



Alan Varela, Director

April 30, 2024



Mayor Timothy M. Keller

Pierre J Amestoy
A Management Corp.
4461 Irving Blvd. NW
Albuquerque, NM 87114

Ron Bohannon
Tierra West, LLC
5571 Midway Park Place, NE
Albuquerque, NM 87109

**Re: Cottonwood Crossing II Lots 2A & 2B at 10088 and 10080 Coors Blvd SE
Erosion and Sediment Control Plan
Engineer's Stamp Date 4/22/25 (B14E010D)**

Mr. Amestoy & Mr. Bohannon.

Based on the information in your submittal, received on 4/24/25, the ESC Plan and NOI are satisfactory for the current disturbance, but they cannot be approved for any further land disturbance until the following comments are addressed. In the meantime, please post your permit coverage, install BMPs, and ensure your SWPPP and self-inspection reports are up-to-date and available onsite throughout construction. You must resubmit your ESC Plan to address the following comments before any new land disturbance.

1. The ESC Plan can't be approved until after Hydrology approves the G&D Plan for each specific purpose, DFT, Grading, Building Permit (BP), and Work Order (WO). On 3/24/25, AMAFCA sent new comments, and the next day, the City Hydrology section withdrew their previous approval of the Grading Plan and Drainage Report for Rough Grading and required you to resubmit a detailed report and plans. There have been no new G&D submittals to Hydrology since then. AMAFCA's comments regarding the lack of detailed information around the downgradient perimeter, next to their facilities, must be addressed. AMAFCA's approval of the ESC Plan is also required prior to City SWQ approval for each purpose (grading & walls, WO, and BP). At a minimum, you must:
 - a. Identify any existing walls to be demolished and new walls to be constructed.
 - b. Add spot elevations at every lot corner around the low perimeter of the site, on both sides of each retaining wall.
 - c. Show a temporary berm around the downgradient side of the site per "construction sequence item #3. The berm detail should specify increasing top elevation of the berm as fill is added to the townhouse lots, so it is 18" minimum above the grade of the lots.
2. Clearly identify existing structures and any related demolition activities as required by CGP 7.2.4.b.i. Show the locations of the existing perimeter walls, storm drains, and inlets. Show the existing shotcrete slope paving and limits of disturbance on AMAFCA's property. Identify the timing of each demolition activity in the "Sequence of Construction." Demolition should be shown on a separate sheet to avoid confusion with the proposed improvements.
3. The "Sequence of Construction" should be updated to include the construction and maintenance of the temporary berms and the items to be demolished. Demolition, earthwork, and walls seem

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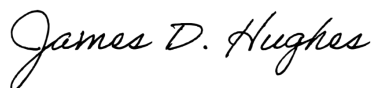
to be Phase 1A, with the Work Order (WO) infrastructure Phase 1B. Identify the WO infrastructure on a list approved by both the City of Albuquerque and AMAFCA, and add a description of these phases to the "Sequence of Construction." Note per AMAFCA, no stormwater discharges are allowed during phase 1, so temporary ponds will have to be located outside of the areas of the infrastructure construction activities until construction in those areas is complete.

A separate set of BMPs to keep sediment on the lots and out of the streets is required for Phase 2 and must be shown on separate sheets in this ESC Plan. The phase 1 contractor is usually responsible for the initial construction of curb cutback swales or silt fence along the street, which are then turned over to the Phase 2 contractor for maintenance during the Building Permit construction, Phase 2. This separation of responsibilities should be addressed in the "Sequence of Construction."

4. The diversion berm in the southwest corner of the site seems adequate, but the design there may change with the more detailed G&D Plan and Drainage Report submittals to Hydrology and AMAFCA.
5. Add a note on the ESC Plan that says, "New ESC Plans must be submitted to the city for any lots transferred to new owners/operators."
6. The SWPPP must include site-specific interim and permanent stabilization per CGP 9.6.1.c.i. The Landscape Plan can be used to satisfy this requirement and should be submitted separately from the ESC Plan with the application to the Stormwater Quality Section of the Planning Department, and it should be included in the SWPPP. After the Landscape Plan is modified per AMAFCA comments, include a copy with the next submittal.
7. Update the Engineer's stamp date on all sheets when changes are made to any of the ESC Plan sheets.

If you have any questions, contact me at 924-3420 or jhughes@cabq.gov.

Sincerely,



James D. Hughes, P.E. CPESC.
Principal Engineer, Planning Dept.
Development and Review Service