Compact Spaces, typ. - conc. header curb COA std. dug. 2415B
- 10'-0"
- 10'-0" Parking Aisle Perimeter Planter, typ.
- 20'-0"
- 8'-6" 5'-0" Accessible Parking Space for Car; 5'-0" Access Aisle; White Int'l HC Symbol; 4" solid spaced striping spaced at 45"; sloped 1% to 2%
- 8'-6" 8'-0"
- 20'-0"
- 20'-0" Accessible Parking Space for Van; 8'-0" Access Aisle; White Int'l HC Symbol; 4" solid spaced striping spaced at 45"; sloped 1% to 2%
- Refuse Container Enclosure (no truck access req.)
- Compactor (truck access req.)
- Proposed Sidewalk, typ.
- Stamped concrete paving, typ. Pattern to be selected by Owner
- Paved Shoulder, typ.
- Pedestrian Trail, typ.
- Path of Travel - Solid Waste Vehicle
- Property Boundary
- New Apartment Building, typ.
- Demo
- Existing
- New Standard Concrete Curb & Gutter per COA std. det. 2415A
- New Mountable Concrete Curb & Gutter per COA std. det. 2415A
- New Concrete Header Curb per COA std. det. 2415B
- Fire Lane - Paint curb red
- New Fire Hydrant
- Direction of Traffic Flow

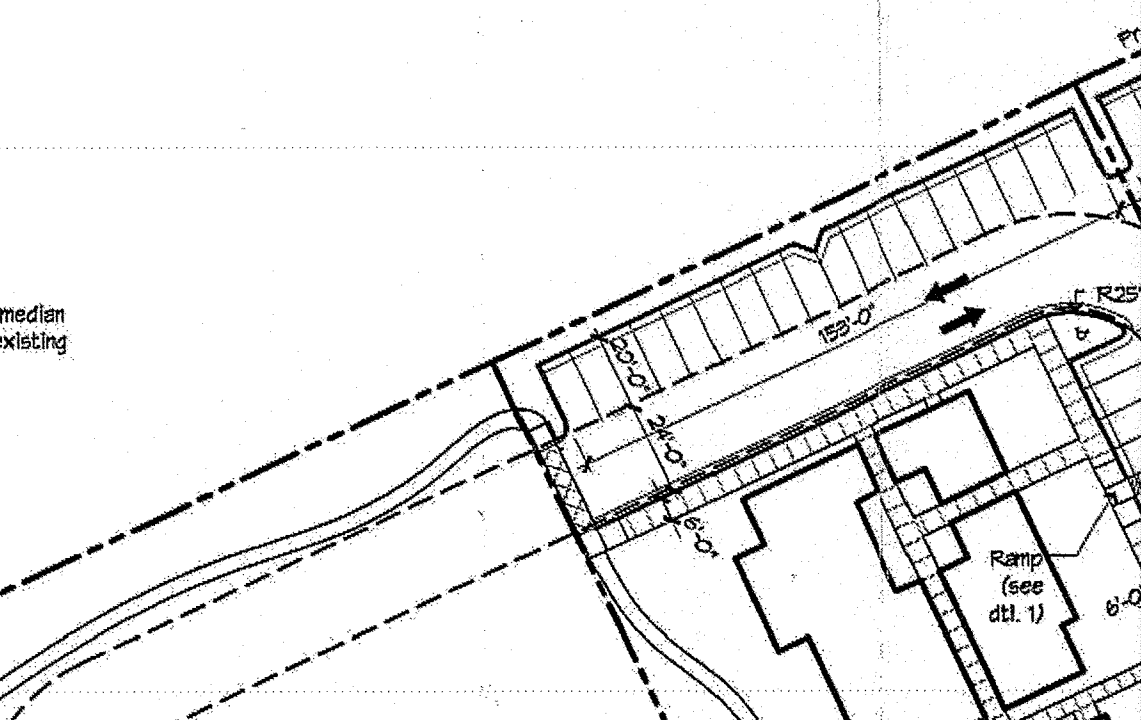
1 CURB ACCESS RAMP

1/4" = 1'-0"



2 SIDEWALK RAMP

1/4" = 1'-0"



Traffic Circulation Plan

1" = 50'-0"

0 25' 50'

1" = 50'-0"

1" = 50'-0"