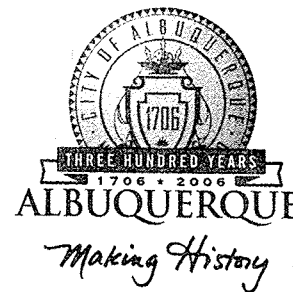


# CITY OF ALBUQUERQUE

October 21, 2005

Ronald A. Witherspoon, R.A.  
Dekker Perich Sabatini  
6801 Jefferson NE – Suite 100  
Albuquerque, NM 87109



**Re: Cottonwood Apartments, Tract H, Seven Bar Ranch Subdivision  
Traffic Circulation Layout-Architect's Stamp dated 10-19-05 (B14-D6)**

Dear Mr. Witherspoon,

The TCL submittal received 10-19-05 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan shall be inserted into each set of the building permit plans. Please keep the original to be used for final C.O. certification of the site required by Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.  
Engineering Associate, Planning Dept.  
Development and Building Services

cc: file

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



**Dekker  
Perich  
Sabatini**

6801 Jefferson NE  
Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsabq.com

ARCHITECT  
**RONALD A.  
WITHERSPON**  
REGISTERED ARCHITECT  
ENGINEER

PROJECT

**Cottonwood Apartments  
GSL**  
Old Airport Avenue  
Albuquerque, New Mexico

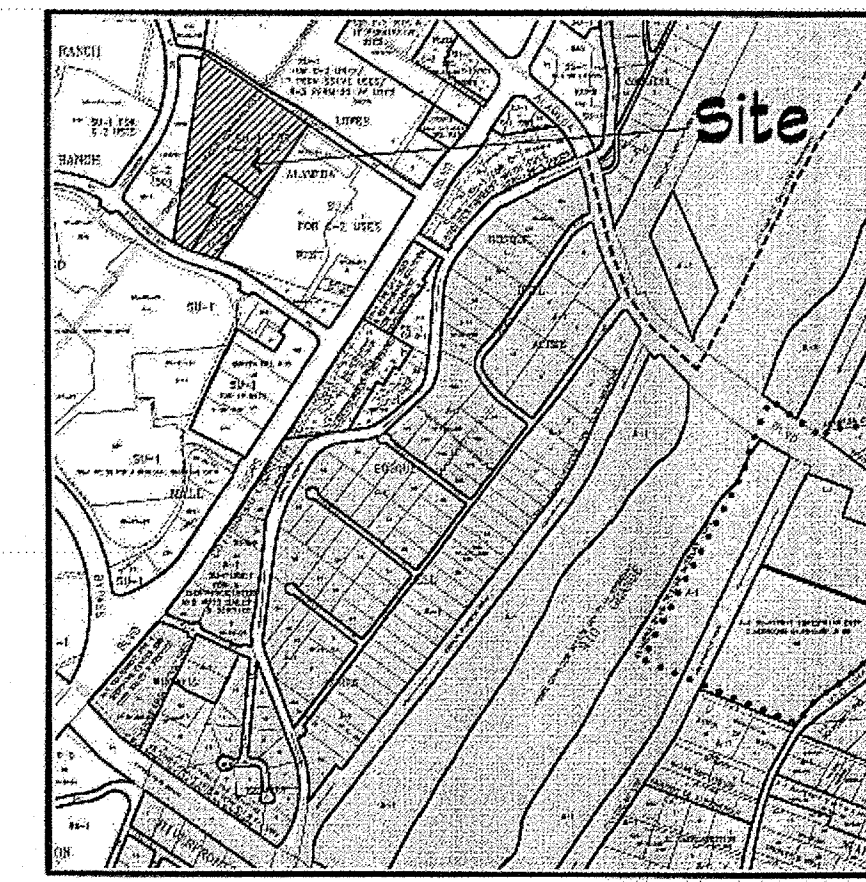
REVISIONS  
▲  
▲  
▲  
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DRAWN BY ms  
REVIEWED BY RM, Huitt-Zollars  
DATE October 19, 2005  
PROJECT NO. C5013  
DRAWING NAME

**Traffic Circulation**  
Layout REVIEW  
OCT 19 2005  
HYDROLOGY SECTION

SHEET NO.

**Vicinity Map  
B-14-Z**



**Parking**

Per EPC approved Site Development Plan for Subdivision. Parking shall be in accordance with the Albuquerque Comprehensive City Zoning Code section 14-16-3-1 (A)(24)(b). For each dwelling unit with net leasable area of less than 1000 SF, one space per bath but not less than 1.5 spaces per unit.

Unit type / size	Qty.	Space Factor	# Spaces
1BR/1BA (515 SF)	60	1.5	40
2BR/1BA (655 SF)	60	1.5	40
2BR/2BA (842 SF)	65	2.0	130
Clubhouse (1664 SF)	1	1 per 200 SF	9
Subtotal:			319

10% Transit Reduction per 14-16-3-1 (C)(6)(a): (32)  
Total Required Parking: 287

Designated Disabled Parking Incl.: 8  
Van-accessible (NMAC Table 1106.1) 1

Unit type / size	Qty.	Space Factor	# Spaces
1BR/1BA (515 SF)	46	1.5	64
1BR/1BA (650 SF)	62	1.5	49
2BR/1BA (655 SF)	42	1.5	63
2BR/2BA (850 SF)	63	2.0	126
2BR/2BA (1100 SF)	36	2.0	72
Clubhouse (1664 SF)	1	1 per 200 SF	9
Subtotal:			432

10% Transit Reduction per 14-16-3-1 (C)(6)(a): (43)  
Total Required Parking: 389

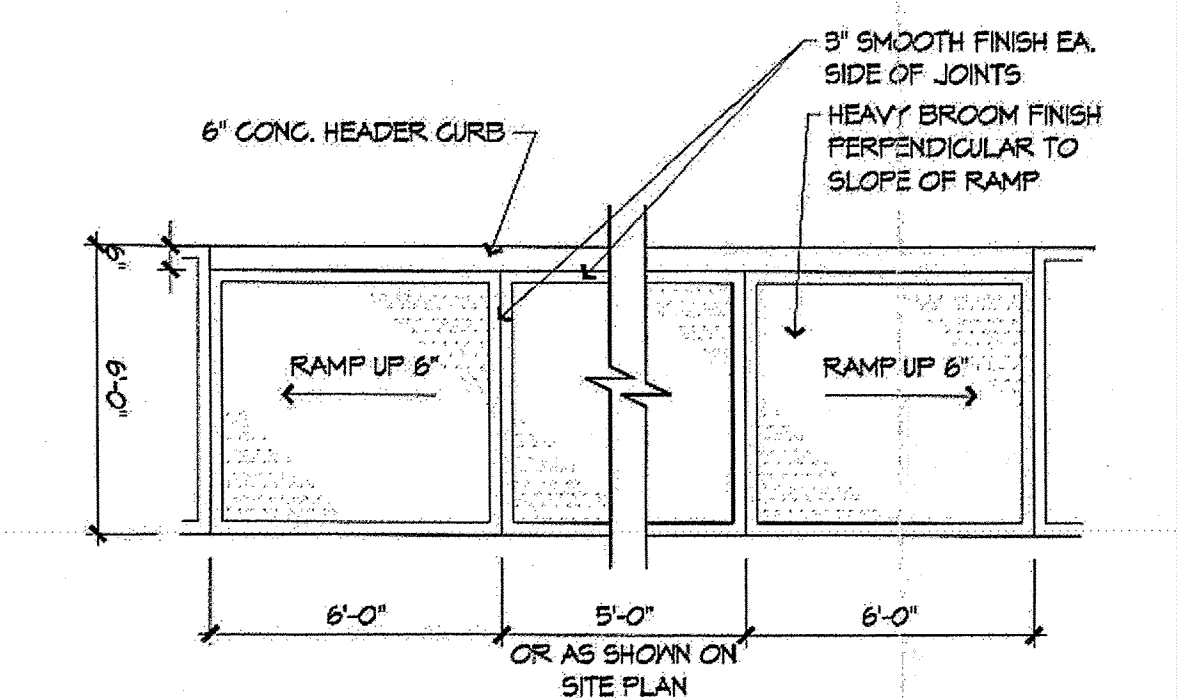
Designated Disabled Parking Incl.: 12  
Van-accessible (NMAC Table 1106.1) 2

**Description**

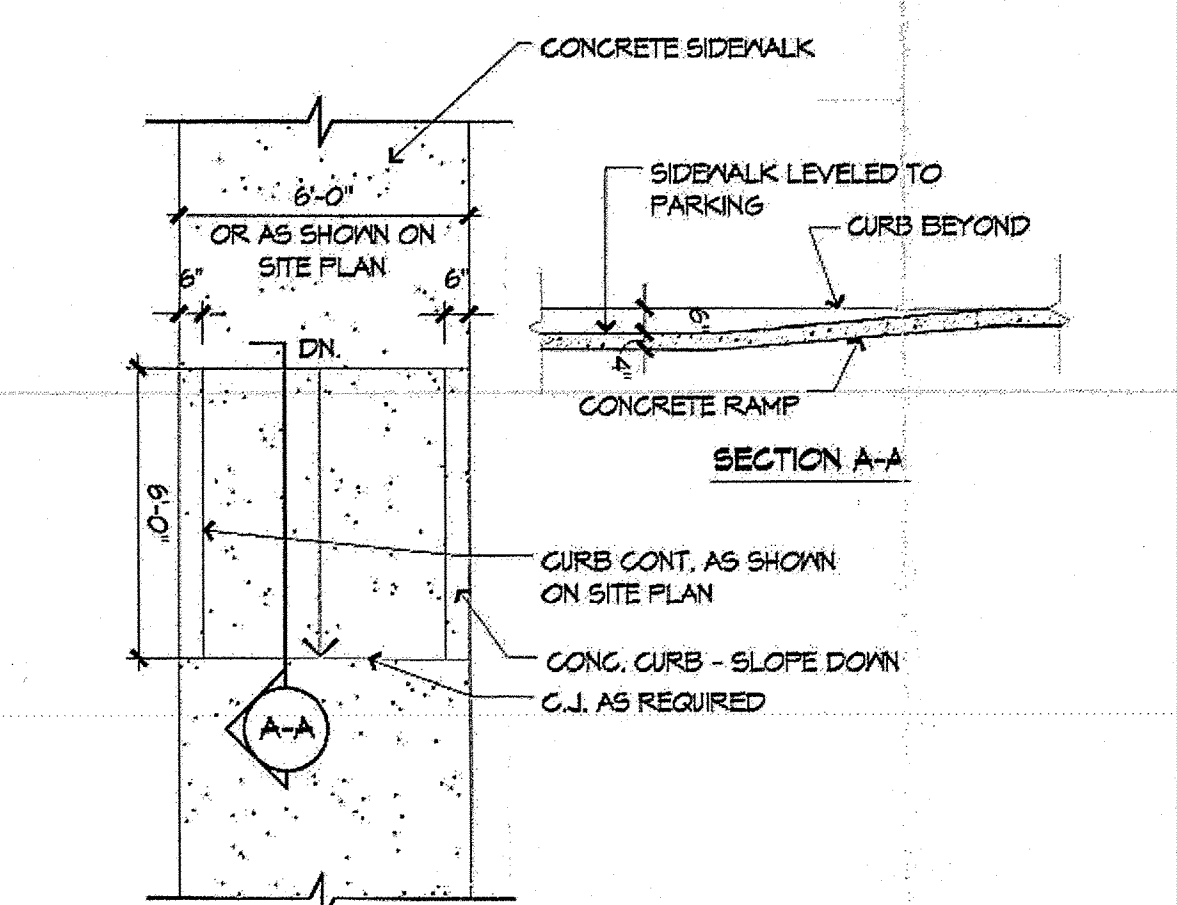
Legal Description: Tract H, Seven Bar Ranch Subdivision

Type of Development: Apartments

Size of Development:  
Tract 1 - 5.8115 acres  
Tract 2 - 7.8510 acres  
Tracts 1 & 2 - 13.6665 acres  
Tract 3 - 2.0014 acres



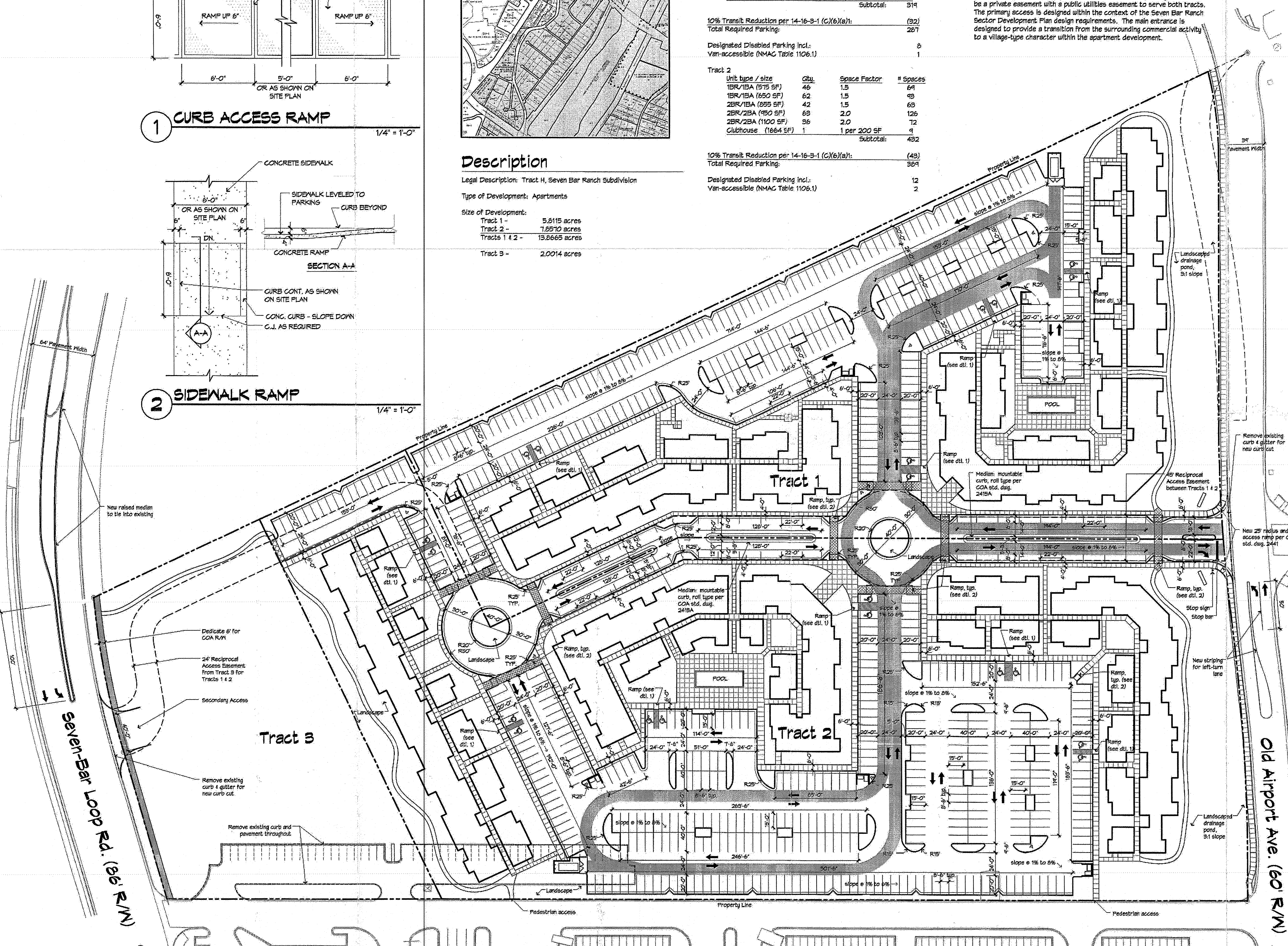
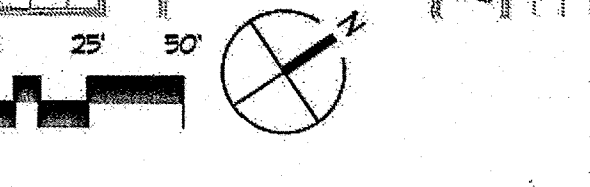
**1 CURB ACCESS RAMP**  
1/4" = 1'-0"



**2 SIDEWALK RAMP**  
1/4" = 1'-0"

**Traffic Circulation Plan**

1" = 50'-0"



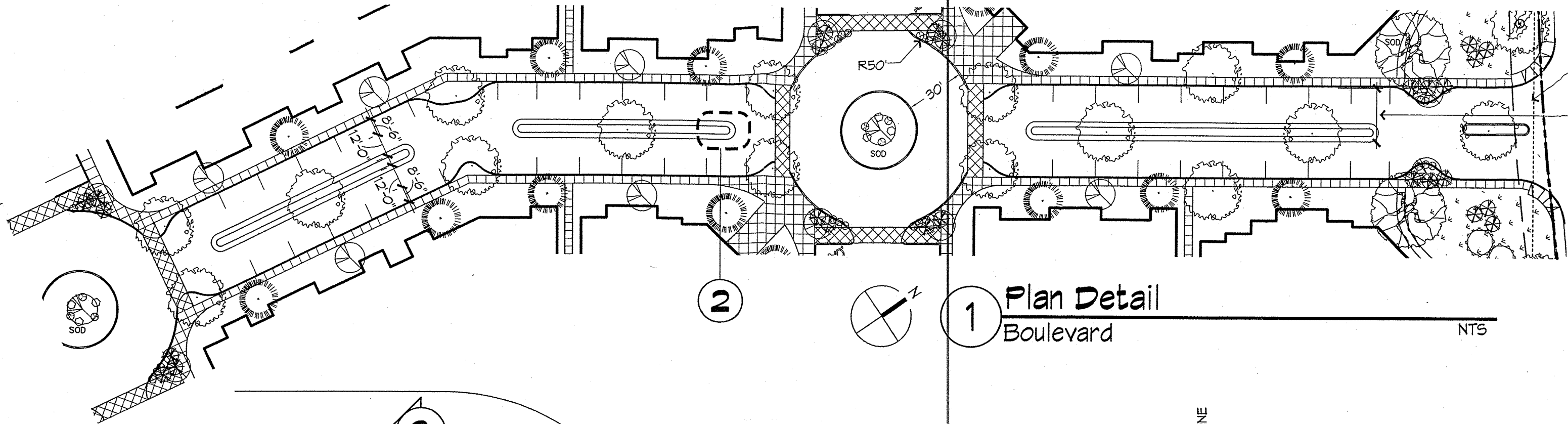
**Legend**

- R25' R15' Landscaped Parking Aisle Island w/ 25' radius, typ. - conc. header curb COA std. dug. 2415B
- R2' R15' Landscaped Parking Aisle Island w/ 15' radii, typ. - conc. header curb COA std. dug. 2415B
- 17'-0" Landscaped Parking Aisle Planter for Compact Spaces, typ. - conc. header curb COA std. dug. 2415B
- 13'-0" Parking Aisle Perimeter Planter, typ.
- 8'-6" / 5'-0" Accessible Parking Space for Car; 5'-0" Access Aisle; White Int'l HC Symbol; 4" solid spaced striping spaced at 45"; sloped 1% to 2%
- 8'-6" / 8'-0" Accessible Parking Space for Van; 8'-0" Access Aisle; White Int'l HC Symbol; 4" solid spaced striping spaced at 45"; sloped 1% to 2%
- Refuse Container Enclosure (no truck access req.)
- Compactor (truck access req.)
- Proposed Sidewalk, typ.
- Stamped concrete paving, typ. Pattern to be selected by Owner
- Permeable Concrete Paving, Pedestrian T, all, typ.
- Path of Travel - Solid Waste Vehicle
- Property Boundary
- New Apartment Building, typ.
- Demo Existing
- New Standard Concrete Curb & Gutter per COA std. det. 2415A
- New Mountable Concrete Curb & Gutter per COA std. det. 2415A
- New Concrete Header Curb per COA std. det. 2415B
- Fire Lane - Paint curb red
- New Fire Hydrant
- Direction of Traffic Flow

**RECEIVED**  
MAY 14 2006  
HYDROLOGY SECTION

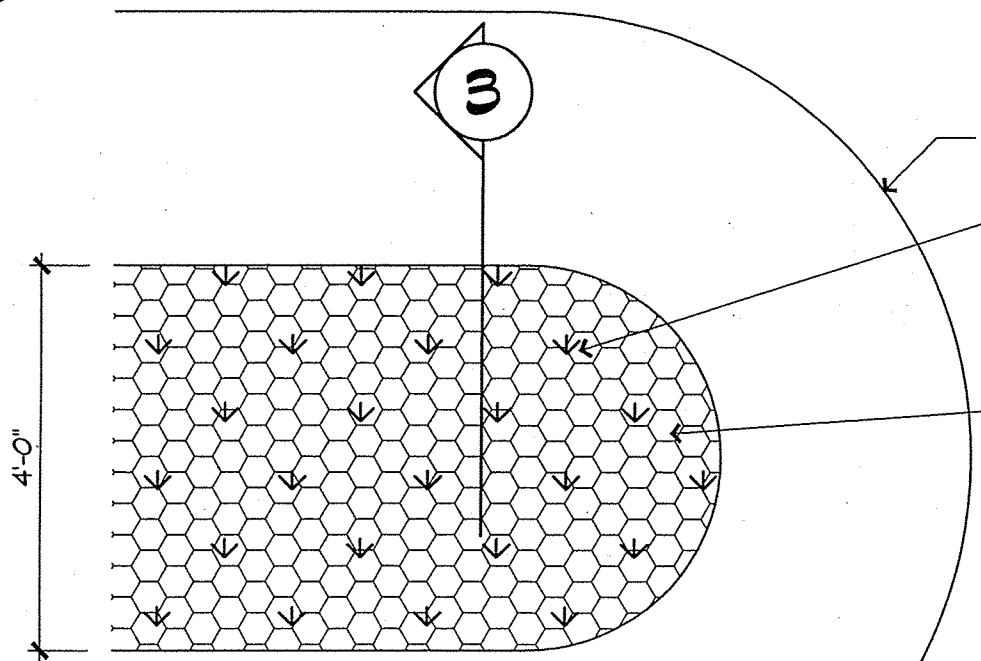
**TRAFFIC CIRCULATION LAYOUT  
APPROVED**  
Signed: *pgj* Date: 10/24/05





**1 Plan Detail**  
Boulevard

NTS



Mountable curb, roll type, per City of Albuquerque std. dwg. 2415A

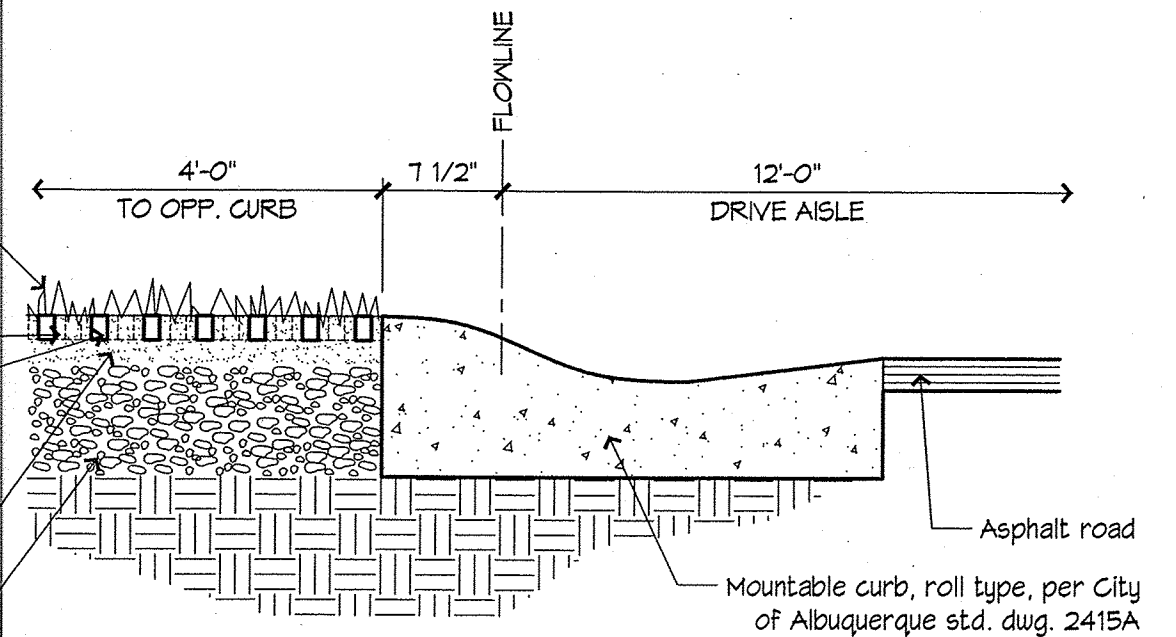
Sod to be laid on top, or grass or other low-growing vegetation to be seeded within paving product's cellular matrix

Soil fill in cells

NDS Tufftrack Grassroad Pavers, Model TT-24, or equivalent that meets or exceeds compressive strength of product above.

1" to 1-1/2" Planting base - grass root establishment area

Sub-base shall be a 6" to 8" class II road base, constructed to specification of regional soils engineering, fire authority or other applicable governmental or municipal codes



Asphalt road

Mountable curb, roll type, per City of Albuquerque std. dwg. 2415A

**3 Median Section**

AND PLANS CHECKING OFFICE

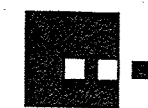
604-6011

APPROVED/DISAPPROVED

*H. S. S. 10-5-05*  
SIGNATURE & DATE

**2 Median Detail**

1/2" = 1'-0"



**Dekker/Perich/Sabatini**

6801 Jefferson NE  
Suite 100  
Albuquerque, NM 87109

architecture  
interiors  
planning  
engineering

505 761-9700  
fax 761-4222  
dps@dpsaba.com

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OCT 11 2005	
HYDROLOGY SECTION	

Boulevard Exhibit  
w/ Mountable Curb Median

Cottonwood Apartments  
GSL  
Old Airport Avenue  
Albuquerque, New Mexico

DRAWN BY	ms	SCALE	AS SHOWN
REVIEWED BY			
DATE ISSUED	10/05/05		
PROJECT NO.	05013		OF