

From: [Jared Romero](#)
To: [Derek Bohannon](#)
Cc: [Ron Bohannon](#); [Chen, Tiequan](#); [Martinez, Richard](#); [Hughes, James D.](#); [Nicole M. Friedt](#); [Montoya, Anthony](#)
Subject: Re: [#2023004] 10088 Coors NW - 7 Bar Retail - AMAFCA Comments
Date: Monday, March 24, 2025 10:02:25 AM
Attachments: [image001.png](#)
[image.png](#)
[image.png](#)
[image.png](#)
[image.png](#)
[AMAFCA General Construction Notes and Requirements 11-2024 FOR OTHER PROJECTS.doc](#)

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good Morning Derek,

Below are AMAFCA's comments on the plans dated March 2025 for the 7-Bar Retail Project. Please provide a comment disposition sheet with the resubmittal detailing how each comment below is addressed or acknowledged.

Derek, I also need to understand what will and won't be included on the DRC plans for this project. I've received conflicting information and I want to be sure we are all on the same page.

General:

- The G&D included in shows a new storm drain penetration into AMAFCA's regional drainage facility. This is subject to review and approval of AMAFCA's Board of Directors as AMAFCA is to assume maintenance of the pipe penetration into the facility via a Turnkey Agreement.
 - The project was introduced to the AMAFCA Board of Directors at the August 2024 meeting and a draft Turnkey Agreement was presented to the Board at the February 2025 meeting. There will be a final presentation to the Board at a future meeting for consideration of approval of the turnkey agreement. The final Turnkey agreement will need to utilize the final approved plans with AMAFCA and the City's approval signature.
 - A separate Temporary Construction and Access License will be required. This must be executed before any work on AMAFCA ROW including the existing wall demolition.
- The new pipe penetration and the RCP that AMAFCA would maintain must be included on the infrastructure list and AMAFCA will need to review and approve the IL.
- AMAFCA will require copy of the B/HOA agreement and/or easements that would be needed showing that the B/HOA would be responsible for operation, maintenance & repair of the on-site drainage system (if this is still the intent).

Drainage Report:

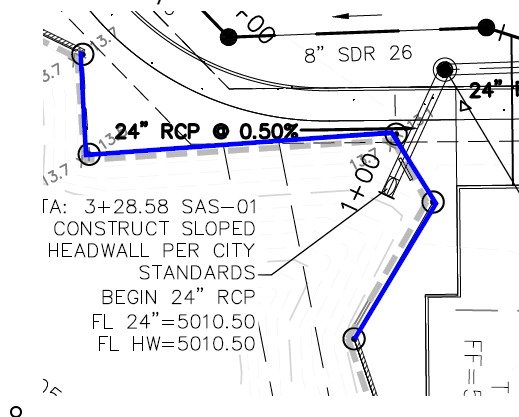
- Not included in this submittal, so a full review could not be completed. The last DR reviewed did not include the appendices, so please ensure that all relevant appendices are included in the resubmittal.

Construction Plans

- AMAFCA will need to review and approve the final G&D and DRC Work Order Plans (for the infrastructure to be assumed by AMAFCA if needed).
- Add a signature line on the sheets with AMAFCA infrastructure or modifications to AMAFCA ROW/easement reading: "Approved for Construction within AMAFCA ROW or easement." This can be deferred to the DRC work order plans when they are prepared if they include the storm drain infrastructure. If the storm drain infrastructure is not included in the DRC plans, then AMAFCA's signature must be on the building plan set.

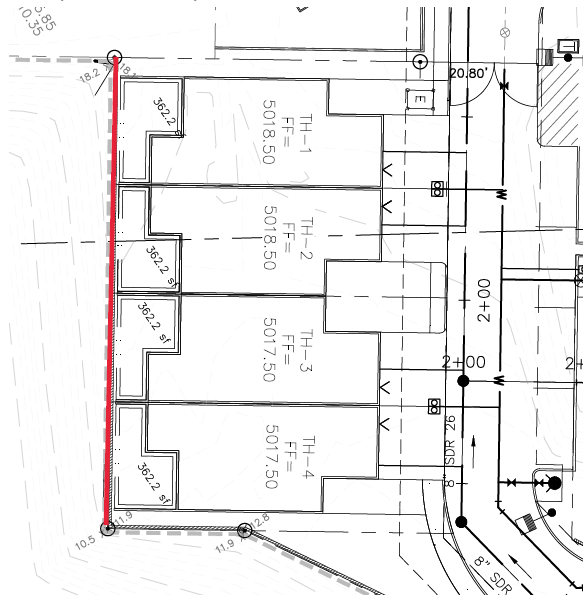
AMAFCA APPROVED FOR CONSTRUCTION DATE

- Add AMAFCA's general notes to the plans (attached). This can be deferred to the DRC work order plans when they are prepared if they include the storm drain infrastructure.
- Any sheets that are included as reference or for information need to be labeled as such; there are sheets with titles that say *(Not Building Permit Set)*.
- Show the 100-yr discharge and velocity magnitude in the storm drain profiles.
- Add the standard AMAFCA shotcrete channel section to the plans.
- On the standard pipe penetration detail, unhighlight the 1.5:1 cell since the pond interior is a 2:1 slope.
- Fencing is required in the area near the proposed pipe penetration to secure the AMAFCA facility. This is recommended to be standard AMAFCA pipe rail fencing.

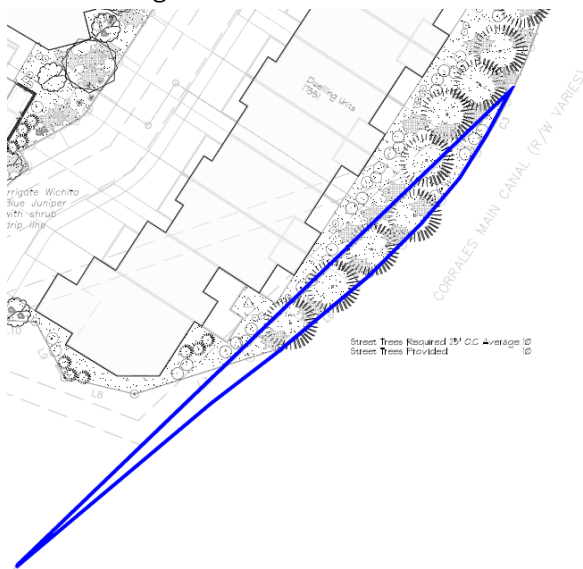


- Identify the finish grades on both sides of the wall; the plans only show the low side FG of the walls.
 - There was no wall profile provided for the proposed retaining wall on the southwest side of the project adjacent to the AMAFCA pond. Its unclear if this will

be a new wall or if the existing wall is to remain. If it is to remain, note that on the plans as protect in place.



- Landscaping (including any irrigation infrastructure) will not be allowed in the AMAFCA/MRGCD easement adjacent to the Corrales Main canal. The easement is for access along the channel and cannot be obstructed.



- There isn't an erosion and sediment control plan in this plan set, but any erosion and sediment control plan for this site must not allow any construction stormwater discharge into AMAFCA's facility(ies). Any debris/sediment that accumulates in AMAFCA's facility as a result of construction discharge will be considered a unpermitted discharge and will be required to be remediated to AMAFCA's satisfaction at the cost of the owner/contractor.

Please let me know if you have any questions.

Best,

Jared

Jared Romero, P.E., CFM
AMAFCA Drainage Engineer
Phone: (505) 884-2215

From: Derek Bohannon <dbohannon@tierrawestllc.com>
Sent: Friday, March 14, 2025 9:25 AM
To: Jared Romero <jromero@amafca.org>
Cc: Ron Bohannon <rrb@tierrawestllc.com>
Subject: RE: [#2023004] 10088 Coors NW - 7 Bar Retail - AMAFCA Approval

Jared,

Here is a link to the updated drawing set that addresses your comments, my apologies I was under the assumption that any BP submittals that were related to your facilities were routed to you for comments and approval similar to the EPC process.

Downloadable Drawing Link: <https://we.tl/t-Uzy4712YLB>

Respectfully,

Derek R Bohannon.

From: Jared Romero <jromero@amafca.org>
Sent: Friday, March 14, 2025 9:19 AM
To: Derek Bohannon <dbohannon@tierrawestllc.com>; Montoya, Anthony <amontoya@cabq.gov>
Cc: Chen, Tiequan <tchen@cabq.gov>; Martinez, Richard <richardmartinez@cabq.gov>; Ron Bohannon <rrb@tierrawestllc.com>
Subject: RE: [#2023004] 10088 Coors NW - 7 Bar Retail - AMAFCA Approval

Derek and Tiequan,

AMAFCA has reviewed but not approved the Drainage Analysis or Plans for this project. The last submittal I received was in January and I've attached my comments to this email. A platting action hasn't really been discussed with AMAFCA, but I won't sign off on any plat without an approved G&D.

The Turnkey agreement for AMAFCA to assume maintenance of specific drainage infrastructure has been presented to the AMAFCA Board in draft and they have not expressed any adverse comments to it, but the final Turnkey won't be presented to the Board until the Drainage Analysis or Plans have been approved and I have signed off on the cover of the plans for construction in AMAFCA ROW. The Board's approval of the Turnkey does not need to precede my approval of the design plans.

If we need to have a coordination meeting to ensure we are all on the same page,

please let me know.

Best,
Jared

Jared Romero, P.E., CFM
AMAFCA Drainage Engineer
Phone: (505) 884-2215

From: Derek Bohannon <dbohannon@tierrawestllc.com>
Sent: Friday, March 14, 2025 8:48 AM
To: Montoya, Anthony <amontoya@cabq.gov>
Cc: Chen, Tiequan <tchen@cabq.gov>; Martinez, Richard <richardmartinez@cabq.gov>; Jared Romero <jromero@amafca.org>; Ron Bohannon <rrb@tierrawestllc.com>
Subject: RE: [#2023004] 10088 Coors NW - 7 Bar Retail - AMAFCA Approval

Good morning,

We are still buttoning up some items with AMAFCA regarding their Turnkey Agreement (Draft was accepted and approved by the Board), Site Security Plan, and B/HOA docs regarding the maintenance of the facilities. I believe the full Turnkey agreement cannot be approved without an approved G&D Plan, so we might be in a little bit of a Chicken and Egg situation.

Overall Jared is agreement with the G&D Plans as submitted but these items remain before full AMAFCA Sign Off, with that said I believe Jared was okay with tying these remaining items to the final Platting action however I do not want to misrepresent them so I have included Jared on this email as well to weigh in on the best plan for moving forward.

Jared if you could weigh in it would be greatly appreciated. Please let me know if you need any additional information.

Respectfully,

Derek R Bohannon.

From: Montoya, Anthony <amontoya@cabq.gov>
Sent: Friday, March 14, 2025 8:41 AM
To: Derek Bohannon <dbohannon@tierrawestllc.com>
Cc: Chen, Tiequan <tchen@cabq.gov>; Martinez, Richard <richardmartinez@cabq.gov>
Subject: 10088 Coors NW - 7 Bar Retail - AMAFCA Approval

Derek – Did AMAFCA review and approve the Drainage Analysis and G&D for the Subject project? If they have not reviewed and approved them, I will have to issue a comment letter stating that their approval is required prior to the Hydrology approval.



Anthony Montoya, Jr., PE, CFM

Senior Engineer, Hydrology

Development Review Services

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