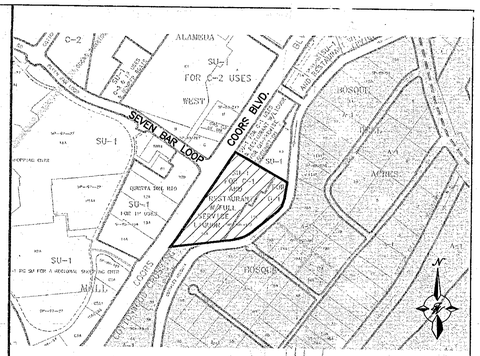
CONSTRUCTION PLANS
FOR
COTTONWOOD CROSSING PHASE II

PAVING, STORM DRAIN, & STRIPING IMPROVEMENTS

CITY OF ALBUQUERQUE
NEW MEXICO
MARCH 2004



VICINITY MAP ZONE ATLAS: B-14-Z

SCALE NONE

NOTICE TO CONTRACTORS

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #7).

2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.

3. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES 24-HOUR CONSTRUCTION.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATIONS DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO(2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.

6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.

7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE DESIGNERS EXPENSE.

8. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

9. ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO UTILITIES, INC. SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).

10. THE CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES (898-2661) FIVE(5) WORKING DAYS PRIOR TO BEGINNING THE CONSTRUCTION OF THE UTILITIES.

11. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- [x] ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- [x] BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- [x] TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE PROJECT ENGINEER.
- [x] SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- [ ] IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- [x] ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ Hugg, of Surv-Tek Inc., NMPS number 9750.

RAY BOHANNAN NEW MEXICO 8668 REGISTERED PROFESSIONAL ENGINEER
Registration & Seal & Signature
3/30/04

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26 7 2 9 0 . 8 1 1 0 5

DRB # 1002792

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

INDEX TO DRAWINGS

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
DATE 7/13/04

1/220097/22970TITLE.DWG/MP/02-12-2004

Elevations are in NGVD 29.

REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE

ENGINEERS STAMP & SIGNATURE

RONALD R. BOHANNAN NEW MEXICO 8668 REGISTERED PROFESSIONAL ENGINEER 3/30/04

APPROVALS	ENGINEER	DATE
DRC Chairman		7-23-04
Transportation		3/29/04
Water/Wastewater		3/29/04
Hydrology		3/29/04
C.I.P		
Constr. Coord.		7-23-04
AMAFCA		4-8-04

APPROVED FOR CONSTRUCTION

4-30-04
City Engineer Date

CITY PROJECT NO. 729081

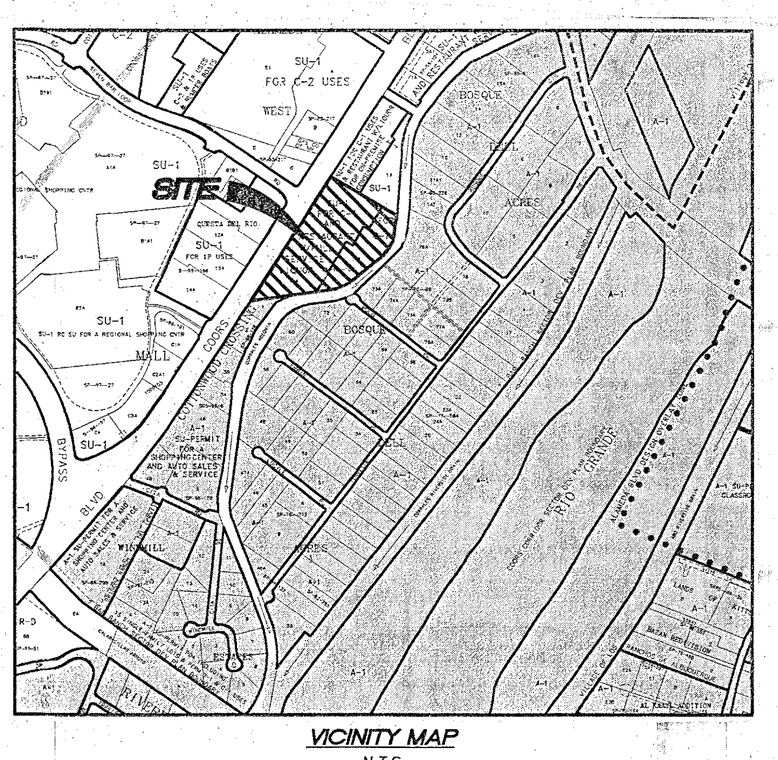
SHEET 1 OF 9

LOTS 1, 2, 3, 4, 5 AND 6
COTTONWOOD CROSSING, PHASE II

(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003



VICINITY MAP

N.T.S.

SUBDIVISION DATA

1. City of Albuquerque Zone Atlas Page: B-14-Z
2. U.C.L.S. Log Number 2003461539
3. Total number of existing tracts: 2
4. Total number of new lots created: 6
5. Gross subdivision acreage: 9.7690 acres
6. Total mileage of full width streets created: 0.00 miles

NOTE

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No. 96115257. See Sheet 4 of 4 for Additional Restrictions.

NOTE

These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

DISCLOSURE STATEMENT

The purpose of this plat is to create 6 new lots. Grant City of Albuquerque sidewalk, public water line, public sanitary sewer line, public storm sewer, private cross access, public overhead and dry utility easements. Vacate exisitng easements as shown hereon.

SHEET INDEX

TREASURER'S CERTIFICATION

This is to certify that taxes are current and paid on the following property:

UPC# 101406519031820301 TRACT 14-A, BLACK RANCH
UPC# 101406522431320303 TRACT 14-B, BLACK RANCH

Bernalillo County Treasurer's Office — Date 2/17/04

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of :

A. PNM Electric Services for installation, maintenance and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.

B. PNM Gas Services for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas service.

C. QWest Corporation for installation maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to, ground pedestals and closures.

D. Comcast Digital Cable for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

E. New Mexico Utilities, Inc. for the installation, maintenance, and service of such lines across the easement and related equipment and facilities reasonably necessary to provide Sanitary Sewer and Water Service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trimfiled and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears; as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and PNM Gas Services did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PROJECT NUMBER: 1002792

Application Number: 04-00184

PLAT APPROVAL

Utility Approvals:

PNM Electric Services	12-22-03 Date
PNM Gas Services	12-22-03 Date
QWest Corporation	12-19-03 Date
Comcast	2-10-04 Date
New Mexico Utilities	2-10-04 Date

City Approvals:

City Surveyor	12-8-03 Date
Real Property Division	N/A Date
Environmental Health Department	N/A Date
Traffic Engineering, Transportation Division	2-18-04 Date
Utilities Development	2.18.04 Date
Parks and Recreation Department	2/18/04 Date
AMAFCA	2-13-04 Date
City Engineer	2/18/04 Date
DRB Chairperson, Planning Department	2/18/04 Date

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
November 26, 2003

PROFESSIONAL SURVEYOR STATE OF NEW MEXICO NO. 9750 RUSS P. HUGG

SURVTEK, INC.
Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

LOTS 1, 2, 3, 4, 5 AND 6
COTTONWOOD CROSSING, PHASE II

(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003

GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone — NAD 1927) originated at the Albuquerque Control Survey Monument "NM448-N12".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. Field surveys were performed during the month of April, 2003.
8. Documents used in the preparation of this survey are as follows:

A. Plat entitled "TRACTS 14-A AND 14-B, BLACK RANCH, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1998", filed June 3, 1998, in Volume 98C, Folio 157, records of Bernalillo County, New Mexico.

B. Survey entitled "BOUNDARY SURVEY PLAT, TRACTS 13 AND 14, BLACK RANCH, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, JUNE 1997", filed June 17, 1997, in Volume 97S, Folio 69, records of Bernalillo County, New Mexico.

C. Plat entitled "LOTS 1 THRU 5, COTTONWOOD CROSSING, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY,1998", filed July 9, 1998, in Volume 98C, Folio 196, records of Bernalillo County, New Mexico.

D. Title Report prepared for this property by Lawyers Title Insurance Company, Commitment for Title Insurance No. 972091SD, dated July 25, 1997.

9. All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument — Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.

Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

A.M.A.F.C.A. EASEMENTS RELEASED BY SEPARATE DOCUMENT

The following easements were released by the document entitled "QUITCLAIM DEED / RELEASE OF EASEMENT" filed February 12, 2004, Book A72, Page 9151, records of Bernalillo County, New Mexico.

(D) 30' Easement for Floodway & Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2669, vacated by 03DRB-01780VPE.

(E) Temporary Road Easement to A.M.A.F.C.A. filed May 12, 1994, Book BCR 94-15, page 4448, vacated by 03DRB-01780VPE.

(O) Albuquerque Metropolitan Arroyo Flood Control Authority Easement filed August 10, 1983, Misc. 38A, pages 64-67, vacated by 03DRB-01780VPE.

LEGAL DESCRIPTION

Tracts numbered Fourteen-A (14-A) and Fourteen-B (14-B), Black Ranch, within the Town of Alameda Grant, Projected Section 8, Township 11 North, Range 3 East, N.M.P.M., Bernalillo County, City of Albuquerque, New Mexico, as the same is shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 3, 1998, in Plat Book 98C, Folio 157.

Said parcel contains 9.7690 acres more or less.

DEDICATION

SURVEYED and REPLATTED and now comprising LOTS 1, 2, 3, 4, 5 AND 6, COTTONWOOD CROSSING, PHASE II, (BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH) WITHIN THE TOWN OF ALAMEDA GRANT, PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the easements as shown hereon and do hereby dedicate Lot 3 in fee simple with warranty covenants to the Albuquerque Metropolitan Arroyo Flood Control Authority. Said owner(s) and proprietor(s) do hereby grant the public utility easements to the use of the public forever, as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER: TRACTS 14-A and 14-B, BLACK RANCH
The Albert J. Black and Mary Jane Black Revocable Trust

John F. Black, Trustee

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on this 8th day of December, 2003, by John F. Black.

Notary Public

My Commission expires: Nov. 29, 2007

OFFICIAL SEAL
Sharon L. Hollins
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 11/29/07

EASEMENT TABLE

(A) 20' Sanitary Sewer Easement to New Mexico Utilities, Inc. filed September 21, 1981, Book Misc. 880, page 1, to remain.

(B) 10' Overhead Utility Easement to PNM & Mountain States Telephone & Telegraph filed Sept. 19, 1989, Book Misc. 790-A, page 499, vacated by 03DRB-01780VPE.

(C) Easement for Underground Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2661, to remain.

(D) 30' Easement for Floodway & Storm Drainage Works to A.M.A.F.C.A. filed Dec. 18, 1992, Book BCR 92-30, page 2669, vacated by 03DRB-01780VPE.

(E) Temporary Road Easement to A.M.A.F.C.A. filed May 12, 1994, Book BCR 94-15, page 4448, vacated by 03DRB-01780VPE.

(F) Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6668, to remain.

(G) 10' Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6671, vacated by 03DRB-01780VPE.

(H) Reciprocal Easement filed Oct. 21, 1996, in Book BCR 96-28, page 2764, To Remain

(I) 10' Easement to New Mexico Utilities, filed April 24, 1998, in Book BCR 98-08, Page 8481, to remain.

(J) Easement to Mountain States Telephone & Telegraph, filed January 16, 1930, in Book 112, page 68. (Blanket Easement), to remain.

(K) Easement to Mountain States Telephone & Telegraph, filed March 28, 1930, in Book 112, page 196. (Blanket Easement), to remain.

(L) 30' Access Easement for the use of Tract 14-B per plat filed June 3, 1998, Vol. 98C, Folio 157. (Hatched area), To Remain

(M) 20' Easement to New Mexico Utilities, Inc., filed September 21, 1981, in Book Misc. 880, page 4, confined to adjoining property — to remain.

(N) 10' Easement to New Mexico Utilities, Inc., filed October 18, 1996, in Book BCR 96-28, page 1809, confined to adjoining property — to remain.

(O) Albuquerque Metropolitan Arroyo Flood Control Authority Easement filed August 10, 1983, Misc. 38A, pages 64-67, vacated by 03DRB-01780VPE.

PROFESSIONAL SURVEYOR STATE OF NEW MEXICO NO. 9750 RUSS P. HUGG

FOR REFERENCE ONLY

SURVTEK, INC.
Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

LOTS 1, 2, 3, 4, 5 AND 6 COTTONWOOD CROSSING, PHASE II

(BEING A REPLAT OF TRACTS 14-A AND 14-B BLACK RANCH)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
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NEW MEXICO PRINCIPAL MERIDIAN
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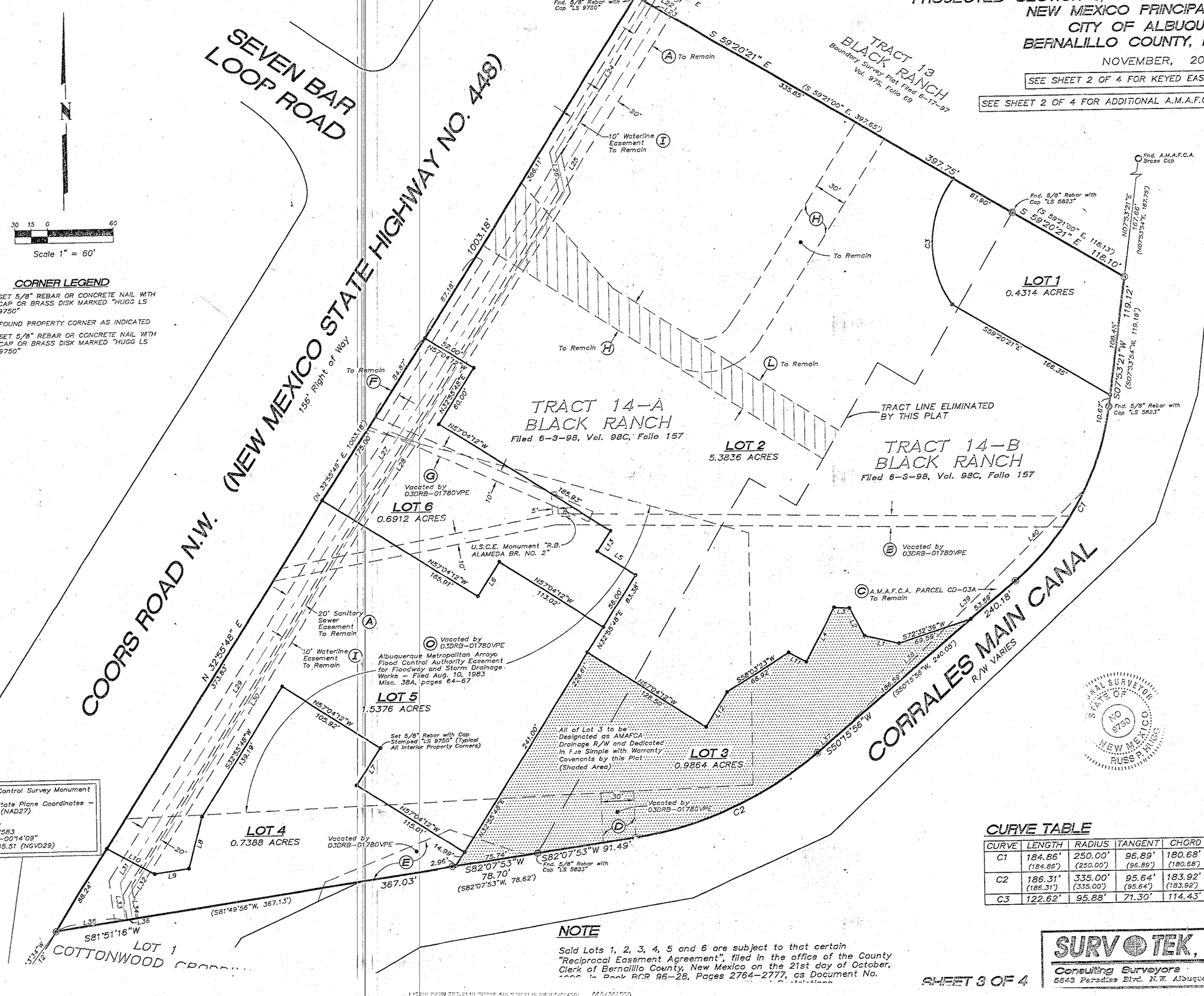
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003

SEE SHEET 2 OF 4 FOR KEYED EASEMENT INFORMATION

SEE SHEET 2 OF 4 FOR ADDITIONAL A.M.A.F.C.A. EASEMENT INFORMATION

BOUNDARY INFORMATION AND EXISTING EASEMENTS



CORNER LEGEND

- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"

LINE TABLE

LINE	LENGTH	BEARING
L1	32.70'	N76°36'48"W
L2	28.72'	N27°52'55"W
L3	14.01'	N86°28'56"W
L4	55.93'	S28°23'32"W
L5	41.00'	N57°14'40"W
L6	37.00'	S32°55'48"W
L7	40.00'	S32°55'48"W
L8	48.64'	S15°11'06"W
L9	31.45'	S81°51'16"W
L10	49.25'	N61°19'09"W
L11	18.19'	N61°36'28"W
L12	37.36'	S32°55'48"W
L13	22.12'	S32°55'48"W
L22	12.16'	S59°20'21"E
L23	15.01'	S59°20'21"E
L24	161.06'	N32°38'46"E
L25	367.18'	S32°56'02"W
L26	35.96'	N12°21'14"W
L27	175.00'	S32°56'02"W
L28	175.00'	N32°50'11"E
L29	371.82'	S32°56'02"W
L30	370.88'	N32°50'11"E
L31	21.97'	S32°56'02"W
L32	28.57'	N32°50'11"E
L33	33.68'	S07°01'14"E
L34	21.10'	N08°09'48"W
L35	64.62'	S81°51'16"E
L36	6.49'	S81°51'16"E
L37	26.14'	N50°13'54"E
L38	138.63'	N46°31'30"E
L39	75.97'	N46°31'30"E
L40	102.38'	N45°54'06"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	184.86' (184.86')	250.00' (250.00')	96.89' (96.89')	180.68' (180.68')	S29°04'56"W (S29°05'55"W)	42°22'02" (42°22'02")
C2	186.31' (186.31')	335.00' (335.00')	95.64' (95.64')	183.92' (183.92')	S66°11'50"W (S66°11'55"W)	31°51'57" (31°51'57")
C3	122.62'	95.88'	71.30'	114.43'	S01°34'32"W	73°16'31"

NOTE

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No.

SHEET 3 OF 4

SURVOTEK, INC.
Consulting Surveyors
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Phone: 505-897-3368
Fax: 505-897-3377

LOTS 1, 2, 3, 4, 5 AND 6 COTTONWOOD CROSSING, PHASE II

(BEING A REPLAT OF TRACTS 14-A AND 14-B, BLACK RANCH)

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BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2003

SEE SHEET 2 OF 4 FOR ADDITIONAL A.M.A.F.C.A. EASEMENT INFORMATION

NEW EASEMENTS GRANTED BY THIS PLAT

KEYED EASEMENTS

(A) New Water Line Easement granted to New Mexico Utilities, Inc. by this plat. Easement to be 10' wide unless otherwise indicated.

(B) New Private Access Easement granted to AMAFCA and MRGCD by this plat. Maintenance to be the responsibility of AMAFCA.

NOTE

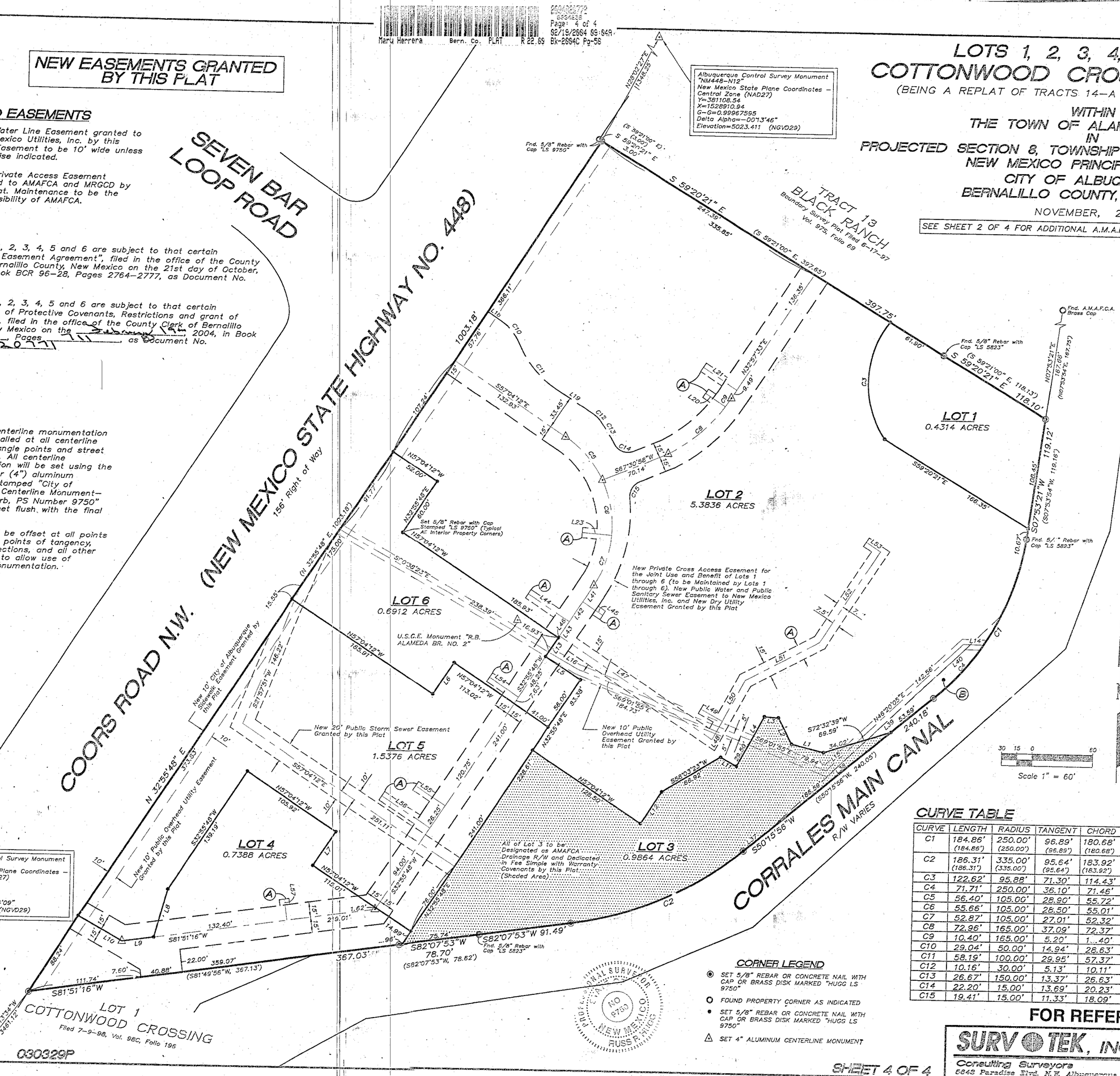
Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Reciprocal Easement Agreement", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 21st day of October, 1996, in Book BCR 96-28, Pages 2764-2777, as Document No. 96115257.

Said Lots 1, 2, 3, 4, 5 and 6 are subject to that certain "Declaration of Protective Covenants, Restrictions and grant of Easements", filed in the office of the County Clerk of Bernalillo County, New Mexico on the [illegible], 2004, in Book [illegible], Pages [illegible], as Document No. 2004020771

NOTE

All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.

Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.



LINE TABLE

LINE	LENGTH	BEARING
L1	32.70'	N76°36'48"W
L2	28.72'	N27°52'55"W
L3	14.01'	N86°28'56"W
L4	55.93'	S28°23'32"W
L5	41.00'	N57°14'40"W
L6	37.00'	S32°55'48"W
L7	40.00'	S32°55'48"W
L8	48.64'	S15°11'06"W
L9	31.45'	S81°51'16"W
L11	18.19'	N61°36'28"W
L12	37.36'	S32°55'48"W
L13	22.12'	S32°55'48"W
L14	19.89'	S88°44'18"E
L15	40.91'	N46°20'05"E
L16	33.06'	S60°38'23"E
L18	15.89'	N57°04'12"W
L19	43.88'	N57°17'22"W
L20	23.67'	N57°02'27"W
L21	40.11'	N57°02'27"W
L22	12.16'	S59°38'43"E
L23	29.39'	N85°55'21"W
L24	161.06'	N32°38'46"E
L25	367.18'	S32°56'02"W
L26	35.96'	N12°21'14"W
L27	175.00'	S32°56'02"W
L28	175.00'	N32°50'11"E
L29	371.82'	S32°56'02"W
L30	370.88'	N32°50'11"E
L31	21.97'	S32°56'02"W
L32	28.57'	N32°50'11"E
L33	33.86'	S07°01'14"E
L34	21.10'	N08°09'48"W
L35	64.62'	N82°00'42"E
L36	6.49'	N80°16'28"E
L37	26.14'	N50°13'54"E
L38	138.63'	N46°31'30"E
L39	75.97'	N46°31'30"E
L40	102.38'	N45°54'06"E
L41	19.69'	S32°55'48"W
L42	23.55'	S32°55'48"W
L43	16.87'	S32°55'48"W
L44	48.94'	N57°04'12"W
L45	23.88'	S57°04'12"E
L46	2.13'	S32°55'48"W
L47	181.30'	S57°04'12"E
L48	20.59'	S28°23'32"W
L49	24.25'	S61°36'28"E
L50	46.47'	S28°23'32"W
L51	82.43'	S62°07'05"W
L52	107.33'	S32°55'48"W
L53	17.00'	S57°04'12"E
L54	34.87'	N57°04'12"W
L55	34.87'	N57°04'12"W
L56	56.91'	N57°04'12"W
L57	20.80'	N09°04'27"W

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	184.86' (184.86')	250.00' (250.00')	96.89' (96.89')	180.68' (180.68')	S29°04'56"W (S29°05'55"W)	42°22'02" (42°22'02")
C2	186.31' (186.31')	335.00' (335.00')	95.64' (95.64')	183.92' (183.92')	S66°11'55"W (S66°11'55"W)	31°51'57" (31°51'57")
C3	122.62'	95.88'	71.30'	114.43'	S01°34'32"W	73°16'31"
C4	71.71'	250.00'	36.10'	71.46'	N42°02'57"E	16°26'01"
C5	56.40'	105.00'	28.90'	55.72'	N41°41'00"W	30°46'24"
C6	55.66'	105.00'	28.50'	55.01'	N11°06'34"W	30°22'27"
C7	52.87'	105.00'	27.01'	52.32'	N18°30'14"E	28°51'09"
C8	72.96'	165.00'	37.09'	72.37'	N49°14'20"E	25°20'10"
C9	10.40'	165.00'	5.20'	10.40'	N34°45'54"E	3°36'42"
C10	29.04'	50.00'	14.94'	28.63'	N40°35'06"W	33°16'2"
C11	58.19'	100.00'	29.95'	57.37'	S40°37'09"E	33°20'27"
C12	10.16'	30.00'	5.13'	10.11'	N47°35'18"W	19°24'09"
C13	26.67'	150.00'	13.37'	26.63'	N32°47'3C"W	10°11'13"
C14	22.20'	15.00'	13.69'	20.23'	S70°05'40"E	84°46'20"
C15	19.41'	15.00'	11.33'	18.09'	S30°25'05"W	74°09'05"

FOR REFERENCE ONLY

CORNER LEGEND

- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- FOUND PROPERTY CORNER AS INDICATED
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
- SET 4" ALUMINUM CENTERLINE MONUMENT

SHEET 4 OF 4

SURVOTEK, INC.
Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3368
Fax: 505-897-3377

LEGEND

- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER INLET
- EX. 24" RCP — EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED 12" LANDSCAPE DRAIN
- PROPOSED DOUBLE "C" WATER QUALITY INLET
- 24" RCP — PROPOSED STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING SIDEWALK
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- 5011 — EXISTING CONTOUR
- 5010 — EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- × 5048.29 — EXISTING SPOT ELEVATION
- × 5048.25 — PROPOSED SPOT ELEVATION

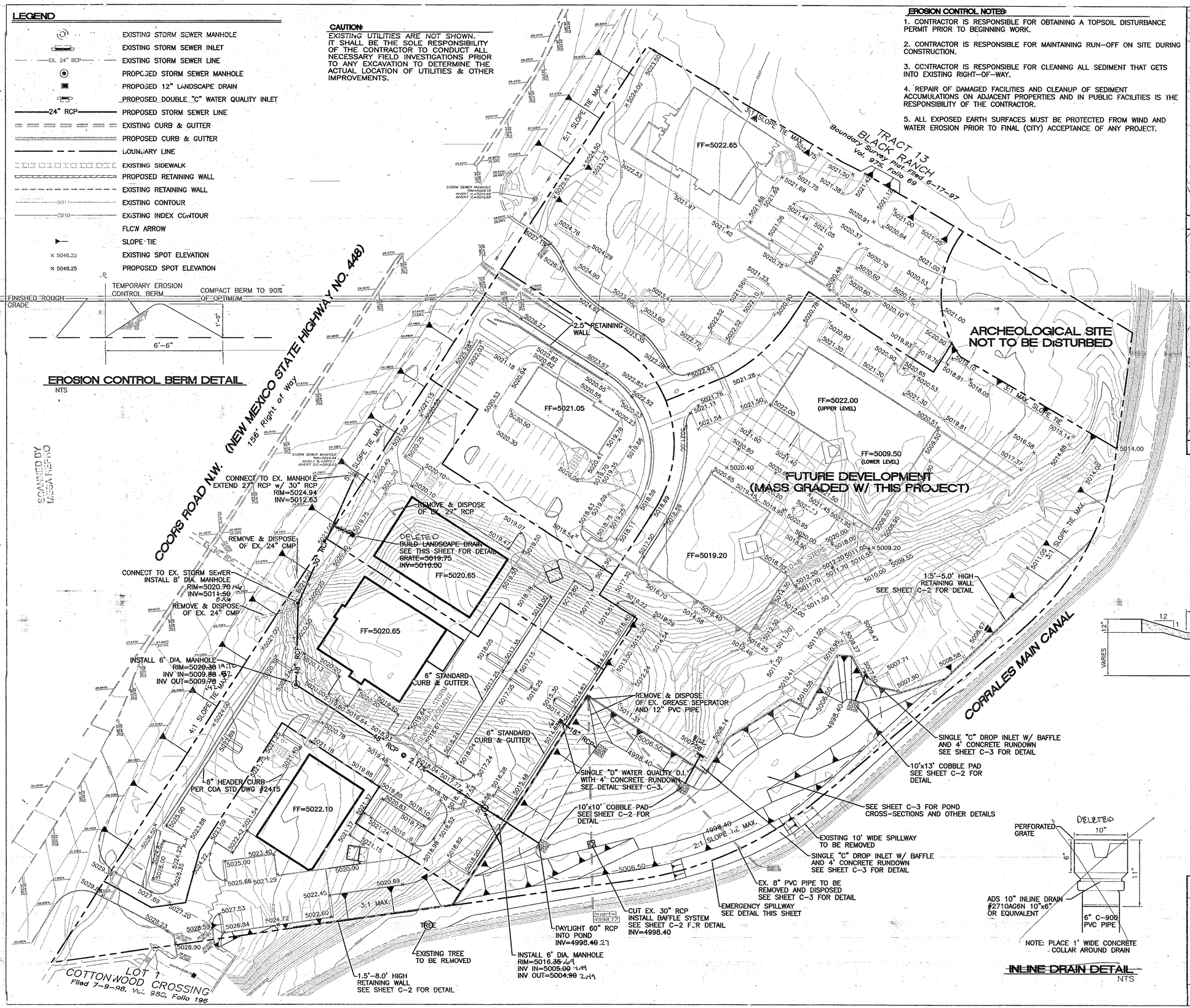
EROSION CONTROL BERM DETAIL

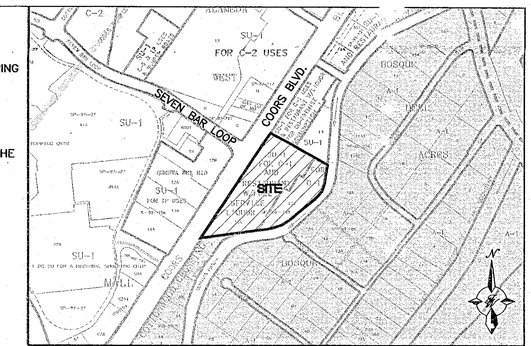
NTS

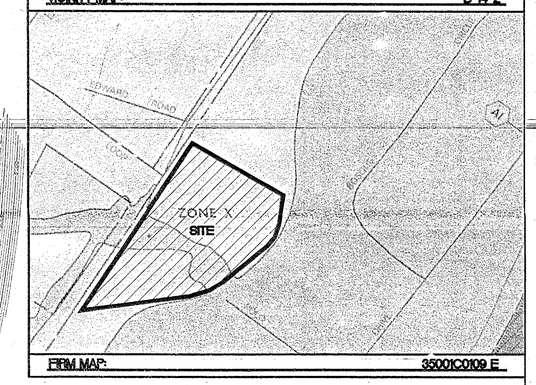
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

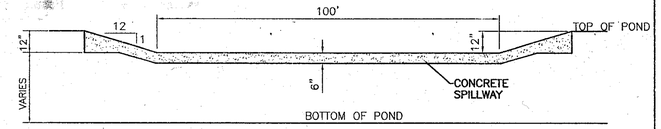
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.







NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.



NOTE: CONCRETE TO EXTEND TO CHANNEL LINING AND TIE INTO CANAL SLOPE PAVING

EMERGENCY SPILLWAY DETAIL

NTS

NOTE: PLACE 1' WIDE CONCRETE COLLAR AROUND DRAIN

~~INLINE DRAIN DETAIL~~

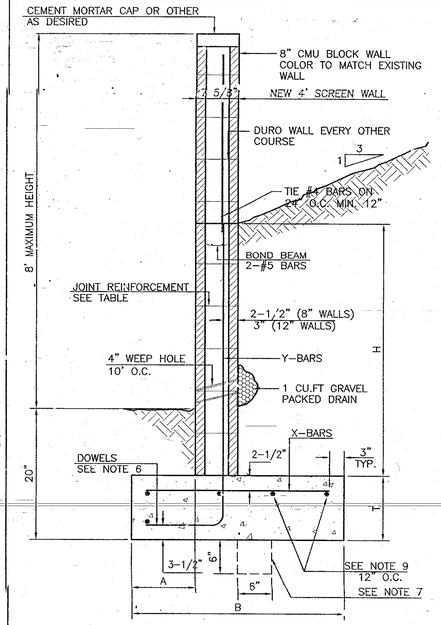
NTS

GRAPHIC SCALE
40 20 0 20 40

SCALE: 1"=40'

FOR REFERENCE ONLY

ENGINEER'S SEAL	COTTONWOOD CROSSING PHASE 2	DRAWN BY JDN
		DATE 10-20-03
	GRADING AND DRAINAGE PLAN	2297GRB-8-6-03
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # C-1
RONALD R. BOHANNAN P.E. #7868	729081	JOB # 220097



RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

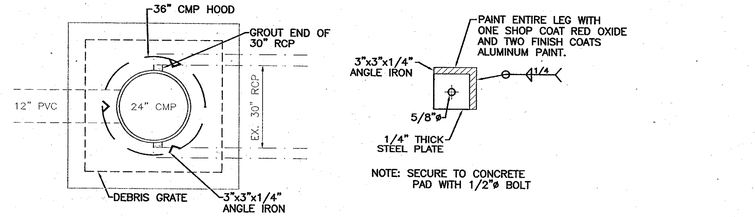
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

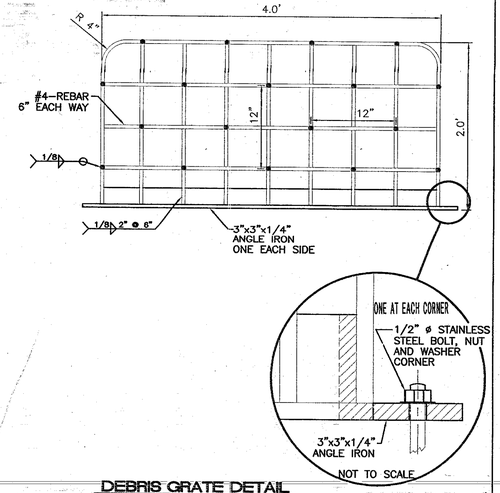
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	6'-.."	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" C.C.

GENERAL NOTES:

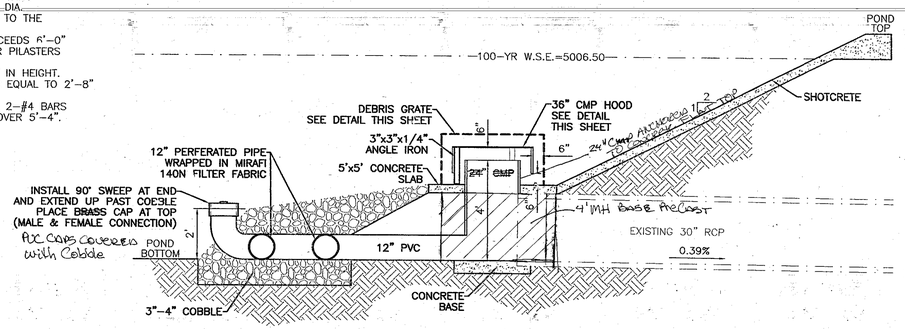
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. M "MUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. #3 BARS TO BE USED ON WALLS LESS THAN 2'-8" IN HEIGHT. #4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-8" X BARS TO BE USED ON WALLS EXCEEDING 2'-8"
10. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



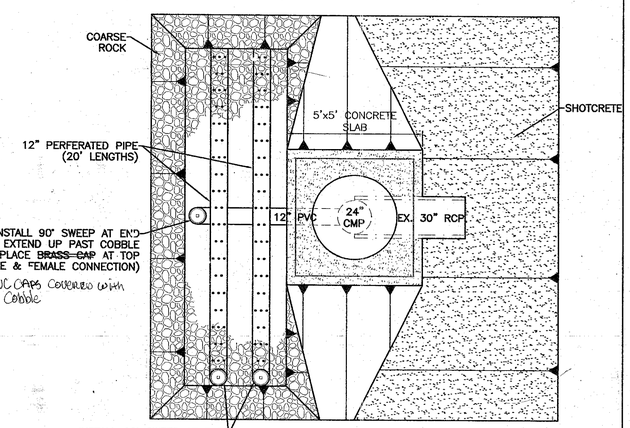
36" CMP HOOD DETAILS
NTS



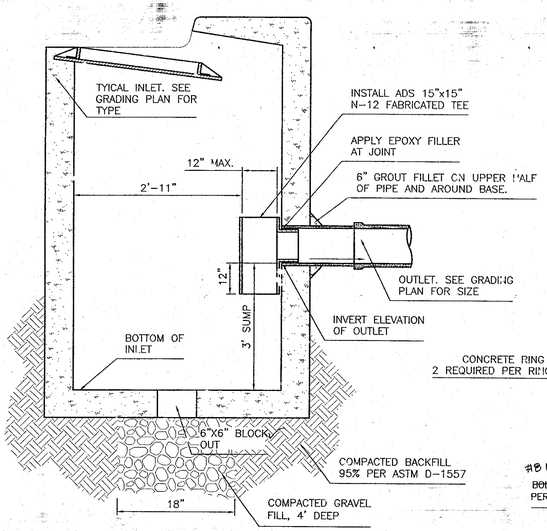
DEBRIS GRATE DETAIL
NTS



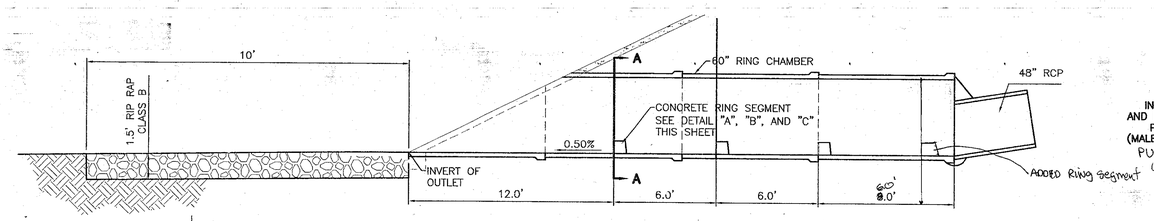
BAFFLE DETAIL
SCALE: NTS



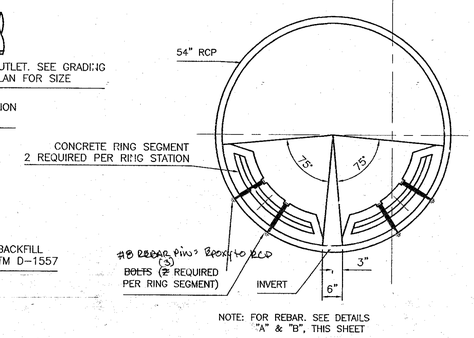
BAFFLE DETAIL PLAN VIEW
SCALE: NTS



TYPICAL WATER QUALITY INLET DETAIL
NTS

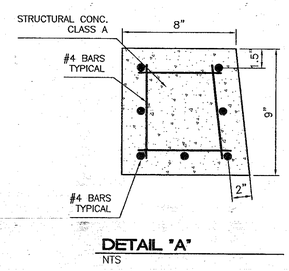


60" RING CHAMBER DETAIL
NTS

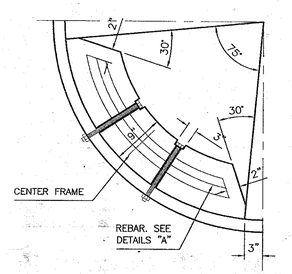


NOTE: FOR REBAR. SEE DETAILS "A" & "B", THIS SHEET

SECTION A-A RING SEGMENT
NTS



DETAIL "A"
NTS



DETAIL "B"
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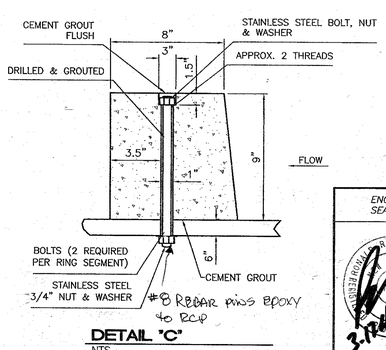


DETAIL "C"
NTS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by

Russ Hugg, of Surv-Tek Inc., NMPS number 9750

Engineer's Seal & Signature

APPROVED APR 2 3 2004 DESIGN REVIEW COMMITTEE

APPROVED APR 30 2004 CITY ENGINEER

ENGINEER'S SEAL	COTTONWOOD CROSSING PHASE 2	DRAWN BY JDN
		DATE 02-26-04
	DETAIL SHEET	2297GRB-11-4-03
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87115 (505)858-3100	SHEET # C-2
RONALD R. BOHANNAN P.E. #7868	729081	JOB # 220097

DRAWING NUMBER 5 of 9

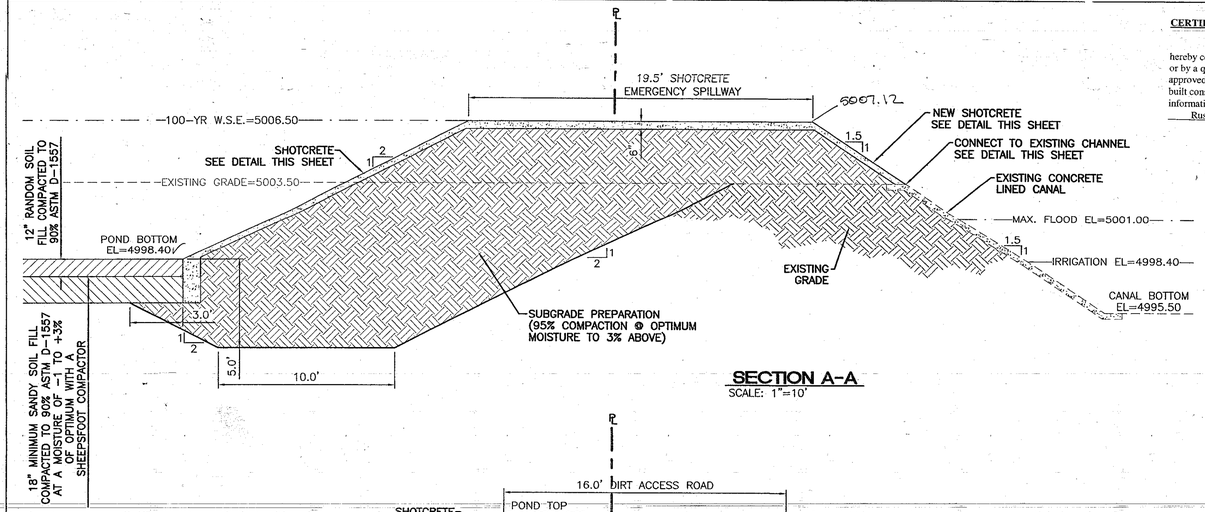
DRAWING NUMBER Cottonwood Crossing Phase II

DRAWING NUMBER

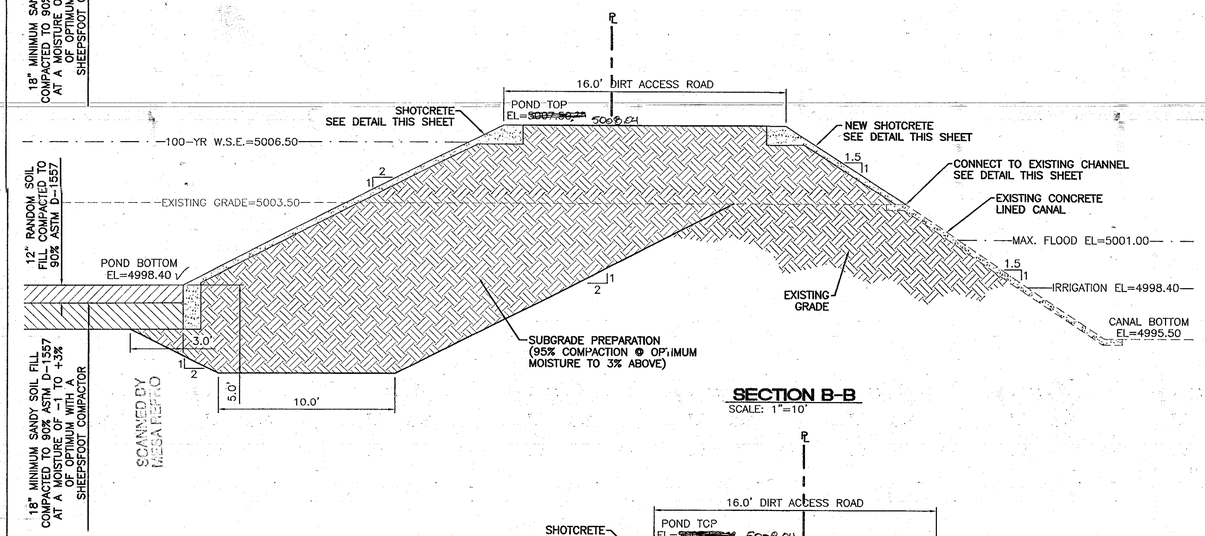
DRAWING NUMBER

SAFCO PRODUCTS • NEW HOPE, MINNESOTA

SCANNED BY MESA REPRO



SECTION A-A
SCALE: 1"=10'



SECTION B-B
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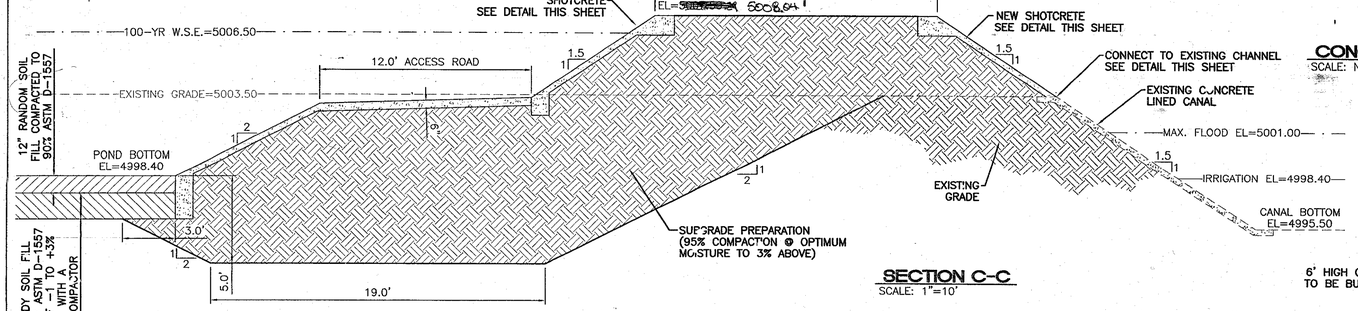
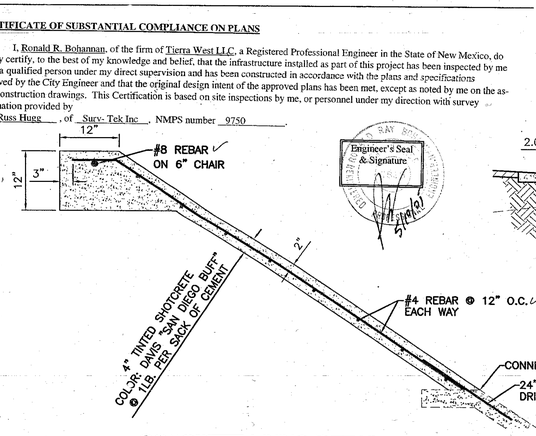
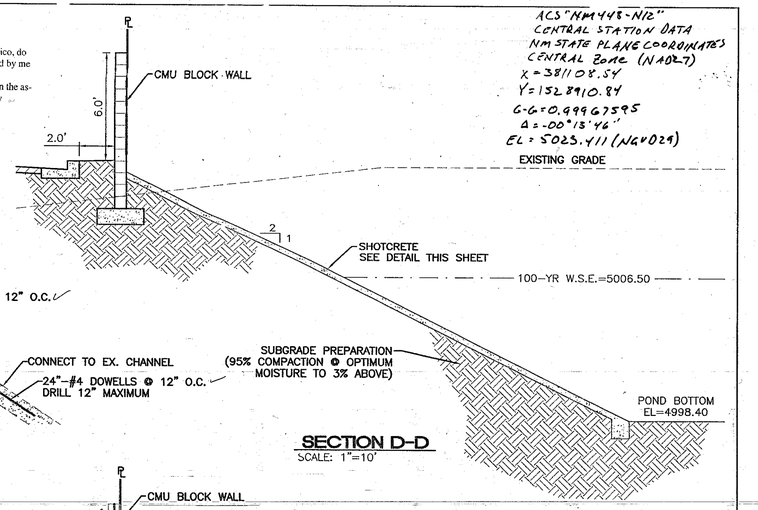


SECTION C-C
SCALE: 1"=10'



CONCRETE LINING DETAIL
SCALE: NTS



SECTION D-D
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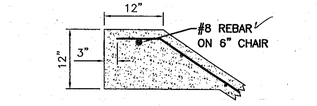
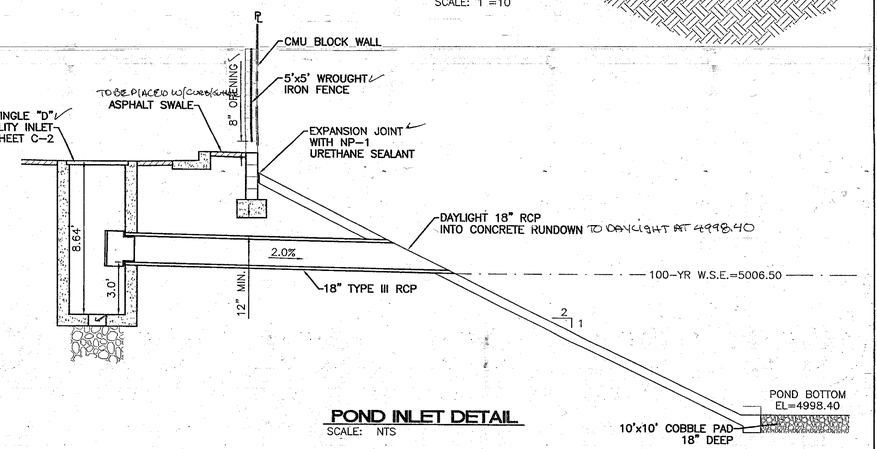
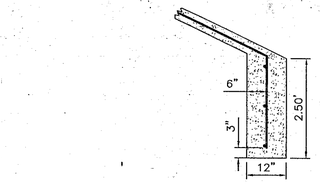


CONCRETE SILL DETAIL (TYP.)
SCALE: NTS



POND INLET DETAIL
SCALE: NTS



CONCRETE FOOTING DETAIL (TYP.)
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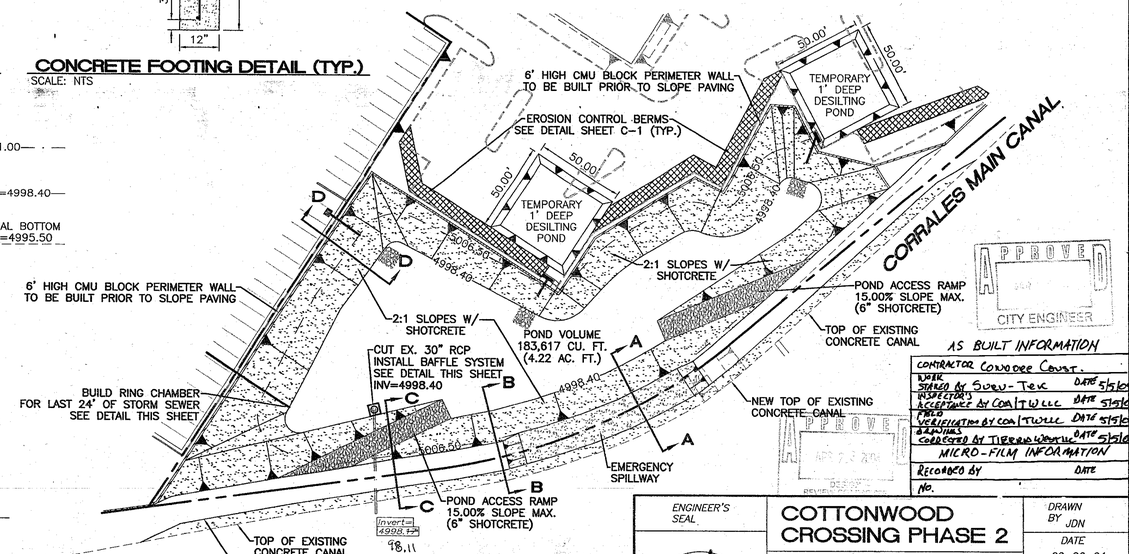
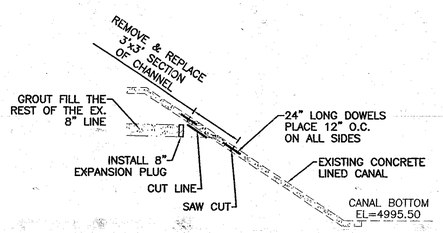
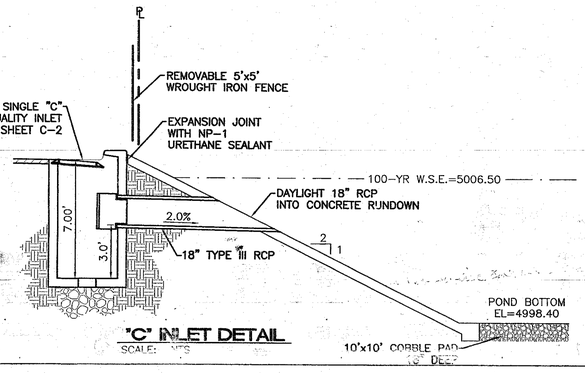


POND DETAIL
SCALE: 1"=40'



8" PVC PLUG DETAIL
SCALE: NTS



"C" INLET DETAIL
SCALE: NTS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ Hugg, of Surv-Tek Inc., NMPS number 9750.

Engineer's Seal & Signature

ACS "NM448-N12"
CENTRAL STATION DATA
NM STATE PLANE COORDINATES
CENTRAL ZONE (NAD27)
X=381108.54
Y=1528910.84
G-G=0.99967595
Δ=-00°13'46"
EL=5023.411 (NGVD29)

AS BUILT INFORMATION

CONTRACTOR CONDORE CONST.	
WORK STAKED BY SURV-TEK	DATE 5/5/05
INSPECTORS ACCEPTANCE BY CON/TWLLC	DATE 5/5/05
FIELD VERIFICATION BY CON/TWLLC	DATE 5/5/05
DRAWINGS CORRECTED BY TIERRA WEST LLC	DATE 5/5/05
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

APPROVED CITY ENGINEER

ENGINEER'S SEAL	COTTONWOOD CROSSING PHASE 2	DRAWN BY JDN
		DATE 02-26-04
	DETAIL SHEET	2297GRB-11-4-03
		SHEET # C-3
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 220097

729081

LEGEND

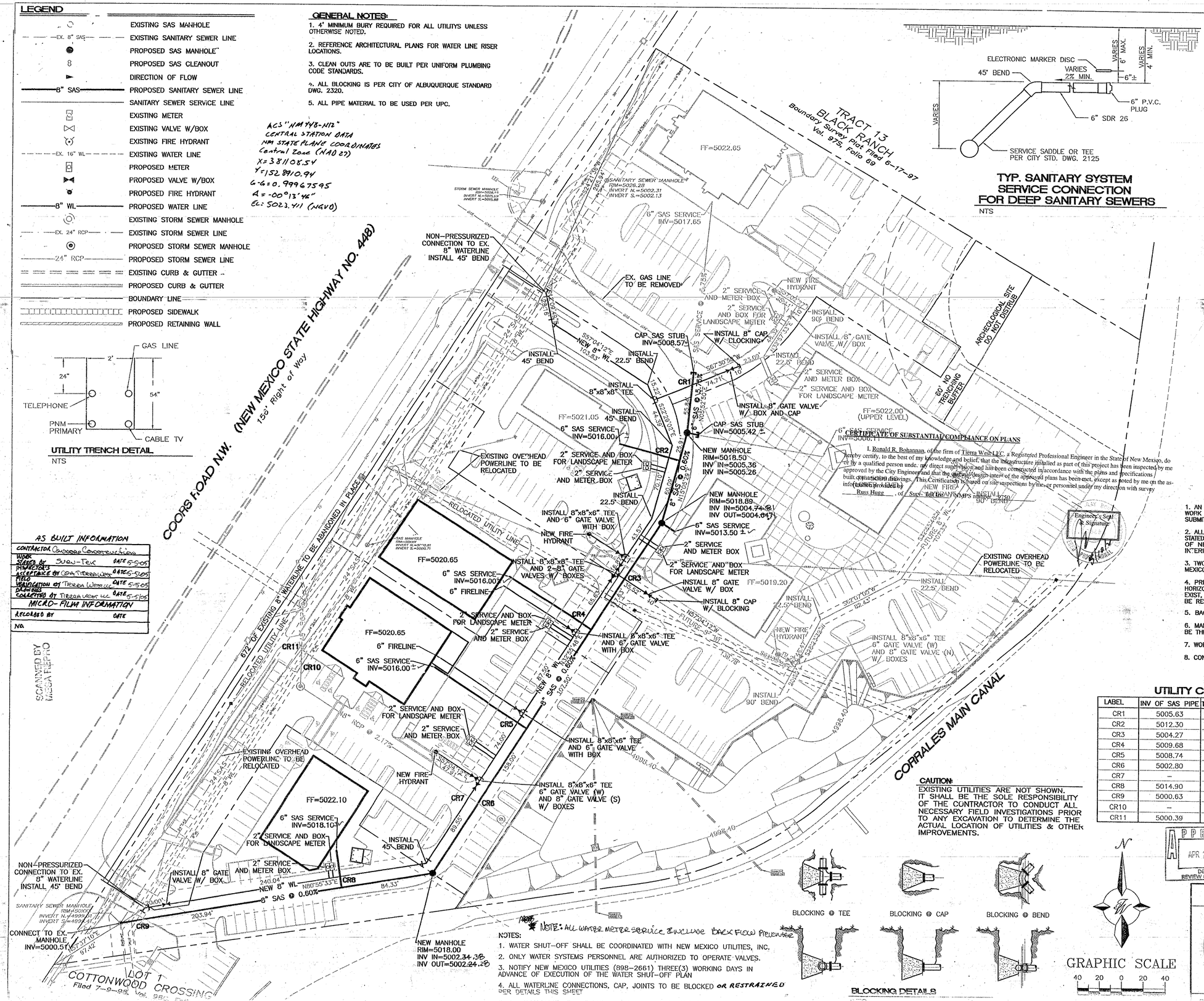
- EXISTING SAS MANHOLE
- EXISTING SANITARY SEWER LINE (EX. 8" SAS)
- PROPOSED SAS MANHOLE
- PROPOSED SAS CLEANOUT
- DIRECTION OF FLOW
- PROPOSED SANITARY SEWER LINE (8" SAS)
- SANITARY SEWER SERVICE LINE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE (EX. 16" WL)
- PROPOSED METER
- PROPOSED VALVE W/BOX
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE (8" WL)
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER LINE (EX. 24" RCP)
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM SEWER LINE (24" RCP)
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL

UTILITY TRENCH DETAIL
NTS

GENERAL NOTES:

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITYS UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

ACS "NM448-N12"
CENTRAL STATION DATA
NM STATE PLANE COORDINATES
Central Zone (NAD 27)
X=381108.54
Y=1528810.94
G-G=0.99967595
A=-00°13'46"
EL: 5023.411 (NGVD)



TYP. SANITARY SYSTEM SERVICE CONNECTION FOR DEEP SANITARY SEWERS
NTS

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

DEPTH OF BURY: 3.0' MINIMUM
SAFETY FACTOR: 1.5 TO 1
PIPE MATERIAL: PVC
SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
TEST PRESSURE: 150 PSI
TRENCH TYPE 3: PIPE BEDDED IN 4" MINIMUM LOOSE SOIL BACKFILL LIGHTLY CONSOLIDATED TO TOP OF PIPE

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

RESTRAINED JOINT LENGTHS FOR TEES*

SIZE	LENGTH ALONG RUN**					
	5'	4'	3'	2'	1'	0'
12x12x12	14	18	22	25	29	33
12x12x10	6	10	14	19	23	28
12x12x8	1	1	7	12	18	23
12x12x6	1	1	1	3	10	18
12x12x4	1	1	1	1	2	12
10x10x10	9	13	17	20	24	28
10x10x8	1	5	10	14	19	23
10x10x6	1	1	1	6	12	18
10x10x4	1	1	1	1	4	12
8x8x8	5	9	13	16	20	23
8x8x6	1	1	3	8	13	18
8x8x4	1	1	1	1	6	12
6x6x6	1	3	7	10	14	18
8x8x4	1	1	1	1	6	12

*RESTRAINTS ONLY PLACED ON THE BRANCH
**LENGTH ALONG RUN REFERS TO THE LENGTH OF PIPE ON EITHER SIDE OF THE TEE BEFORE THE NEXT JOINT.

RESTRAINED JOINT LENGTHS FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS (EACH SIDE)

SIZE	HORIZONTAL BENDS				VALVES
	90°	45°	22-1/2°	11-1/4°	DEAD END
12	15	6	3	1	34
10	13	5	3	1	29
8	11	4	2	1	24
6	8	3	2	1	18
4	6	2	1	N/A	13

RESTRAINED JOINT LENGTHS FOR VERTICAL OFFSETS/BENDS (EACH SIDE)

SIZE	HORIZONTAL BENDS			
	90°	45°	22-1/2°	11-1/4°
12 UPPER	DON'T USE	14	7	3
LOWER		4	2	1
10 UPPER	DON'T USE	12	6	3
LOWER		3	2	1
8 UPPER	DON'T USE	10	5	2
LOWER		3	1	1
6 UPPER	DON'T USE	8	4	2
LOWER		2	1	N/A
4 UPPER	DON'T USE	5	3	1
LOWER		1	1	N/A

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person unde. my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the overall design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction with survey information provided by Russ Hugg of Surv-Tek Drafting/NMPS number 12-12-03.

Engineer's Seal & Signature

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS OF NEW MEXICO UTILITIES INCORPORATED AND WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1999), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THOSE FACILITIES NOT WITHIN DEDICATED EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

UTILITY CROSSING TABLE

LABEL	INV OF SAS PIPE	TOP OF SAS PIPE	BOTTOM OF WL	TOP OF WL	INV OF SD PIPE	TOP OF SD PIPE
CR1	5005.63	5006.30	5017.73	5018.40	–	–
CR2	5012.30	5012.97	5015.76	5016.43	–	–
CR3	5004.27	5004.94	5012.53	5013.20	–	–
CR4	5009.68	5010.18	5012.17	5012.84	–	–
CR5	5008.74	5009.24	5011.79	5012.46	–	–
CR6	5002.80	5003.47	–	–	5005.56	5009.81
CR7	–	–	5013.06	5013.73	5005.77	5010.02
CR8	5014.90	5015.40	5016.92	5017.59	–	–
CR9	5000.63	5001.30	5025.33	5026.00	–	–
CR10	–	–	5016.33	5017.00	5010.28	5014.53
CR11	5000.39	5002.64	–	–	5010.71	5014.96

AS BUILT INFORMATION

CONTRACTOR	Cornerstone Construction
STAKED BY	Sun-Tex DATE 5-5-05
INSPECTOR'S ACCEPTANCE BY	Gene Tredaway DATE 5-5-05
FIELD VERIFICATION BY	Tierra West LLC DATE 5-5-05
DRAWINGS CORRECTED BY	Tierra West LLC DATE 5-5-05
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

SCANNED BY MICA FILMS

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED OR RESTRAINED PER DETAILS THIS SHEET
5. [illegible]

NOTE: ALL WATER METER SERVICE INCLUDE BACK FLOW PREVENTER

BLOCKING DETAILS
NTS

GRAPHIC SCALE
40 20 0 20 40

APPROVED APR 2 3 2004 DESIGN REVIEW COMMITTEE 2-4-04 Date

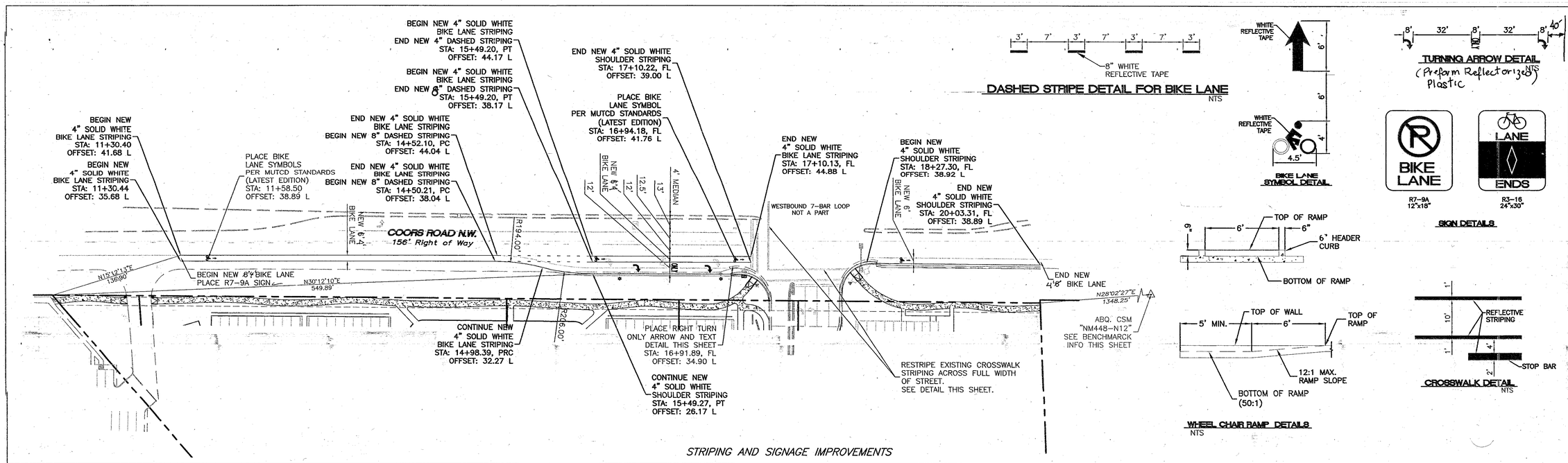
APPROVED APR CITY ENGINEER

ENGINEER'S SEAL — RONALD R. BOHANNAN

COTTONWOOD CROSSING PHASE 2
MASTER UTILITY PLAN

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY JDN
DATE 01-29-04
2297MUB-11-03-03
SHEET # C-4
JOB # 729081



STRIPING AND SIGNAGE IMPROVEMENTS

DASHED STRIPE DETAIL FOR BIKE LANE
NTS

BIKE LANE SYMBOL DETAIL

TURNING ARROW DETAIL
NTS
(Preform Reflectorized Plastic)

R7-9A 12"x18"
R3-18 24"x30"

SIGN DETAILS

WHEEL CHAIR RAMP DETAILS
NTS

CROSSWALK DETAIL
NTS

SPECIAL PROJECT TRAFFIC CONTROL NOTES

1. ONLY SINGLE LANE CLOSURES ON COORS BLVD. WILL BE ALLOWED FOR CONSTRUCTION OF THIS PROJECT.
2. ARTERIAL/COLLECTOR ROAD USAGE FEES OF $0.01 PER SQUARE FOOT OF BARRICADED AREA PER DAY WILL BE ASSESSED ON ALL LANE CLOSURES ON COORS BLVD.
3. CONTRACTOR MUST PERFORM AS MUCH WORK AS POSSIBLE BEHIND THE EXISTING CURB AND GUTTER PRIOR TO AFFECTING TRAFFIC ON COORS BLVD.
4. LANE CLOSURES ON COORS BLVD. WILL ONLY BE ALLOWED BETWEEN THE HOURS FROM 9:00 AM TO 3:00 PM DAILY. IF THE LANE CLOSURES MUST REMAIN IN PLACE DUE TO SAFETY CONCERNS (I.E. DROP OFFS), THEN THE CONTRACTOR MUST WORK CONTINUOUSLY, 24-HOURS PER DAY, UNTIL THE LANE IS RE-OPENED TO TRAFFIC.

NOTES

1. BASIS FOR STATIONING IS PROP. LINE / R.O.W.
2. REMOVE EXISTING ROAD STRIPING AND REPLACE
3. RELOCATION OF LIGHT POLES TO BE COORDINATED BY PNM.
4. BUILD CURB & GUTTER PER COA STD DWG #2415A.
5. STRIPING ERADICATION SHALL BE ACCOMPLISHED BY WATER BLASTING OR SURFACE PLANNING OF THE ROADWAY TO A MAXIMUM DEPTH OF .25 INCHES AND FOR A WIDTH EQUAL TO TWO TIMES THE WIDTH OF THE STRIPE OR MARKING TO BE REMOVED.

QUARTER POINTS

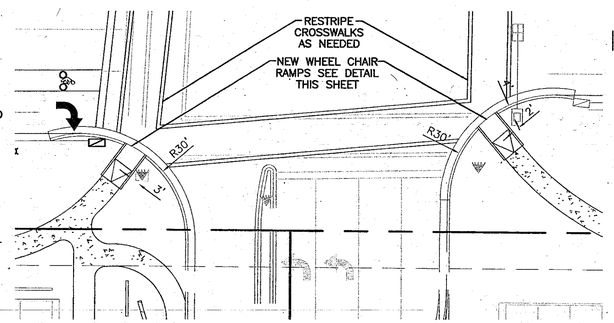
C1	FL	ELEV.	C2	FL	ELEV.
	1	5027.89		4	5028.24
	2	5027.93		5	5028.47
	3	5027.96		6	5028.69

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

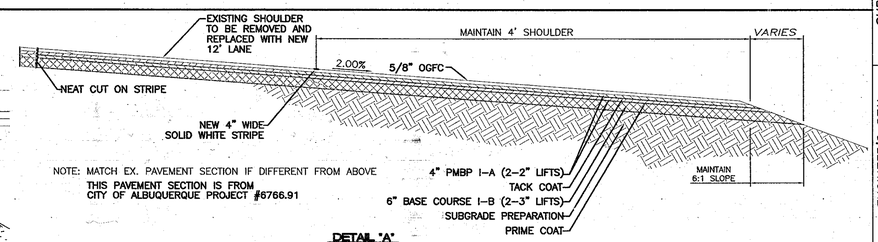
I, Ronald R. Bohannan, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Russ Hugg, of Surv-Tek Inc, NMPS number 9750.

Engineer's Seal & Signature

SCANNED BY MESA REPRO

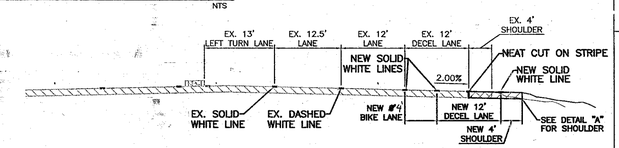


INTERSECTION BLOW-UP DETAIL
SCALE: 1"=20'

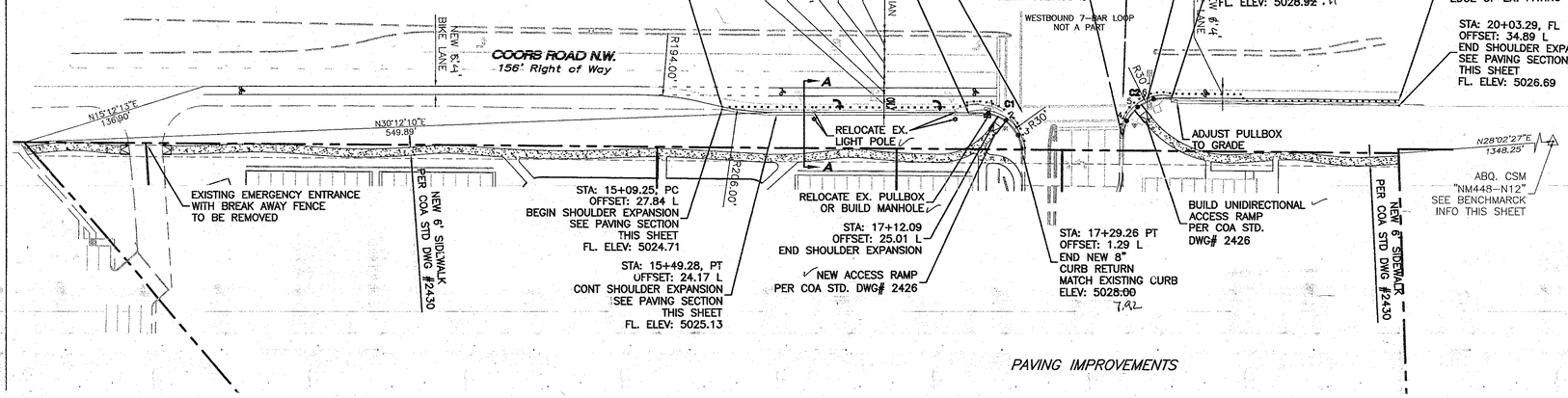


NOTE: MATCH EX. PAVEMENT SECTION IF DIFFERENT FROM ABOVE
THIS PAVEMENT SECTION IS FROM CITY OF ALBUQUERQUE PROJECT #6766.91

DETAIL "A"
SHOULDER DETAIL AND PAVING SECTION
NTS



SECTION A-A
NTS



PAVING IMPROVEMENTS

GRAPHIC SCALE
50 25 0 25 50
SCALE: 1"=50'

AS BUILT INFORMATION
CONTRACTOR Concrete Consort
WORK STAKED BY Surv-Tek DATE 5/5/06
SUBCONTRACTOR DATE
ACCEPTANCE BY COA/Trans DATE 5/5/06
VERIFICATION BY COA/Trans DATE 5/5/06
DRAWINGS REVISED BY Tierra West LLC DATE 5/5/06
CORRECTIONS MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
ACS "NM448-N12"
CENTRAL STATION DATA
NM STATE PLANE COORDINATES
Central Zone (NAD 27)
X=381108.54
Y=1528910.94
G-G=0.99997595
DG=-00°13'46"
ELEV= 5023.411 (NGVD 29)

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ENGINEER'S SEAL
RAY BOHANNAN NEW MEXICO 868 PROFESSIONAL ENGINEER
3/27/06

NO.	BY	REMARKS	DATE
		REVISIONS	

DESIGN
DESIGNED BY: JDN DATE: 11-5-03
DRAWN BY: JDN DATE: 3-26-2004
DRAWN NAME: 2297COORS STRIPING.DWG JOB NO.: 220097
CHECKED BY: JDN DATE: 3-2004

ALL ELEVATIONS ARE NGVD29

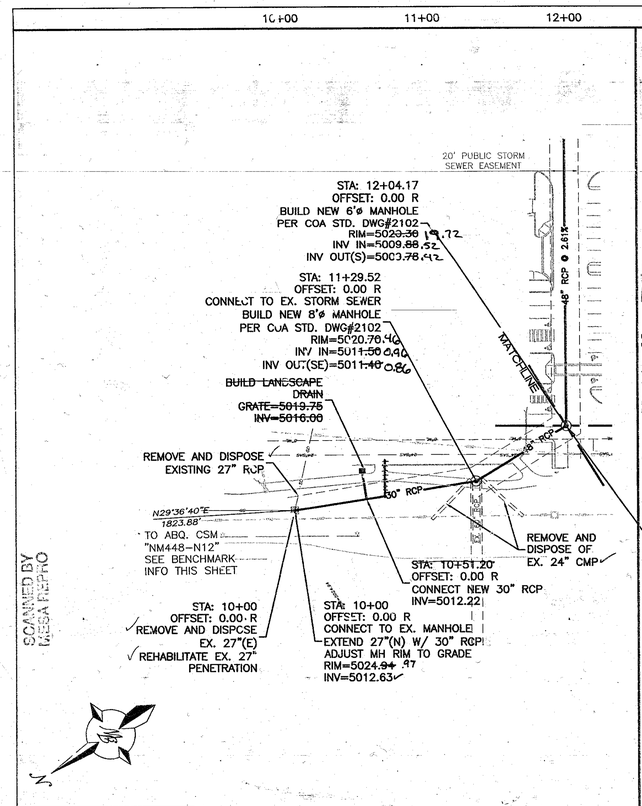
TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

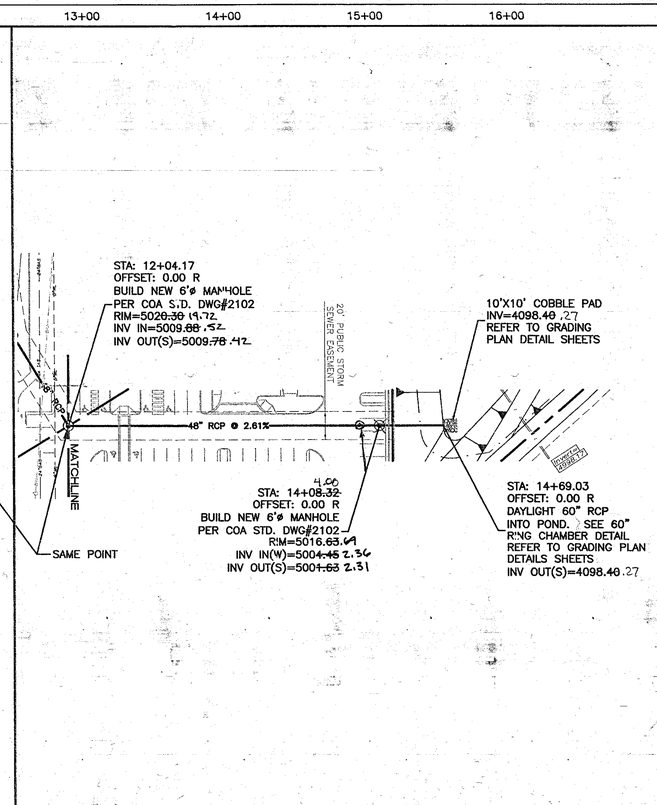
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: COTTONWOOD CROSSING - PHASE 2
PAVING, STRIPING, AND SIGNAGE IMPROVEMENTS
COORS BOULEVARD, NW STA: 11+30.40 TO 20+03.31

DESIGN REVIEW COMMITTEE: APPROVED APR 2 0 2004
CITY ENGINEER APPROVAL: APPROVED APR 3 0 2004 CITY ENGINEER
LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR.

CITY PROJECT NO. 729081 | ZONE MAP NO. B-14-Z | SHEET 8 OF 9





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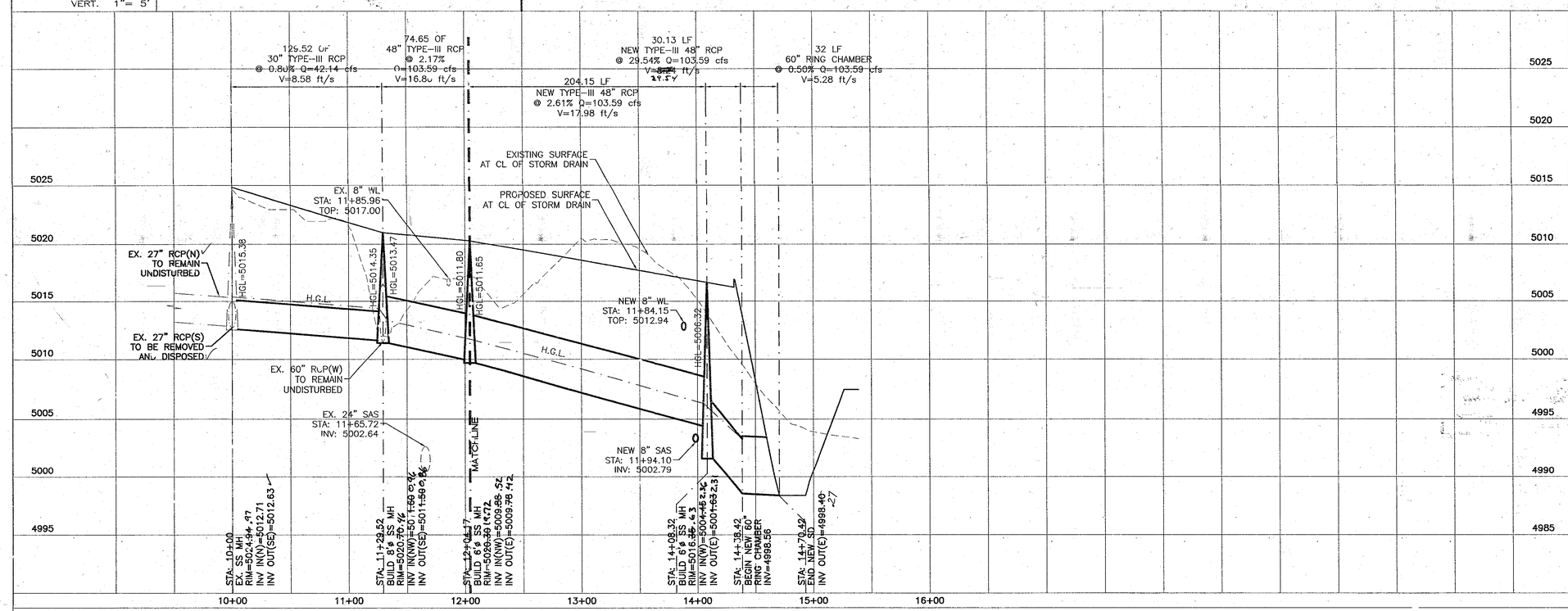
Engineer's Seal & Signature

SCALE: HORIZ. 1"=50'
VERT. 1"= 5'

ALL ELEVATIONS ARE NGVD29



AS BUILT INFORMATION

CONTRACTOR Cornerstone Concrete 6/10/05
WORK STAKED BY Surv-Tek 6/10/05 DATE
ACCEPTANCE BY COA PWD DATE 6/16/05
FIELD VERIFICATION BY COA PWD DATE 6/16/05
DRAWINGS CORRECTED BY TIERRA WEST DATE 6/16/05
MICRO-FILM INFORMATION
RECORDED BY DATE
NO.

BENCH MARKS
ACS "NM448-N12"
CENTRAL STATION DATA
NM STATE PLANE COORDINATES
Central Zone (NAD 27)
X=381108.54
Y=1528910.94
G-G=0.99967595
Da=-00°13'46"
ELEV= 5023.411 (NGVD 29)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

NO.	DATE	REMARKS	BY
	6/10/05	AS BUILTS	

REVISIONS

DESIGN
DESIGNED BY: JDN DATE: 04-07-04
DRAWN BY: MP DATE: 2-12-04
DRAWN NAME: 2297 STORM.DWG JOB NO.: 220097
CHECKED BY: JDN DATE: 2-2004

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **COTTONWOOD CROSSING - PHASE 2**
STORM DRAIN IMPROVEMENTS
COORS BOULEVARD, NW STA: 10+00 TO STA: 14+69.03

DESIGN REVIEW COMMITTEE: APPROVED APR 2 2 2004 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL: APPROVED APR 3 0 2004 CITY ENGINEER
LAST DESIGN UPDATE MO./DAY/YR. MO./DAY/YR.

CITY PROJECT NO. 729081
ZONE MAP NO. B-14-Z
SHEET 9 OF 9