

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 20, 2024

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Retail at Bar 7
Conceptual Grading Plan and Conceptual Drainage Report
Engineer's Stamp Date: 09/25/2024
Hydrology File: B14D010D**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 09/27/2024, the Conceptual Grading Plan and Drainage Report are approved for Development Facilitation Team (DFT) Site Plan, Preliminary Plat, and Rough Grading.

PO Box 1293

Prior to Building Permit and Work Order approval the following items must be addressed:

Albuquerque

NM 87103

1. A recorded plat based on the proposed boundaries
2. An approved Infrastructure List and recorded IIA:
 - a. Please include the following items:
 - i. Pipe extension into the AMAFCA pond bottom
 - ii. Access easement to the townhome lots as well as the commercial pads
 - iii. Any required sidewalk
 - iv. Other required items by the DFT staff
3. Pad Certification for all the townhome lots
4. Please ensure AMAFCA's approval is based on the latest grading plan

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3362 or richardmartinez@cabq.gov.

Sincerely,

Richard Martinez, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: 7 Bar Retail Hydrology File # B14D010D
Legal Description: Lot 2-A and 2-B Lots 2-A, 2-B, 2-C and 2-D Cottonwood Crossing Phase II (Being a Replat of Tr 2 Cottonwood Crossing Phase II)
City Address, UPC, OR Parcel: 101406521531220323

Applicant/Agent: Tierra West, LLC Contact: Derek Bohannon
Address: 5571 Midway Park PI NE, ABQ NM 87109 Phone: 505-858-3100
Email: dbohannon@tierrawestllc.com

Applicant/Owner: _____ Contact: _____
Address: _____ Phone: _____
Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
 DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) EPC Signoff

DATE SUBMITTED: 09/25/2024

7 Bar Retail CONCEPTUAL DRAINAGE REPORT

August 2024



PREPARED FOR:

A Management Inc.,
4461 Irving Blvd NW
Albuquerque, NM 87114

PREPARED BY:



Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

City of Albuquerque Planning Department Development Review Services HYDROLOGY SECTION	
PRELIMINARY APPROVED	
DATE:	10/01/2024
BY:	<i>[Signature]</i>
HydroTrans #	B14D010D
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.	

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Appendices

Appendix A: Cottonwood Crossings_DrainageReport_B14D010_DR

Appendix B: Basin Map

Appendix C: Weighted E Table

Appendix D: 7 Bar Site Plan and Grading and Drainage Plans

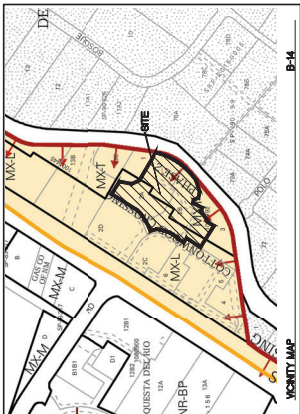
Appendix E: Take 5 Car Wash G&D Plans

Appendix F: Popeyes G&D Plans

Appendix G: Nusenda Drainage Plans

Appendix H: AMAFCA Approval Email from Jared Romero

Appendix I: Flow Master Input and Results for Street Hydraulics and Pipe Hydraulics



LEGAL DESCRIPTION
 LT 2-A LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING PHASE II (BEING A REPEAT OF TRACT 2, COTTONWOOD CROSSING PHASE II) CONT. 1,598.6 AC.
 LT 2-B LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING PHASE II (BEING A REPEAT OF TRACT 2, COTTONWOOD CROSSING PHASE II) CONT. 1,540 AC.
 3.20 ACRES OF THE CONTROLLING SITE DEVELOPMENT PLAN

SITE DATA
 138,744 SF (3.20 ACRES)
 100'-0" & 100'-0"
 COMMERCIAL RETAIL
 5040 SF
 4752 SF
 4057 SF
 17,604 SF EACH
 2,3951 SF
 18 SPACES (0.5 SPACES/1000 SF GFA)
 28 SPACES
 1 SPACE VAN ACCESSIBLE
 1 SPACE
 2 SPACES
 33 SPACES (4 SPACES/1000 SF GFA)
 53 SPACES (10 SHARED W/BLDG C)
 2 SPACES (1 VAN ACCESSIBLE)
 1 SPACE
 23 SPACES (6.6 SPACES/1000 SF GFA)
 20 SPACES (10 SHARED W/BLDG B)
 1 VAN ACCESSIBLE
 1 SPACE
 2 SPACES/PER UNIT
 28 SPACES

RESIDENTIAL PARKING
 TOTAL PARKING REQUIRED 28 SPACES
 LANDSCAPE PROVIDED 18880 SF
 LANDSCAPE REQUIRED 14847 SF (15% NET AREA)
 THE REQUIRED 10% PARKING REDUCTION IS INCLUDED PURSUANT TO IDO 5P-10(S) FOR PROXIMITY TO TRANSIT.
 THE REQUIRED 10% PARKING REDUCTION IS INCLUDED PURSUANT TO CANANBIS RETAIL OFFICE, AND TOWNHOMES USES TO THE CONTROLLING SITE PLAN.

GENERAL NOTES - SITE PLANS:
 1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 3. GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT OPERATIONAL REFER TO PHOTOMETRIC DRAWINGS FOR SIZE AND PLACEMENT.
 4. OWNER TO OBTAIN ALL NECESSARY PERMITS AND INSURANCE PRIOR TO COMMENCING WORK.
 5. OWNER TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
 6. PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNLESS NOTED:
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 12. SITE 15-24 DESIGNED IN COMPLIANCE W/ 670'-4' STANDARDS PURSUANT TO IDO 3-4 (c)

INDEX TO DRAWINGS
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 C4.4 BUILDING ELEVATIONS
 CS.0 DETAIL SHEET
 LS101 LANDSCAPING PLAN

GENERAL NOTES - SITE PLANS:
 1. ACCESSIBLE PARKING PER ADA STANDARDS W/ SIGN (07-01-2004, 2004C-2007)
 2. STD CURB AND GUTTER PER OMA STD DWG 2415A
 3. ACCESSIBLE RAMP SEE DETAIL CS.0
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 19. PAVI EASEMENT

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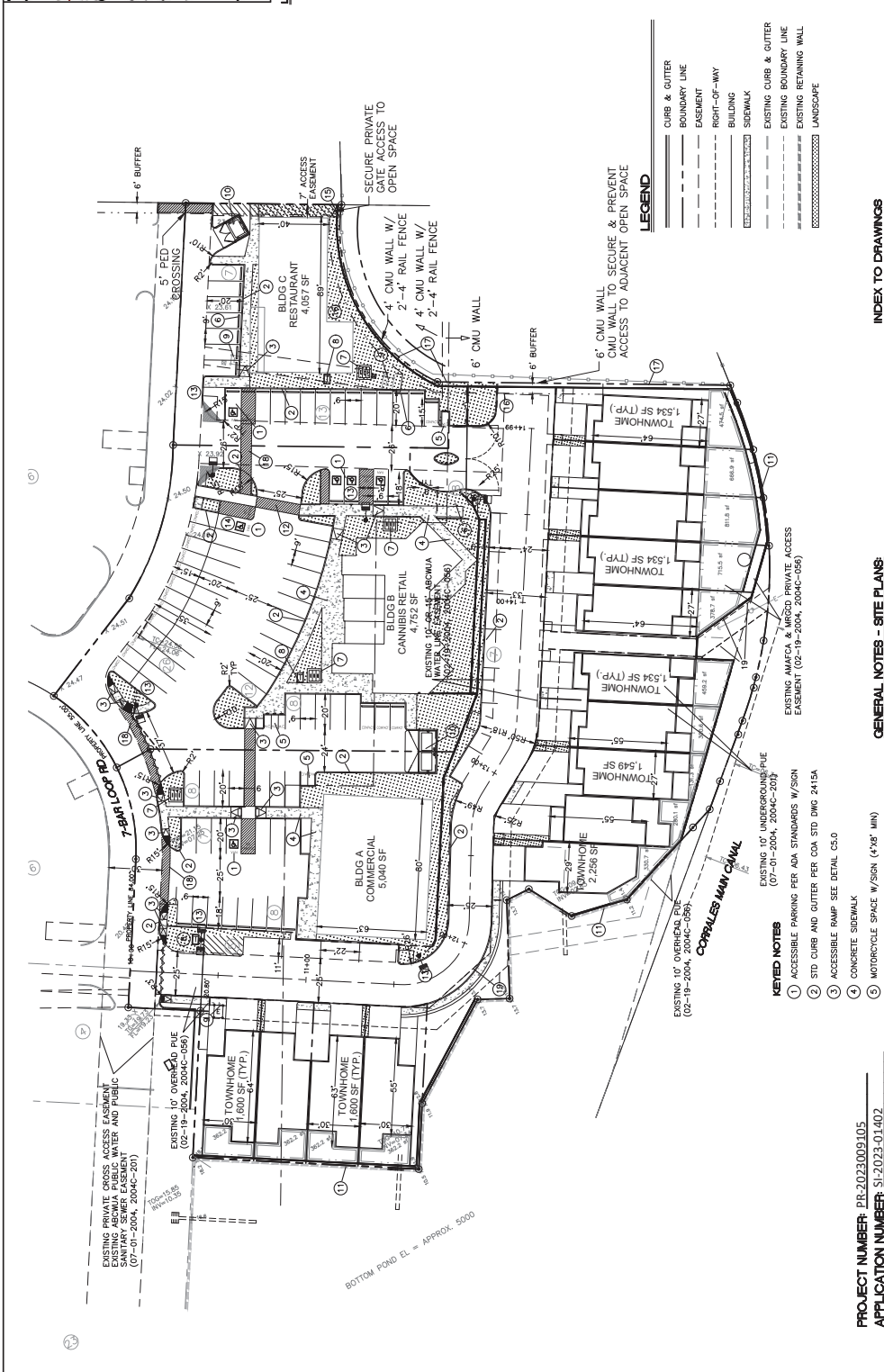
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DRAWER'S SEAL
 20230004-SP
 09-25-24
 20230004-SP
 SHEET #
 4
 09-25-24
 20230004

CONCEPTUAL ONLY. NOT FOR CONSTRUCTION

DRAWN BY
 DATE
 09-25-24
CHECKED BY
 DATE
 09-25-24
PROJECT
 20230004-SP
SHEET #
 4
 09-25-24
 20230004

RETAIL AT 7 BAR ALBUQUERQUE, NM
SITE PLAN - EPC (NOT BUILDING PERMIT SET)
 5571 MEDWAY PL, NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.tieroneatl.com



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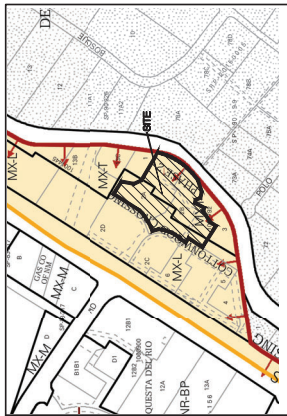
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PROJECT NUMBER: PR-2023009105
APPLICATION NUMBER: SL-2023-01402

LEGEND
 CURB & GUTTER
 BOUNDARY LINE
 EASEMENT
 RIGHT-OF-WAY
 BUILDING
 SIDEWALK
 EXISTING CURB & GUTTER
 EXISTING BOUNDARY LINE
 EXISTING RETAINING WALL
 LANDSCAPE

GRAPHIC SCALE
 1 inch = 30' ft.



KEY TO MAP B-14

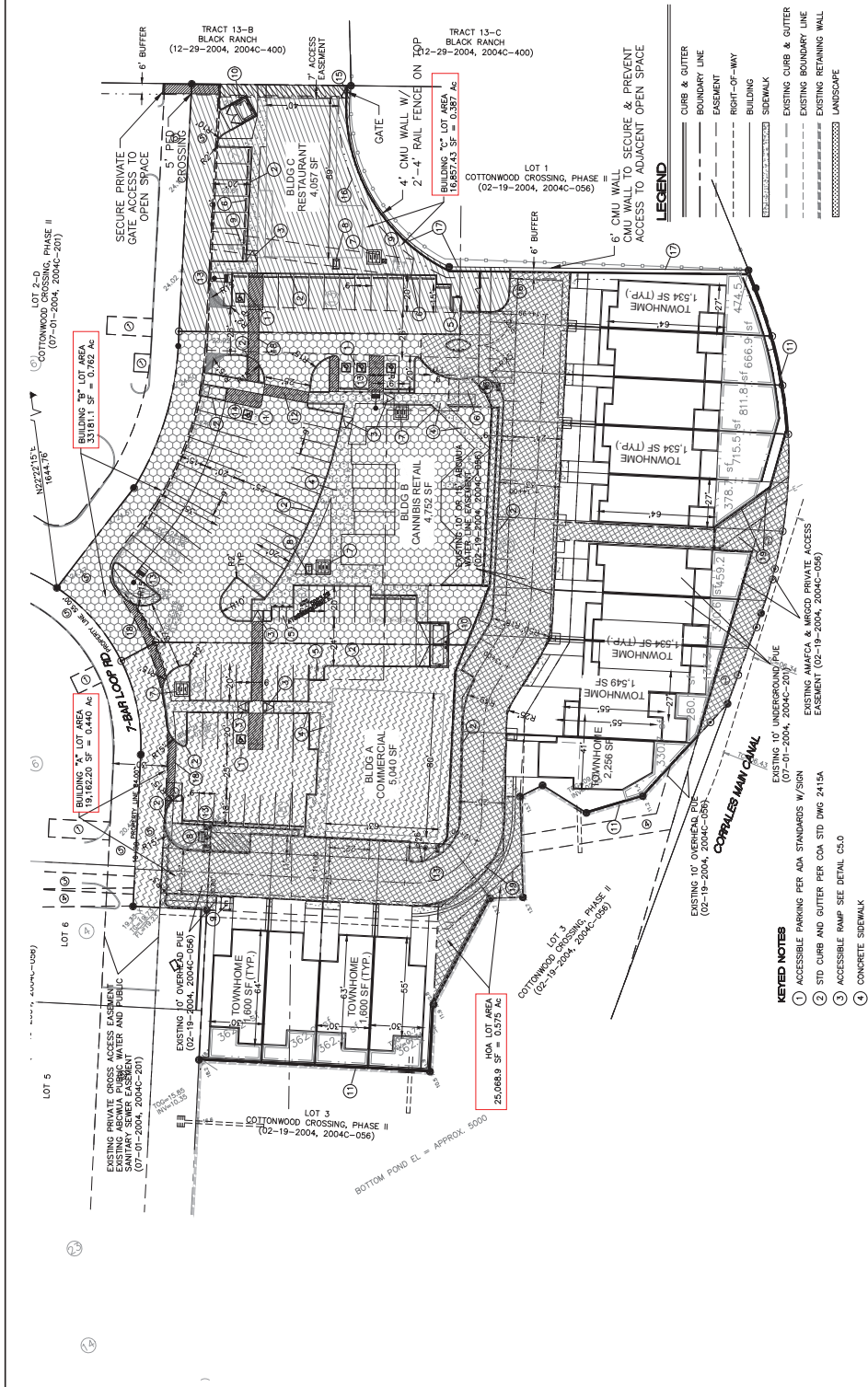
LEGAL DESCRIPTION
LOT 2-A LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING PHASE II (BEING A REPEAT OF TRACT 2 COTTONWOOD CROSSING PHASE I) CONT 1,958.6 AC
LOT 2-B LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING PHASE II (BEING A REPEAT OF TRACT 2 COTTONWOOD CROSSING PHASE I) CONT 1,958.6 AC
3.20 ACRES OF THE CONTROLLING SITE DEVELOPMENT PLAN

SITE DATA

ITEM	VALUE
LOT AREA	13744 SF (3.20 ACRES)
ZONING	MX-L & MX-1
BUILDINGS	COMMERCIAL
BUILDING FOOTPRINT	5040 SF
BUILDING A	CANNIBIS RETAIL 4752 SF
BUILDING B	RESTAURANT 4057 SF
BUILDING C	RESIDENTIAL 17602 SF EACH
BUILDING FOOTPRINT	23951 SF
DEVELOPMENT LIMIT	15' OF UNITS
TOTAL AREA	18 SPACES (0.5 SPACES/1000 SF GFA)
COMMERCIAL PARKING	28 SPACES
PARKING REQUIRED	1 SPACE VAN ACCESSIBLE
PARKING PROVIDED	1 SPACE VAN ACCESSIBLE
ACCESSIBLE SPACES REQUIRED	1 SPACE VAN ACCESSIBLE
ACCESSIBLE SPACES PROVIDED	1 SPACE VAN ACCESSIBLE
MOTORCYCLE SPACES REQUIRED AND PROVIDED	2
MOTORCYCLE SPACES PROVIDED	2
BUILDING A	23 SPACES (6.6 SPACES/1000 SF GFA)
BUILDING B	20 SPACES (10 SHARED W/BLD B)
BUILDING C	33 SPACES (4 SPACES/1000 SF GFA)
TOTAL PARKING PROVIDED	53 SPACES (10 SHARED W/BLD C)
ACCESSIBLE SPACES REQUIRED	2 SPACES (1 VAN ACCESSIBLE)
ACCESSIBLE SPACES PROVIDED	2 SPACES (1 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED	1 SPACE
MOTORCYCLE SPACES PROVIDED	1 SPACE
MOTORCYCLE SPACES REQUIRED AND PROVIDED	5
PARKING C	23 SPACES (6.6 SPACES/1000 SF GFA)
PARKING PROVIDED	20 SPACES (10 SHARED W/BLD B)
ACCESSIBLE SPACES REQUIRED AND PROVIDED	(1 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED AND PROVIDED	1 SPACE

RESIDENTIAL PARKING
2 SPACE/PER UNIT
28 SPACES
TOTAL PARKING PROVIDED 28 SPACES
LANDSCAPE PROVIDED 14847 SF (15% NET AREA)
LANDSCAPE REQUIRED 19850 SF
THE REQUIRED 10% PARKING REDUCTION IS INCLUDED PURSUANT TO IDO 5P-(10) FOR PROXIMITY TO TRANSIT.
ACCESSIBLE SPACES PROVIDED AND PROVIDED TO THE CONTROLLING SITE PLAN AND TOWNHOMES USES TO THE CONTROLLING SITE PLAN.

CONCEPTUAL ONLY, NOT FOR CONSTRUCTION	
DRAWN BY	DATE
SCALE	07-29-24
RETAIL AT 7 BAR ALBUQUERQUE, NM	
SITE PLAN - EPC (NOT BUILDING PERMIT SET)	
DRIVING	2022004-SP
SHEET #	
4	
5511 HENRY PARK PL. NE ALBUQUERQUE, NM 87109 www.tetrawestllc.com	



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C4.2	BUILDING ELEVATIONS
C4.3	BUILDING ELEVATIONS
C5.0	DETAIL SHEET
LS101	LANDSCAPING PLAN

GENERAL NOTES - SITE PLANS:

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR SHALL VERIFY AND REPORT TO THE ARCHITECT THE CORRECT ORIENTATION REFER TO PHOTOGRAPHIC DRAWINGS FOR THE ADJACENT LOT.
- OWNER TO CORRECT SITE OBSTACLE PRIOR TO THE START OF CONSTRUCTION WITH THE DIRECTIONS AND REVISIONS INDICATED BY THE ARCHITECT.
- PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNLESS INDICATED: 1/2" @ OVERHEAD DOORS, 1/2" @ OVERHEAD DOORS, 1/2" @ OVERHEAD DOORS.
- PARKING LOT SHALL BE ASPHALT PAVING.
- SITE CIRCULATION SHALL BE ASPHALT PAVING.
- VARIANCE BEING REQUESTED FOR 45' BUFFER AT MPO EDGE TO BE REDUCED TO 6' BUFFER (VA-22038-000315 (MPO), VA-22038-000315 (MPO), VA-22038-000315 (MPO)).
- GENERAL NOTE: HEIGHTS OF BUILDINGS SUBJECT FOR VARIANCE REQUEST TO MPO - BUILDING HEIGHT STANDARDS (VA-2023-000314 (MPO), VA-2023-000314 (MPO)).
- SEE PLAN DESCRIBED IN COMPLIANCE W/ MPO - 6' STANDARDS PURSUANT TO IDO 3-4 (c).

KEYED NOTES

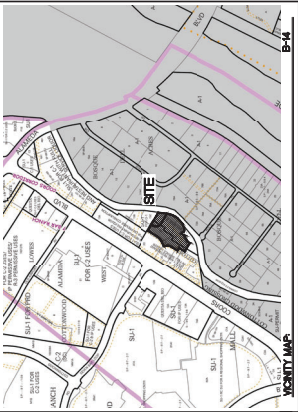
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- 4 CONCRETE SIDEWALK
- 5 MOTORCYCLE SPACE W/SIGN (4'X8' MIN)
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- 9 TRANSFORMER TO BE REMOVED
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- 16 MPO 6' LANDSCAPE BUFFER
- 17 WALLS & FOOTING ADJACENT TO MPO WILL BE WHOLLY CONTAINED WITHIN BUFFER
- 18 PER IDO 5-10(C) MATERIALS TO ALERT MOTORIST
- 19 PAVI ENHANCEMENT

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING RETAINING WALL
- LANDSCAPE

PROJECT NUMBER: PR-2023009105
APPLICATION NUMBER: SI-2023-01402

GRAPHIC SCALE
1 inch = 20 feet



LEGAL DESCRIPTION
 LT 2-4 LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING PHASE II (BEING A REPLAT OF TRACT 2, COTTONWOOD CROSSING PHASE II) CONT 1.8909 AC
 LT 2-8 LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING PHASE II (BEING A REPLAT OF TRACT 2, COTTONWOOD CROSSING PHASE II) CONT 1.4483 AC
 3.20 ACRES OF THE CONTROLLING SITE DEVELOPMENT PLAN

GENERAL UTILITY NOTES

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. EXISTENCE PLUMBING MARKS FOR WATER MAIN, SEWER MAIN, GAS, AND TELEPHONE/COAXIAL CABLE LOCATED IN BUILDING.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS, AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING COLLARS FORGED AND BE ADJUSTED TO FINISHED GRADE.
7. ALL EX. SD INLETS AND W/TS SHALL HAVE CONCRETE COLLARS FORGED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL SANITARY SEWER EASEMENTS SHALL BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. P/M HAS NUMEROUS EXISTING FACILITIES AT THIS SITE. CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DUTY OF THE DEVELOPER. P/M SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL USE OR SAFETY CLEARANCE CONSTRAINTS.
11. P/M WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND CONCERNS WITH THE LOCAL BUILDING DEPARTMENT, ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS, AND THE LOCAL WATER AND SEWER DEPARTMENT PRIOR TO DRIP REVIEW. P/M'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS TO FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO CLEARANCE OF TEN FEET SURROUNDING ALL UTILITIES. MAINTENANCE AND REPAIR PURPOSES.

CONCEPTUAL ONLY - NOT FOR CONSTRUCTION

RETAIL AT 7 BAR ALBUQUERQUE, NM

MASTER UTILITY PLAN

DESIGNED BY: **CONCEPTUAL DESIGN LLC**
 5571 MONKEY PARK BL. NE
 ALBUQUERQUE, NEW MEXICO 87109
 www.conceptualdesign.com

ENGINEER'S SEAL: **RONALD R. SCHWAN** PROFESSIONAL ENGINEER 7988
 09-28-24

DRAWN BY: **pm/cas**
 08-27-24

CHECKED BY: **CONCEPTUAL DESIGN LLC**
 2023004-MU

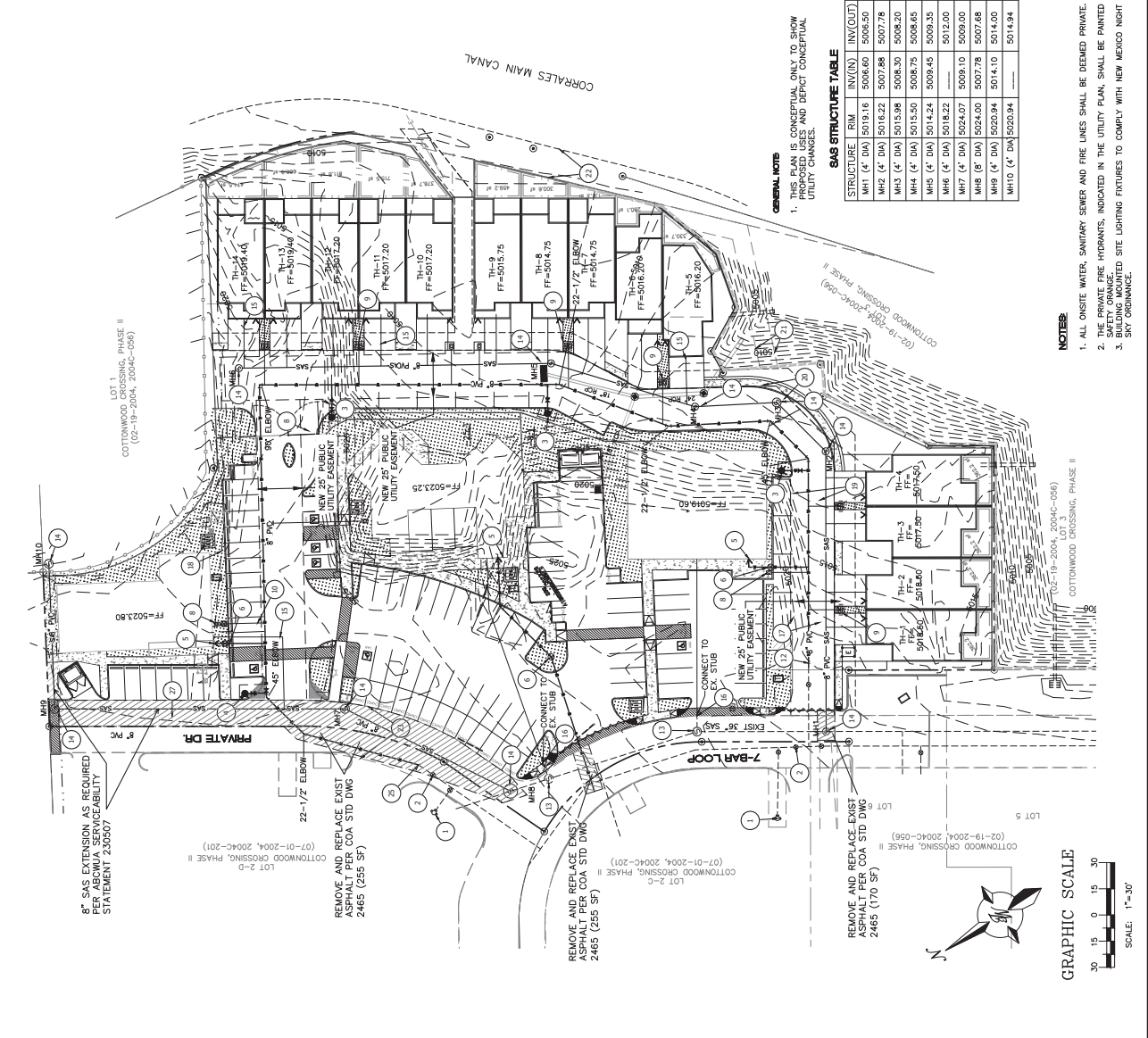
SHEET # **11**
 JOB # **2023004**

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - PROPOSED EASEMENT
 - EXISTING EASEMENT
 - BUILDING
 - SIDWALK
 - EXISTING CURB & GUTTER
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED WATERLINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATERLINE
 - PROPOSED HYDRANT
 - PROPOSED GATE VALVE
 - EXISTING HYDRANT
 - EXISTING GATE VALVE
 - LIGHT POLE
 - NEW WATER METER

- KEYED NOTES**
1. PUBLIC FIRE HYDRANT
 2. EXISTING 8" GATE VALVE (TYP.)
 3. PROPOSED FIRE HYDRANT AND 6" GATE VALVE PER COA DWG 2315
 4. VALVE PER COA DWG 2315 PAINTED ORANGE
 5. FDC (TYP.)
 6. FV
 7. 8" x 6" REDUCER
 8. 1" MULTI-USE DOMESTIC AND FIRE SERVICE LINE, PER ABQ/MIA STD DWG 2384 (TYP.)
 9. DOUBLE 1" WATER METER PER COA DWG 2387 (TYP.)
 10. SINGLE 1" WATER METER PER COA DWG 2387
 11. EXISTING WATER METER
 12. IE INTO EXISTING 8" WATERLINE
 13. EXISTING 4" DIA SANITARY SEWER MANHOLE TO REMAIN
 14. PROPOSED SANITARY SEWER MANHOLE PER COA DWG 2107 AND 2110 (TYP.)
 15. 4" SANITARY SEWER SERVICE LINE (TYP.)
 16. IE INTO EXISTING 8" SANITARY SEWER LINE
 17. EXISTING 10' OR 15' ABOVE WATER LINE EASEMENT (PUE) (02-19-2004, 2004-056) TO BE VACATED
 18. EXISTING 10' OR 15' ABOVE WATER LINE EASEMENT (PUE) (02-19-2004, 2004-056) TO BE VACATED
 19. EXISTING 10' OVERHEAD PUBLIC UTILITY EASEMENT (PUE) (07-01-2004, 2004C-201) TO BE VACATED
 20. EXISTING 10' OVERHEAD PUBLIC UTILITY EASEMENT (PUE) (02-19-2004, 2004-056) TO BE VACATED
 21. EXISTING 10' OVERHEAD PUBLIC UTILITY EASEMENT (PUE) (02-19-2004, 2004-056) TO BE VACATED
 22. EXISTING AMFCA & MFGCD PRIVATE ACCESS EASEMENT (PUE) (02-19-2004, 2004C-201) TO REMAIN
 23. EXISTING PRIVATE DRIVE ACCESS EASEMENT (PUE) (02-19-2004, 2004C-201) TO REMAIN
 24. 8" TEL. 8" GATE VALVE
 25. REMOVE AND DISPOSE EXIST CAP, CONEC TO EXIST 8" WL
 26. LIGHT POLE (TYP.)
 27. REMOVE AND REPLACE EXISTING ASPHALT PAVING PER ABQ/MIA STD DWG #2405B

CAUTION

ALL UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE INVESTIGATOR PRIOR TO AND INCLUDING ANY EXCAVATION, OTHER IMPROVEMENTS PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



SAS STRUCTURE TABLE

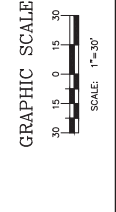
STRUCTURE	FIN	INV(N)	INV(OUT)
MH1 (4" DIA)	5019.16	5006.60	5006.50
MH2 (4" DIA)	5016.22	5007.88	5007.78
MH3 (4" DIA)	5015.98	5008.30	5008.20
MH4 (4" DIA)	5015.50	5008.75	5008.65
MH5 (4" DIA)	5014.24	5009.45	5009.35
MH6 (4" DIA)	5018.22	5012.00	5012.00
MH7 (4" DIA)	5024.07	5009.10	5009.00
MH8 (8" DIA)	5024.00	5007.78	5007.68
MH9 (4" DIA)	5023.94	5014.10	5014.00
MH10 (4" DIA)	5023.94	5014.00	5014.94

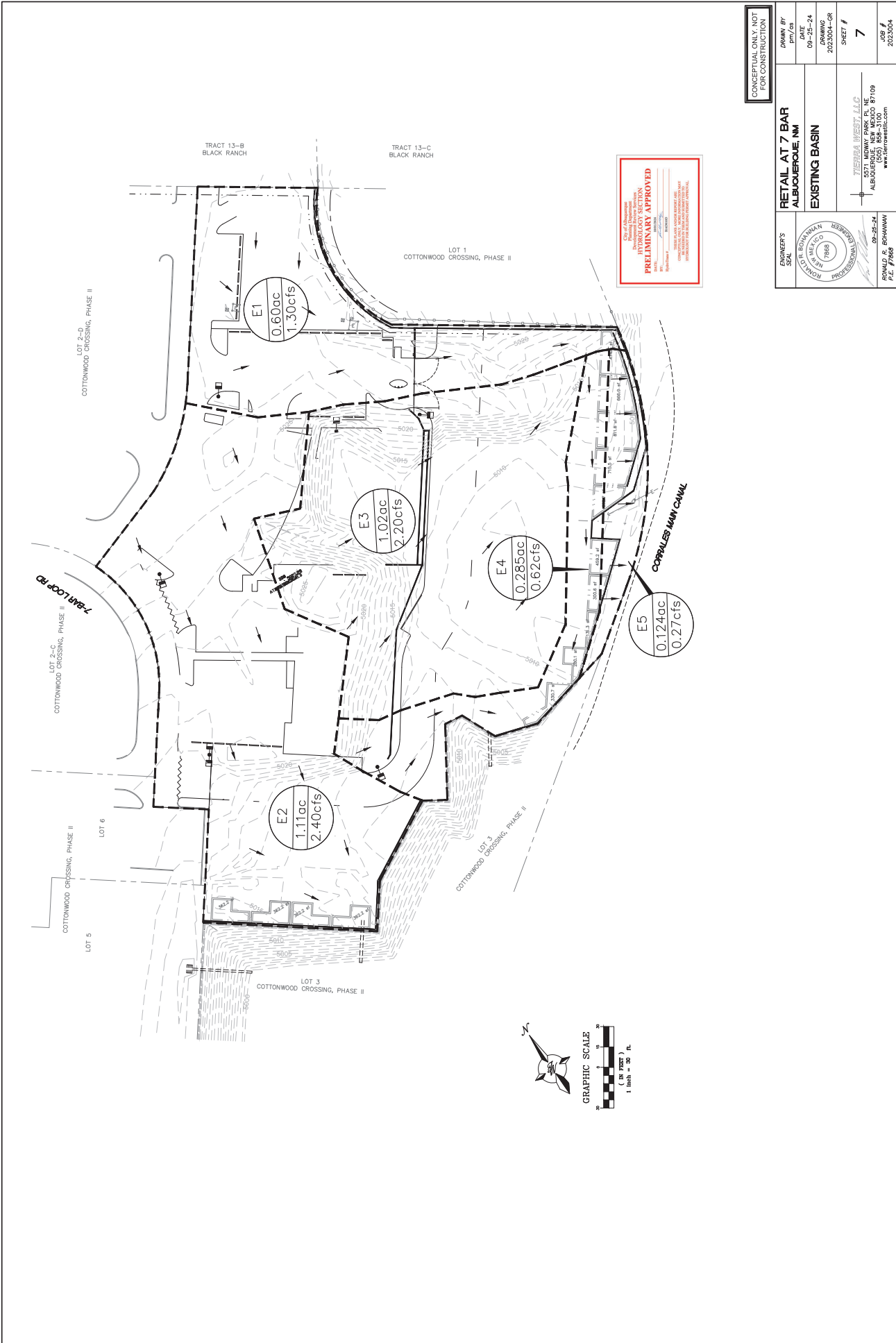
GENERAL NOTES

1. THIS PLAN IS CONCEPTUAL ONLY. TO SHOW PROPOSED USES AND DEPICT CONCEPTUAL UTILITY CHANGES.

NOTES

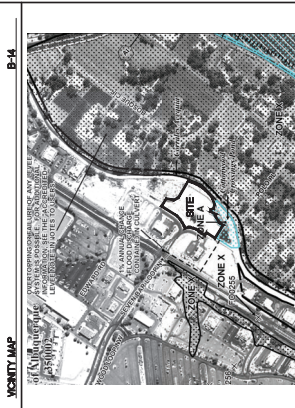
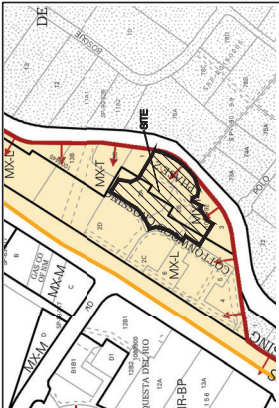
1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
2. THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED RED.
3. BUILDING MOUNTED SITE LIGHTING FIXTURES TO COMPLY WITH NEW MEXICO NIGHT SKY ORNANCE.



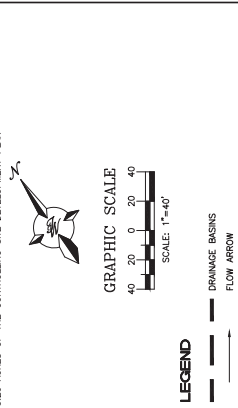


City of Albuquerque
 Planning Department
 HYDROLOGY SECTION
PRELIMINARY APPROVED
 PROJECT: RETAIL AT 7 BAR ALBUQUERQUE, NM
 DRAWING NO.: 2023004-CR
 DATE: 09-25-24
 DRAWING: 2023004-CR
 SHEET #: 7
 DESIGNED BY: J. BOWMAN
 CHECKED BY: J. BOWMAN
 APPROVED BY: J. BOWMAN
 PROJECT LOCATION: 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NM 87109
 PROJECT CONTACT: TERRY WEST LLC www.terwestllc.com

CONCEPTUAL ONLY. NOT FOR CONSTRUCTION	
OWNER'S SEAL J. BOWMAN PROFESSIONAL ENGINEER STATE OF NEW MEXICO NO. 10589 EXPIRES 09-25-24 BOARD OF PROFESSIONAL ENGINEERS	DESIGNED BY J. BOWMAN DATE 09-25-24 DRAWING 2023004-CR SHEET # 7 DATE 09-25-24 PROJECT 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NM 87109 PROJECT CONTACT: TERRY WEST LLC www.terwestllc.com
RETAIL AT 7 BAR ALBUQUERQUE, NM EXISTING BASIN	



LEGAL DESCRIPTION:
 LT 2-A LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING PHASE II (BEING A REPEAT OF TRACT 2 COTTONWOOD CROSSING PHASE I) CONT 1.5008 AC
 LT 2-B LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSING PHASE II (BEING A REPEAT OF TRACT 2 COTTONWOOD CROSSING PHASE I) CONT 1.5483 AC
 3.20 ACRES OF THE CONTROLLING SITE DEVELOPMENT PLAN

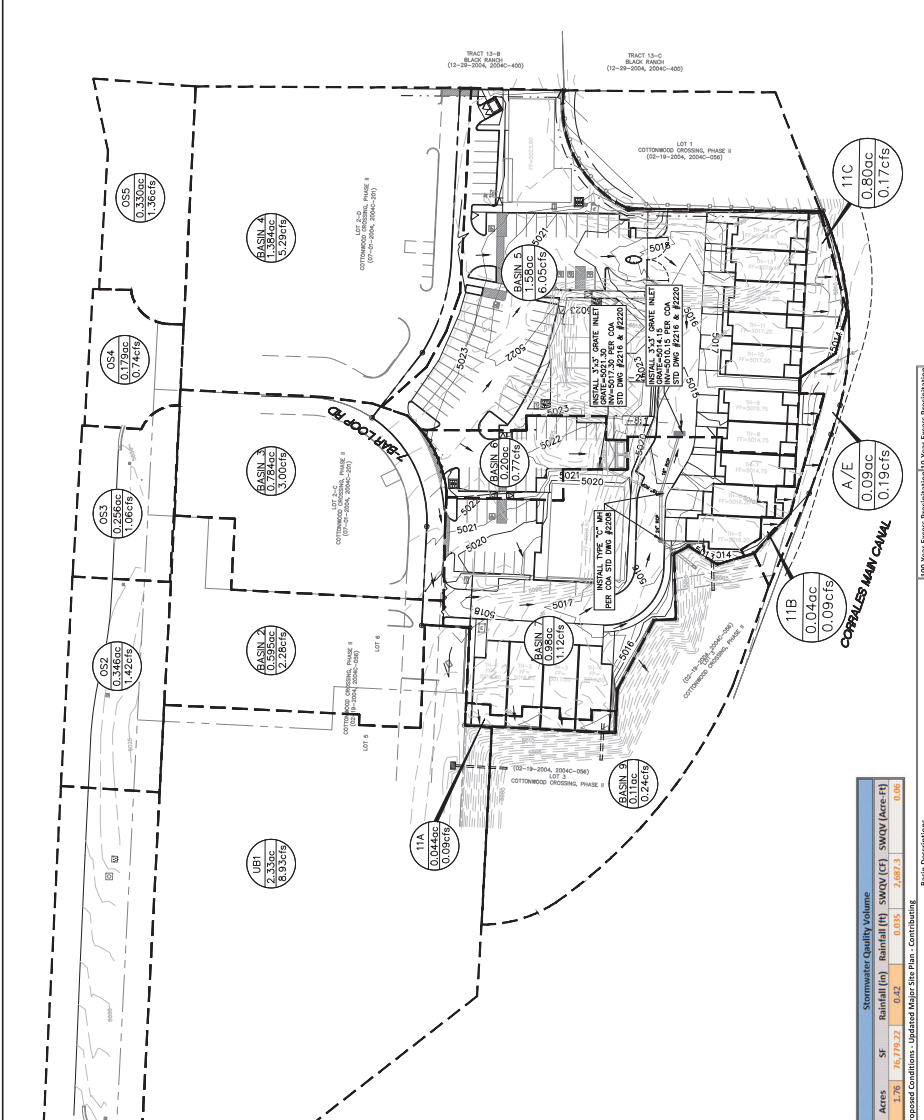


CONCEPTUAL ONLY. NOT FOR CONSTRUCTION

DRAWER'S SEAL
 RETAIL AT 7 BAR ALBUQUERQUE, NM

PROPOSED BASIN

DATE 09-25-24
DRAWING 2023004-CR
SHEET # 8
DATE 09-25-24
SCALE 1"=40'
PROJECT 5571 MIDWAY PARK PL, NE ALBUQUERQUE, NM 87109 (505) 854-7100
DESIGNER TIERREA WEST LLC
WWW www.tierrewestllc.com



PRELIMINARY APPROVED

City of Albuquerque
 Department of Public Works
 Engineering Division
 1000 Central Expressway, NE
 Albuquerque, NM 87106
 (505) 763-3333
 www.ci.albuquerque.nm.us

AMFCA GENERAL CONSTRUCTION NOTES REQUIRERS

AMFCA'S PROJECT MANAGER SHALL BE NOTIFIED BY EMAIL AT LERSEN@AMFCA.COM OR BY PHONE AT (505) 894-2715 AT LEAST TEN (10) HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE PROJECT MANAGER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY CONCRETE INSTALLATION TO ALLOW FOR INSPECTION OF THE REBAR AND SUBSURFACE PREPARATION.

CONSTRUCTION ACTIVITIES SHALL BE NOTIFIED BY EMAIL AT LERSEN@AMFCA.COM OR BY PHONE AT (505) 894-2715 AT LEAST TEN (10) HOURS PRIOR TO ANY CONCRETE INSTALLATION TO ALLOW FOR INSPECTION OF THE REBAR AND SUBSURFACE PREPARATION.

NO WORK WILL BE PERFORMED IN THE AMFCA ROW/ASSESSMENT BETWEEN MAY 15 AND OCTOBER 15 WITHOUT WRITTEN AUTHORIZATION FROM AMFCA. ALL SURGRASS, BACKFILL, AND EMBANKMENT SHALL BE COMPACTED TO 90% (L29 ALL SURGRASS) AND 95% (L29 EMBANKMENT) WITHIN THE AMFCA ROW/ASSESSMENT. TEST REPORTS SHALL BE PROVIDED TO AMFCA WITHIN THE AMFCA ROW/ASSESSMENT.

AS-BUILT PLANS SHALL BE SUBMITTED TO AMFCA FOR ANY CONSTRUCTION WITHIN THE AMFCA ROW/ASSESSMENT BEFORE FINAL WRITTEN ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ANY CONSTRUCTION WITHIN THE AMFCA ROW/ASSESSMENT. THE CONTRACTOR SHALL MAINTAIN OR REPAIR ALL AMFCA INFRASTRUCTURE FACILITIES. ALL REPAIRS WILL BE PERFORMED TO RETURN FACILITIES TO ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN OR REPAIR ALL AMFCA INFRASTRUCTURE FACILITIES. ALL REPAIRS WILL BE PERFORMED TO RETURN FACILITIES TO ORIGINAL CONDITION.

CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE AMFCA ROW/ASSESSMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ANY CONSTRUCTION WITHIN THE AMFCA ROW/ASSESSMENT. THE CONTRACTOR SHALL MAINTAIN OR REPAIR ALL AMFCA INFRASTRUCTURE FACILITIES. ALL REPAIRS WILL BE PERFORMED TO RETURN FACILITIES TO ORIGINAL CONDITION.

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Stormwater Quality Volume

Area	SF	Rainfall (in)	SWQV (ft)	SWQV (acre-ft)
Basin 1	76,179.22	0.42	0.035	2,687.3
Total				0.06

Proposed Conditions - Updated Major Site Plan - Contributing

Basin ID	Descriptor	Area (sq ft)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Treatment E		Treatment F				
				% (acres)	% (volume)	% (acres)	% (volume)	% (acres)	% (volume)	% (acres)	% (volume)	% (acres)	% (volume)	% (acres)	% (volume)			
BASIN#1	Undeveloped	101,659.00	2.334	0.00365	0%	0.00	15%	0.15	0%	0.00	85%	1.58	0.01	0.39	8.91	1.25	0.24	5.18
BASIN#2	Paved	25,315.70	0.579	0.00035	0%	0.00	15%	0.09	0%	0.00	85%	0.51	0.01	0.10	2.28	1.25	0.06	1.37
BASIN#3	Paved	10,271.00	0.234	0.00015	0%	0.00	15%	0.21	0%	0.00	85%	1.38	0.01	0.23	5.29	1.25	0.14	3.19
BASIN#4	Paved	60,271.00	1.384	0.00015	0%	0.00	15%	0.21	0%	0.00	85%	1.38	0.01	0.27	6.05	1.25	0.17	3.65
BASIN#5	7' Pav. - B. T. H. 8'-L.4	168,859.35	3.851	0.00027	0%	0.00	15%	0.24	0%	0.00	85%	1.54	0.01	0.27	6.05	1.25	0.17	3.65
BASIN#6	7' Pav. - B. T. H. 8'-L.4	168,859.35	3.851	0.00027	0%	0.00	15%	0.24	0%	0.00	85%	1.54	0.01	0.27	6.05	1.25	0.17	3.65
BASIN#7	8' Pav. - B. T. H. 8'-L.4	172,267.00	3.946	0.00026	0%	0.00	15%	0.24	0%	0.00	85%	1.54	0.01	0.27	6.05	1.25	0.17	3.65
BASIN#8	AMFCA Paved	33,203.30	0.762	0.00015	0%	0.00	0%	0.00	0%	0.00	100%	0.76	2.24	0.14	3.14	1.43	0.05	1.36
Total		945,294.12	2.132	0.00015	0.00	1.08	0.00	6.46	0.00	0.00	1.35	39.57	0.84	18.49				

Non-contributing Basins (Sheet Flow to Corries Main Canal or Retained On-Site)

Basin ID	Descriptor	Area (sq ft)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Treatment E		Treatment F		
				% (acres)	% (volume)	% (acres)	% (volume)	% (acres)	% (volume)	% (acres)	% (volume)	% (acres)	% (volume)			
OFF-SITE BASIN#1	Core Blvd	14,315.10	0.329	0.00021	0%	0.00	0%	0.00	100%	0.33	2.24	0.06	1.36	1.43	0.04	0.85
OFF-SITE BASIN#2	Core Blvd	15,064.40	0.346	0.00024	0%	0.00	0%	0.00	100%	0.35	2.24	0.06	1.42	1.43	0.04	0.88
OFF-SITE BASIN#3	Core Blvd	13,138.80	0.299	0.00020	0%	0.00	0%	0.00	100%	0.30	2.24	0.05	1.06	1.43	0.03	0.68
OFF-SITE BASIN#4	Core Blvd	13,138.80	0.299	0.00020	0%	0.00	0%	0.00	100%	0.30	2.24	0.05	1.06	1.43	0.03	0.68
Total		67,731.20	1.555	0.00043	0.00	0.00	0.00	0.00	100%	1.56	10.97	0.29	6.41	6.41	0.19	4.00

Blowing Contributing Off-Site Basins:

OFF-SITE BASIN#1
 Core Blvd
 Area: 14,315.10 sq ft (0.329 acres)
 SWQV: 0.00021 acre-ft

OFF-SITE BASIN#2
 Core Blvd
 Area: 15,064.40 sq ft (0.346 acres)
 SWQV: 0.00024 acre-ft

OFF-SITE BASIN#3
 Core Blvd
 Area: 13,138.80 sq ft (0.299 acres)
 SWQV: 0.00020 acre-ft

OFF-SITE BASIN#4
 Core Blvd
 Area: 13,138.80 sq ft (0.299 acres)
 SWQV: 0.00020 acre-ft

Total
 Area: 67,731.20 sq ft (1.555 acres)
 SWQV: 0.00043 acre-ft

Blowing Contributing Off-Site Basins:

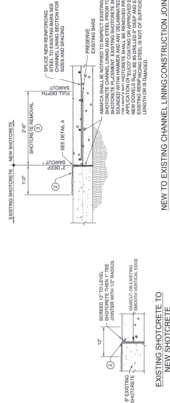
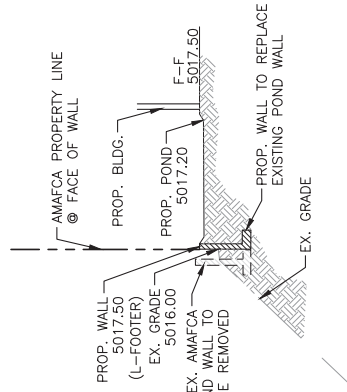
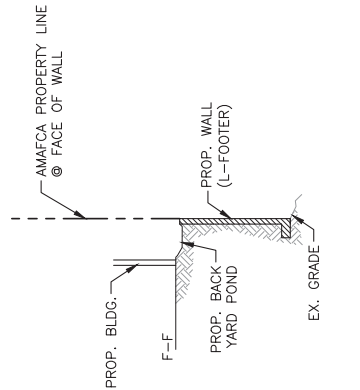
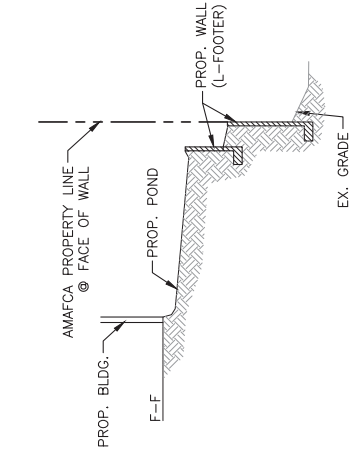
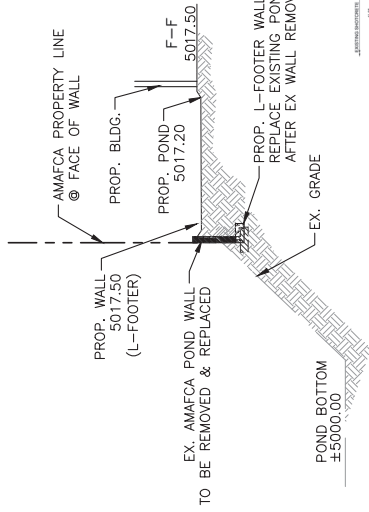
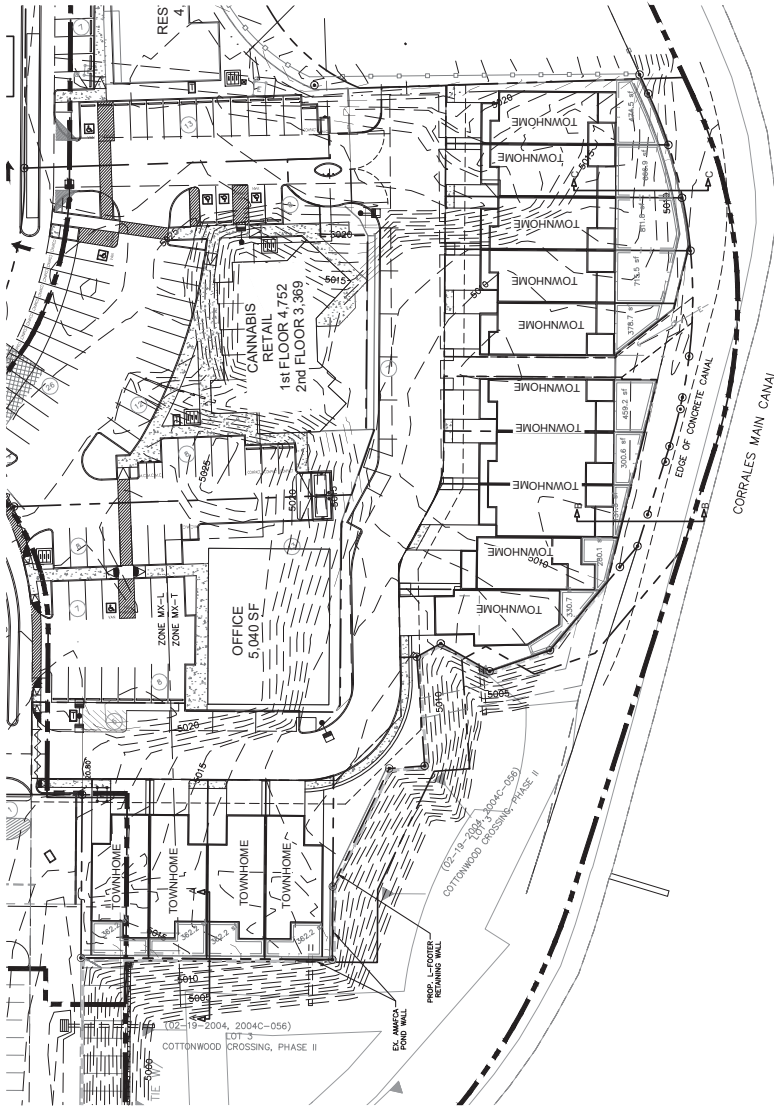
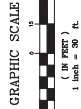
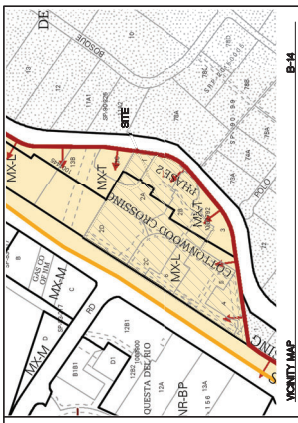
OFF-SITE BASIN#1
 Core Blvd
 Area: 14,315.10 sq ft (0.329 acres)
 SWQV: 0.00021 acre-ft

OFF-SITE BASIN#2
 Core Blvd
 Area: 15,064.40 sq ft (0.346 acres)
 SWQV: 0.00024 acre-ft

OFF-SITE BASIN#3
 Core Blvd
 Area: 13,138.80 sq ft (0.299 acres)
 SWQV: 0.00020 acre-ft

OFF-SITE BASIN#4
 Core Blvd
 Area: 13,138.80 sq ft (0.299 acres)
 SWQV: 0.00020 acre-ft

Total
 Area: 67,731.20 sq ft (1.555 acres)
 SWQV: 0.00043 acre-ft



CONCEPTUAL ONLY NOT FOR CONSTRUCTION	
ENGINEER'S SEAL	PROJECT #
	RETAIL AT 7 BAR ALBUQUERQUE, NM CROSS SECTIONS AT POND AND AT CHANNEL
DRAWN BY DATE 09-25-24 DRAWING	SHEET # EX-1 JOB # 2023004
YESTER WISSET, LLC 1000 UNIVERSITY BLVD. SW ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.yesterdaywisset.com	