

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 27, 2025

John Stapleton
Community Design Solutions
9384 Valley View Drive NW
Albuquerque, NM 87114

**RE: Cottonwood Crossing Car Wash
10084 Coors NW
Permanent CO – Accepted
Engineer's Certification Date: 04/04/2025
Engineer's Stamp Date: 04/27/2022
Hydrology File: B14D010C
Case # HYDR-2025-00151**

PO Box 1293

Dear Mr. Stapleton:

Albuquerque

Based on the Certification received 4/28/2025 and site visit on 5/7/2025, this letter serves as an approval from the Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

NM 87103

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

www.cabq.gov

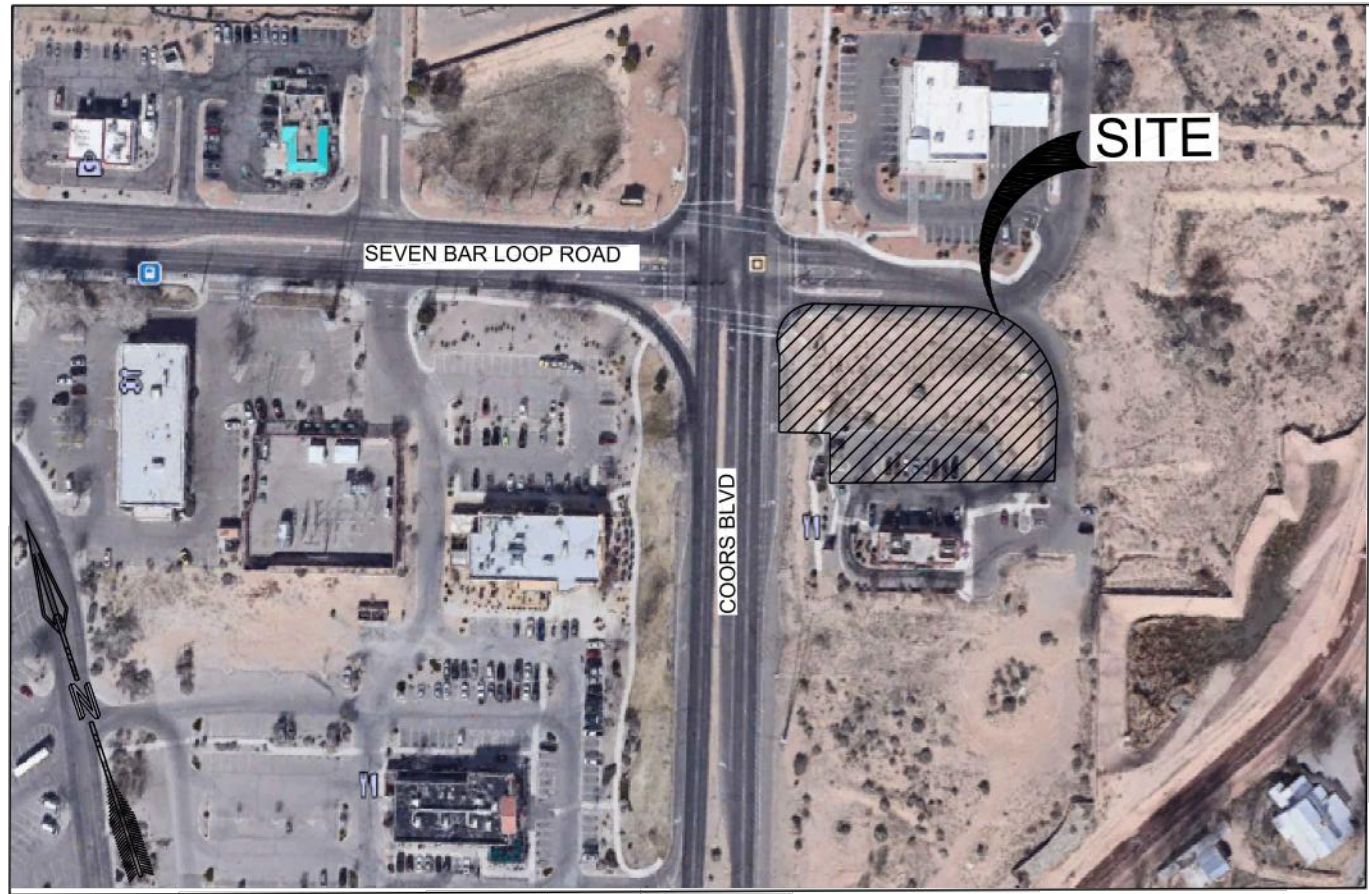
Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services

EASEMENT NOTES

- (A) Existing Water Line Easement granted to New Mexico Utilities, Inc. by plat filed February 19, 2004 in Plat Book 2004C, page 56. Easement to be 10' wide unless otherwise indicated.
- (B) New 10' Underground Public Utility Easement July 1, 2004 in Plat Book 2004C, Page 201
- (C) 10' City of Albuquerque Sidewalk Easement filed July 1, 2004, in Book 2004C, Page 201.
- (D) 20' Sanitary Sewer Easement to New Mexico Utilities, Inc. filed September 21, 1981, Book Misc. 880, page 1, to remain.
- (E) 10' Easement to New Mexico Utilities, filed April 24, 1998, in Book BCR 9808, Page 8481.
- (F) Easement to PNM & US West, filed June 20, 1995, in Book BCR 95-14, page 6608.
- (G) 10' Public Overhead Utility Easement filed July 1, 2004, in Book 2004C, Page 201.

KEYED NOTES

- (1) SEE BUILDING PLANS (BY OTHERS) FOR FINISHED FLOOR ELEVATIONS INTERNAL TO THE BUILDING.
- (2) EXTEND CONCRETE RETAINING WALL 6" ABOVE TOP OF ASPHALT (SEE TOP OF WALL DETAIL ON DETAIL SHEET) AND OMIT CONCRETE CURB AND GUTTER ALONG LENGTH OF RETAINING WALL.
- (3) WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNER REQUIRED TO GRADE ON THE ADJACENT PROPERTY. THIS PERMISSION IS NEITHER STATED NOR IMPLIED BY THESE PLANS.
- (4) SIDEWALK AND ROADWAY STRIPING IS SHOWN FOR INFORMATION ONLY. DESIGN AND CONSTRUCTION OF THESE ELEMENTS SHALL BE BY A PUBLIC WORK ORDER.
- (5) ZERO HEIGHT CURB IN FRONT OF THE BUILDING
- (6) INSTALL FALL PROTECTION. TYPE AND STYLE PER ARCHITECTS DIRECTIONS.

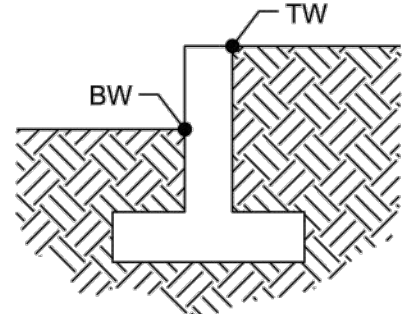


CIVIL LEGEND

- 7290 MAJOR CONTOUR
- 7291 MINOR CONTOUR
- 7290 EXISTING MAJOR CONTOUR
- 7291 EXISTING MINOR CONTOUR
- 1.0% SLOPE ARROW
- PROPERTY LINE
- CONCRETE RETAINING WALL
- CMU RETAINING WALL
- WATER BLOCK (HIGH POINT)
- FLOWLINE OF SWALE
- 4'-6" BROKEN ALL FACE ROCK INSTALLED 6" DEEP

SYMBOL LEGEND

- 20.00 FLOWLINE
- EG 20.00 EXISTING GROUND
- BW=20.00 BOTTOM WALL
- TW=20.00 TOP WALL
- FG 20.00 FINISHED GRADE
- FF 20.00 FINISHED FLOOR



GRADING NOTES

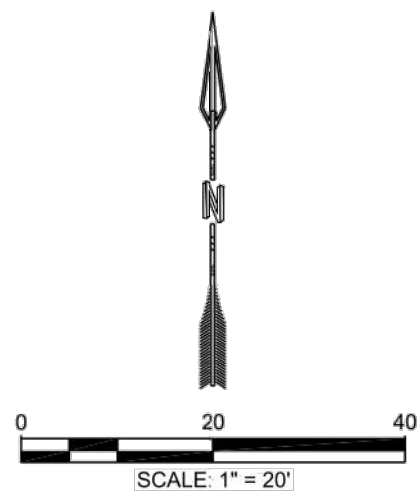
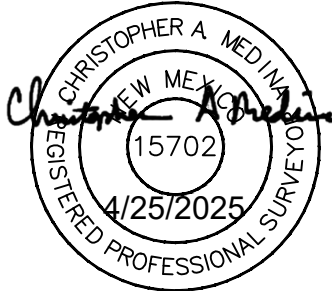
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- PROVIDE SMOOTH VERTICAL TRANSITION OF CONCRETE CURB AT ALL GRADE BREAKS ALONG CURBS.
- PROVIDE SMOOTH VERTICAL TRANSITION OF TOP OF CONCRETE RETAINING WALL AT ALL GRADE BREAKS ALONG TOP OF WALL.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- REFER TO GEOTECHNICAL EVALUATION REPORT 3220JJ138 BY ATC GROUP SERVICES ON FEBRUARY 22, 2021
- THE EXISTING SITE FEATURES WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
- PAVEMENT SECTION BY OWNERS DIRECTION.
- COMPOSITE SLOPE IN HANDICAP PARKING SPACES SHALL NOT EXCEED 2%.
- CROSS SLOPE ON ADA CROSSWALKS SHALL NOT EXCEED 2%. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
- LONGITUDINAL SLOPE ON CURB RAMPS SHALL NOT EXCEED 8.33%. CROSS SLOPE SHALL NOT EXCEED 2%.
- COMPOSITE SLOPE ON RAMP LANDINGS SHALL NOT EXCEED 2%.
- FINISHED GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER A. MEDINA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 15702, DO HEREBY CERTIFY THAT THIS AS-BUILT SURVEY AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE.

Christopher A. Medina
CHRISTOPHER A. MEDINA, NMPLS NO. 15702

APRIL 25, 2025
DATE



DESIGNED HF	JMS	DATE	4.27.2022
DRAWN	HF	CHECKED	
RESPEC	COMMUNITY DESIGN SOLUTIONS	8971 JEFFERSON STREET SUITE 101	WWW.RESPEC.COM PHONE (505) 553-9718
RESPEC			
STAMP	THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED		
PROJ. #: W0032.31002			
PROJECT NAME:	COTTONWOOD CROSSING CAR WASH		
SHEET TITLE:	GRADING		
SUBMITTED FOR:	BUILDING PERMIT		
SHEET NUMBER:	C-101		

DRAINAGE CERTIFICATION

I, JOHN STAPLETON, NMPE, OF THE FIRM COMMUNITY DESIGN SOLUTIONS, LLC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04.27/2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER MEDINA, NMPS, OF THE FIRM TERRA LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON APRIL 28, 2025, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY. GRADING FOR THE ENTIRE SITE HAS BEEN COMPLETED.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



JOHN STAPLETON, NMPE NO. 30170

04/04/2025

Date