

Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up
between the hours of 5AM and 8PM.

Reviewer: *Adrian Maraz*

Date: 1-6-25

APPROVED FOR 14 RESIDENTIAL TRASH/RECYCLE CARTS FOR 14 TOWNHOMES
EACH LOCATION MUST STORE CARTS ON PROPERTY/ INSIDE GARAGE UNITS
ALL CONTAINERS TO BE ACCESSIBLE BY 7AM THRU 8PM ON SERVICE DAY.

PROJECT NUMBER: PR-2023009105

APPLICATION NUMBER: SI-2023-01402

KEYED NOTES

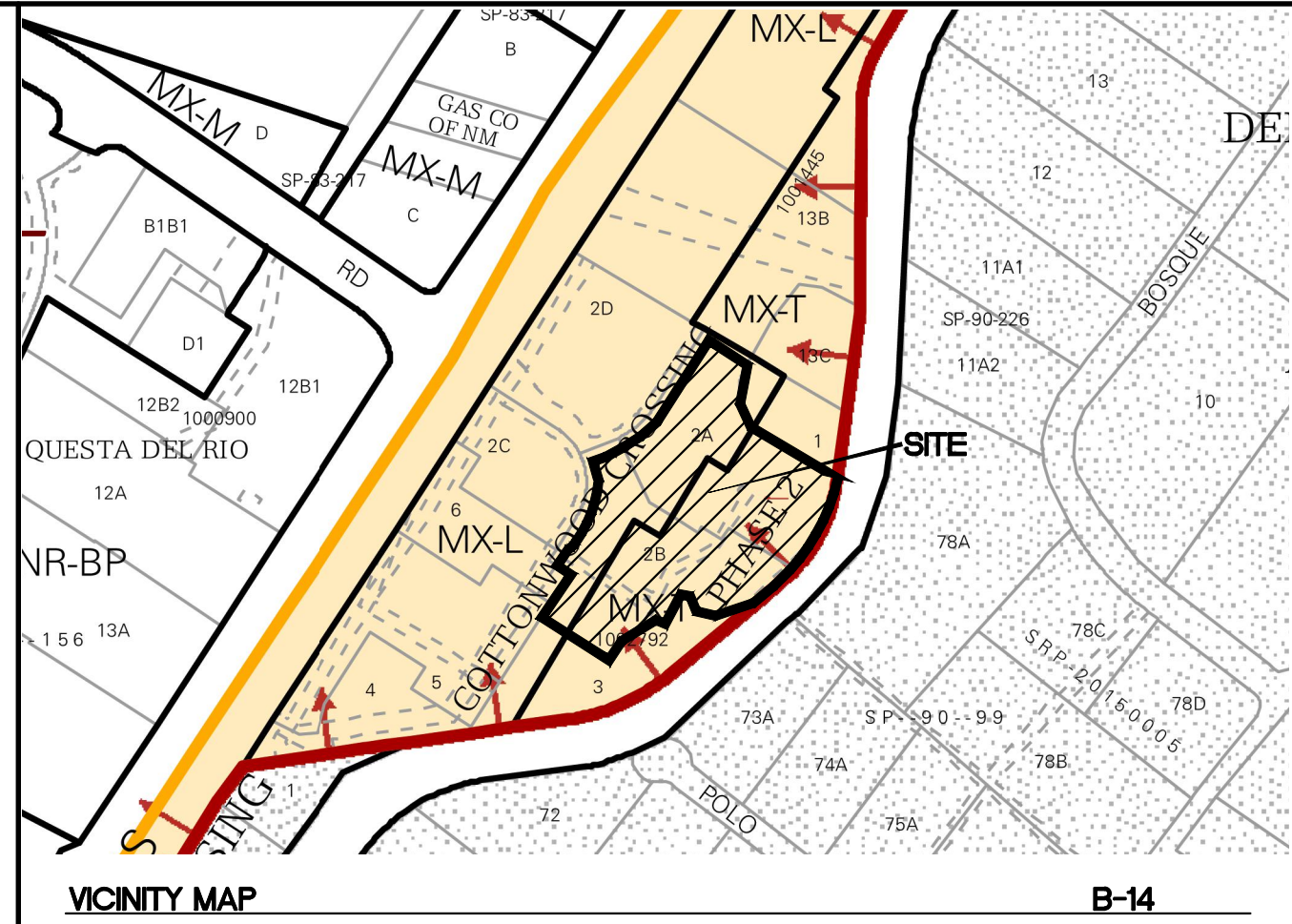
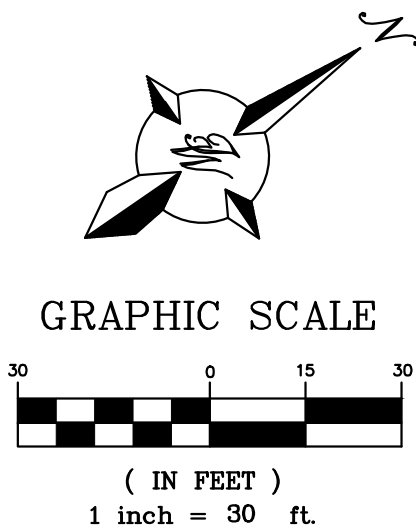
- 1 ACCESSIBLE PARKING PER ADA STANDARDS W/SIGN
- 2 STD CURB AND GUTTER PER COA STD DWG 2415A
- 3 ACCESSIBLE RAMP SEE DETAIL C5.0
- 4 CONCRETE SIDEWALK
- 5 MOTORCYCLE SPACE W/SIGN (4'X8' MIN)
- 6 WHEEL STOP (TYP)
- 7 BICYCLE RACK SEE DETAIL SHEET C5.0
- 8 TRANSFORMER
- 9 TRANSFORMER TO BE REMOVED
- 10 DOUBLE / SINGLE DUMPSTER SEE DETAIL SHEET C5.1
- 11 EXISTING WALL
- 12 PEDESTRIAN CROSSING
- 13 SITE LIGHTING FIXTURES WITH FULL CUT OFF.
- 14 MPO VAN ACCESSIBLE PARKING
- 15 MPO PEDESTRAIN ACCESS GATE
- 16 MPO 6' LANDSCAPE BUFFER
- 17 WALLS & FOOTING ADJACENT TO MPO WILL BE WHOLLY CONTAINED WITHIN BUFFER
- 18 PER IDO 5-3(D)(3)(C) MATERIALS TO ALERT MOTORIST
- 19 PNM EASEMENT

GENERAL NOTES - SITE PLANS

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
2. WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
3. GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
4. GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
5. GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
6. PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 - 1/2" @ ALL EXIT DOORS
 - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 - 1 1/2" @ OVERHEAD DOORS
 - 1 1/2" @ PRE-FAB METAL WALL PANELS
7. PARKING LOT SHALL BE ASPHALT PAVING
8. SITE ACREAGE IS 3.2 ACRE PORTION OF LARGER 10 ACRE CONTROLLING SITE DEVELOPMENT AREA
9. VARIANCE BEING REQUESTED FOR 45' BUFFER AT MPO EDGE TO BE REDUCED TO 6' BUFFER. VA-20236-000315 (MPOS VA)
10. REFERENCE VA-2023-000315 (MPOS VA)
11. GENERAL NOTE: HEIGHTS OF BUILDINGS SUBJECT FOR VARIANCE REQUEST TO VPO - BUILDINGS HEIGHT STANDARDS VA-2023-000314 (VPO-1 VA)
12. SITE PLAN DESIGNED IN COMPLIANCE W/ CPO-2 STANDARDS PURSUANT TO IDO 3-4 (c)

INDEX TO DRAWINGS

- | | |
|-------|--------------------------------------|
| C1.0 | SITE PLAN FOR BUILDING PERMIT |
| C1.1 | SITE PLAN- VIEW PLANE ANALYSIS |
| C1.2 | SITE PLAN- VIEW PLANE ANALYSIS |
| C2.0 | CONCEPTUAL GRADING AND DRAINAGE PLAN |
| C2.1 | EXISTING BASIN |
| C2.2 | PROPOSED BASIN |
| C3.0 | CONCEPTUAL MASTER UTILITY PLAN |
| C4.0 | BUILDING ELEVATIONS |
| C4.1 | BUILDING ELEVATIONS |
| C4.2 | BUILDING ELEVATIONS |
| C4.3 | BUILDING ELEVATIONS |
| C4.4 | BUILDING ELEVATIONS |
| C5.0 | DETAIL SHEET |
| C5.1 | DETAIL SHEET |
| LS101 | LANDSCAPING PLAN |



LEGAL DESCRIPTION

LT 2-A LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSINGPHASE II (BEING A REPLAT OF TRACT 2 COTTONWOOD CROSSINGPHASE II) CONT 1.5908 AC

LT 2-B LOTS 2-A, 2-B, 2-C AND 2-D COTTONWOOD CROSSINGPHASE II (BEING A REPLAT OF TRACT 2 COTTONWOOD CROSSINGPHASE II) CONT 1.5483 AC

3.20 ACRES OF THE CONTROLLING SITE DEVELOPMENT PLAN

SITE DATA

LOT AREA 136744 SF (3.20 ACRES)

ZONING MX-L & MX-T

BUILDING A

PROPOSED USE COMMERCIAL

BUILDING FOOTPRINT 5040 SF

BUILDING B

PROPOSED USE CANNABIS RETAIL

BUILDING FOOTPRINT 4752 SF

TOTAL SF 8,121 SF

BUILDING C

PROPOSED USE RESTAURANT

BUILDING FOOTPRINT 4057 SF

DWELLING UNIT

PROPOSED USE RESIDENTIAL

14 OF UNITS 1740± SF EACH

TOTAL AREA 23951 SF

COMMERCIAL PARKING

BUILDING A

PARKING REQUIRED 17 SPACES (3.5 SPACES/1000 SF GFA)

PARKING PROVIDED 28 SPACES

ACCESSIBLE SPACES REQUIRED 1 SPACE

ACCESSIBLE SPACES PROVIDED 1 SPACE VAN ACCESSIBLE

MOTORCYCLE SPACES REQUIRED AND PROVIDED 1 SPACE

BICYCLE SPACES REQUIRED AND PROVIDED 2

BUILDING B

TWO-STORY CANNABIS RETAIL

PARKING SPACES REQUIRED 32 SPACES (4 SPACES/1,000 SF GFA)

PARKING SPACES PROVIDED 53 SPACES (10 SHARED W/BLDG C)

ACCESSIBLE SPACES REQUIRED 2 SPACES

ACCESSIBLE SPACES PROVIDED 3 SPACES (1 VAN ACCESSIBLE)

MOTORCYCLE SPACES REQUIRED 1 SPACE

MOTORCYCLE SPACES PROVIDED 3 SPACES

BICYCLE SPACES REQUIRED AND PROVIDED 5

BUILDING C

PARKING SPACES REQUIRED 22 SPACES (5.6 SPACES/1,000 SF GFA)

PARKING SPACES PROVIDED 20 SPACES (10 SHARED W/BLDG B)

ACCESSIBLE SPACES REQUIRED AND PROVIDED 1 SPACE

(1 VAN ACCESSIBLE)

MOTORCYCLE SPACES REQUIRED AND PROVIDED 1 SPACE

BICYCLE SPACES REQUIRED AND PROVIDED 3

RESIDENTIAL PARKING

TOWNHOMES 2 SPACE/PER UNIT

TOTAL PARKING REQUIRED 28 SPACES

GARAGE PARKING 28 SPACES

LANDSCAPE REQUIRED 14847 SF (15% NET AREA)

LANDSCAPE PROVIDED 19880 SF

THE REQUIRED 10% PARKING REDUCTION IS REQUESTED, NOT REQUIRED, PURSUANT TO IDO 5-5(C)(5)C FOR PROXIMITY TO TRANSIT.

THE REQUEST IS TO ADD THE RESTAURANT, CANNABIS RETAIL, OFFICE, AND TOWNHOMES USES TO THE CONTROLLING SITE PLAN.

	ENGINEER'S SEAL	DRAWN BY pm/as
	DATE 09-25-24	
	RETAIL AT 7 BAR ALBUQUERQUE, NM	DRAWING 2023004-SP
	SITE PLAN - EPC (NOT BUILDING PERMIT SET)	SHEET # 4
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2023004