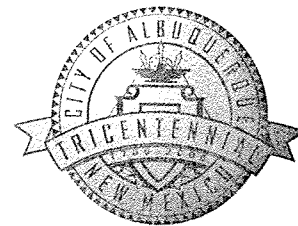


# CITY OF ALBUQUERQUE



October 4, 2006

Mr. Guy Jackson, PE  
**ASCG AND GJA**  
6501 Americas Parkway NE  
Suite 400  
Albuquerque, NM 87110

**Re: AUTOZONE @ COORS AND ALAMEDA**  
**10165 Coors Blvd. NW**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 12/12/2005 (B-14/D12)**  
**Certification dated 10/04/2006**

P.O. Box 1293

Dear Guy,

Albuquerque

Based upon the information provided in your submittal received 10/04/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

*Arlene V. Portillo*

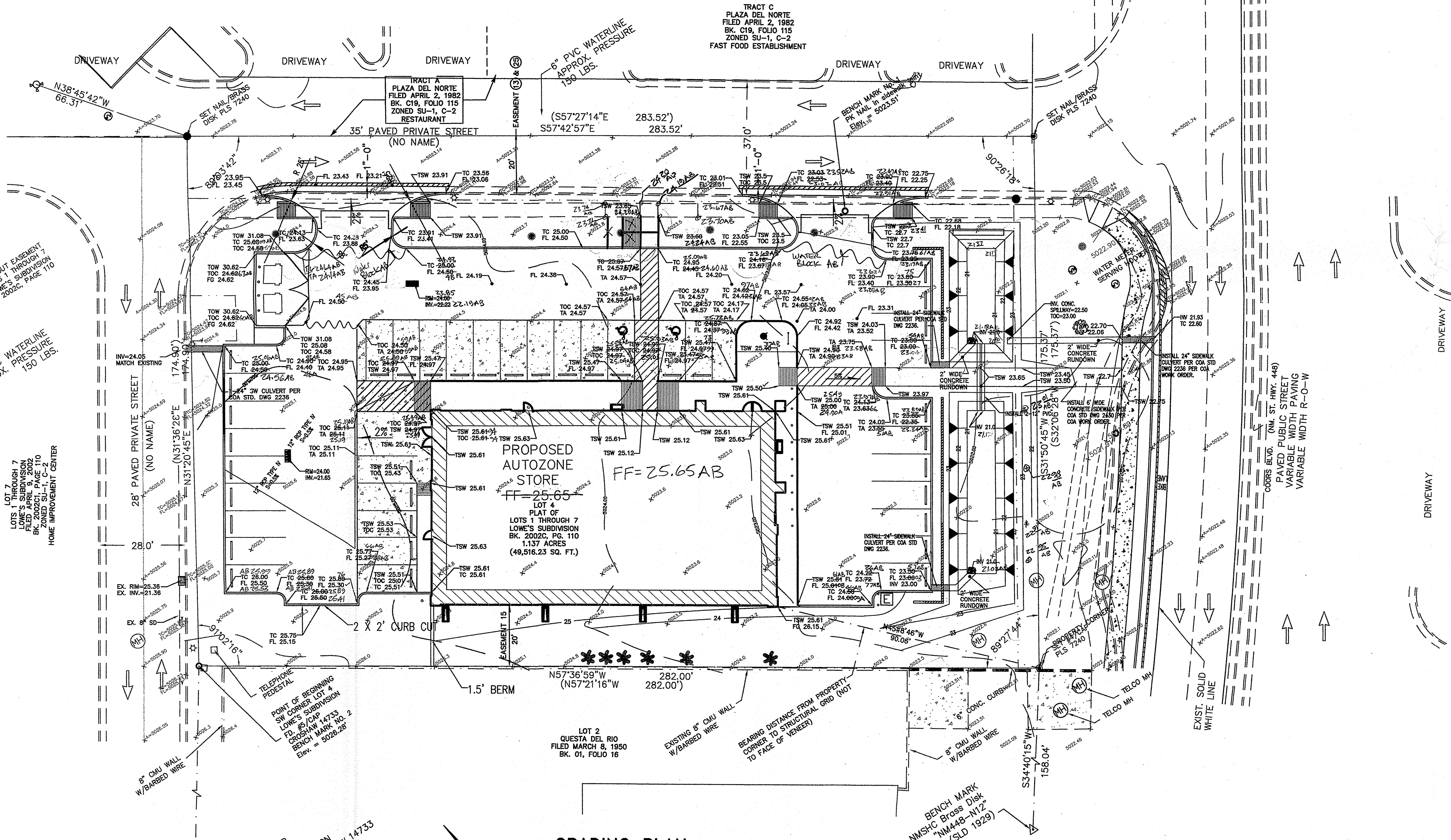
Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

C: C.O. Clerk  
File

AS INDICATED BY THE REVISED AS-BUILT INFORMATION SHOWN HEREON, THIS PROJECT APPEARS TO HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN. (SUBSTANTIAL COMPLIANCE) 8/8 10/4/06

NOTE THAT THE AS-BUILTS FOR THE WORK ORDER CONSTRUCTION IN THE COORS (NMDOT) RIGHT-OF-WAY, WILL BE PREPARED AND SUBMITTED ON THE WORK ORDER PLANS. IT IS BASED UPON THIS EVALUATION OF AS-CONSTRUCTED CONDITIONS THAT ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) IS HEREBY RECOMMENDED. COLLECTION OF THE AS-BUILT INFORMATION WAS PREPARED BY ALBUQUERQUE SURVEYING CO. INC. ON OCTOBER 3, 2006. THIS INFORMATION IS INTENDED ONLY TO VERIFY CONFORMANCE WITH THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS OR EVALUATE ADA ACCESSIBILITY ISSUES OR COMPLIANCE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE. SUBSTANTIAL COMPLIANCE 8/8 10/4/06

GUY C. JACKSON, NMPE 13289 DATE 10-4-06



LEGEND:

- DIRECTION OF FLOW
- BASIN BOUNDARY
- WATER BLOCK
- FLOWLINE
- TSW TOP OF SIDEWALK
- TA TOP OF ASPHALT
- TC TOP OF CURB
- FL FLOWLINE
- EA EDGE OF ASPHALT
- BOC BACK OF CURB
- EOC EDGE OF CONCRETE
- TOW TOP OF WALL
- TOC TOP OF CONCRETE
- 25.65 AB AS-BUILT ELEV.

APPROVALS	NAME	DATE
INSPECTOR		

NOTICE TO CONTRACTORS

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985, UPDATE 7
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET CLASSIFICATION USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



ASCG INCORPORATED  
ENGINEERS - ARCHITECTS - SURVEYORS - PLANNERS  
601 AMERICA'S PARKWAY, SUITE 400  
MEMPHIS, TENNESSEE 38103  
PHONE 901.247.0234 FAX 901.247.4545

AUTOZONE, INC.  
123 SOUTH FRONT STREET  
MEMPHIS, TENNESSEE, 38103

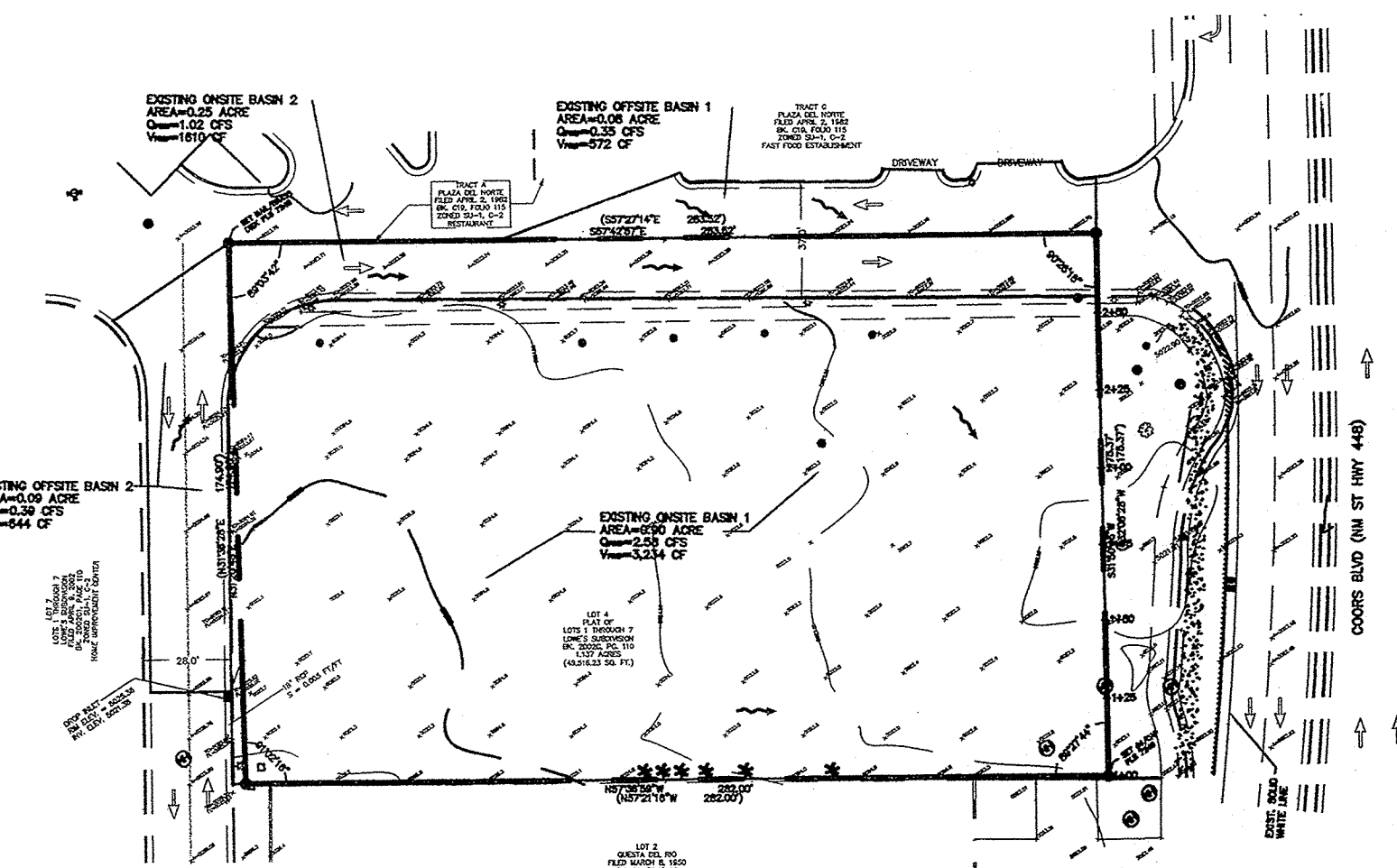
AUTOZONE STORE: NO. 0579  
COORS + ALAMEDA  
GRADING PLAN

REVISIONS  
NUMBER: DATE:

REVISIONS  
NUMBER: DATE:

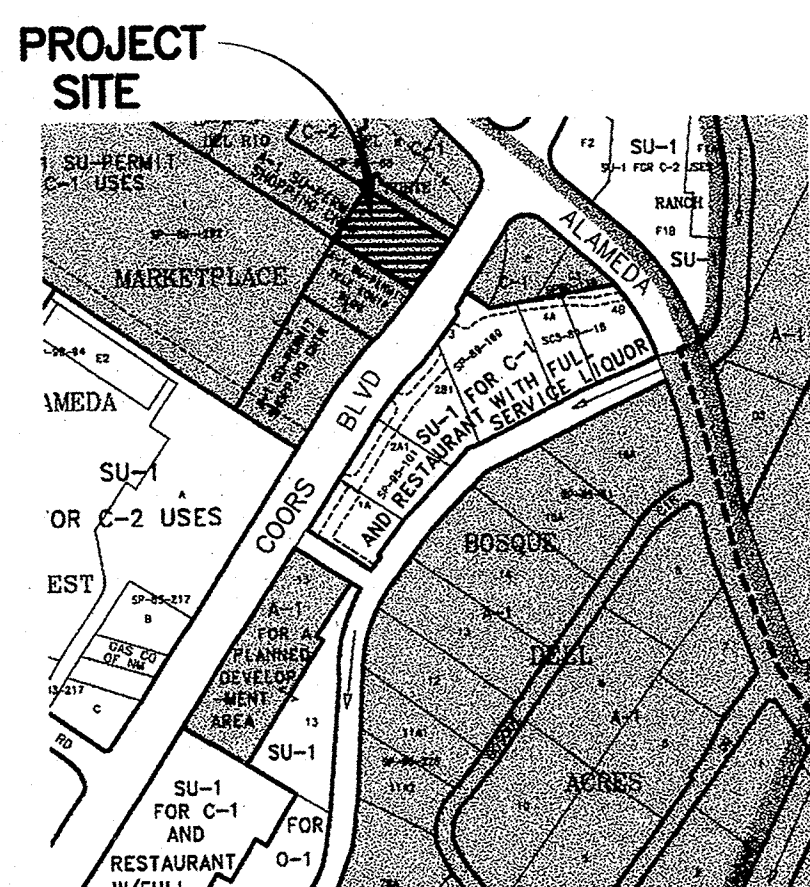
JOB NO: 20615  
DATE: 04/02/2005  
DRAWN BY: WR  
CHECKED BY: HC  
DRAWING NO: C2.0  
SHEET OF



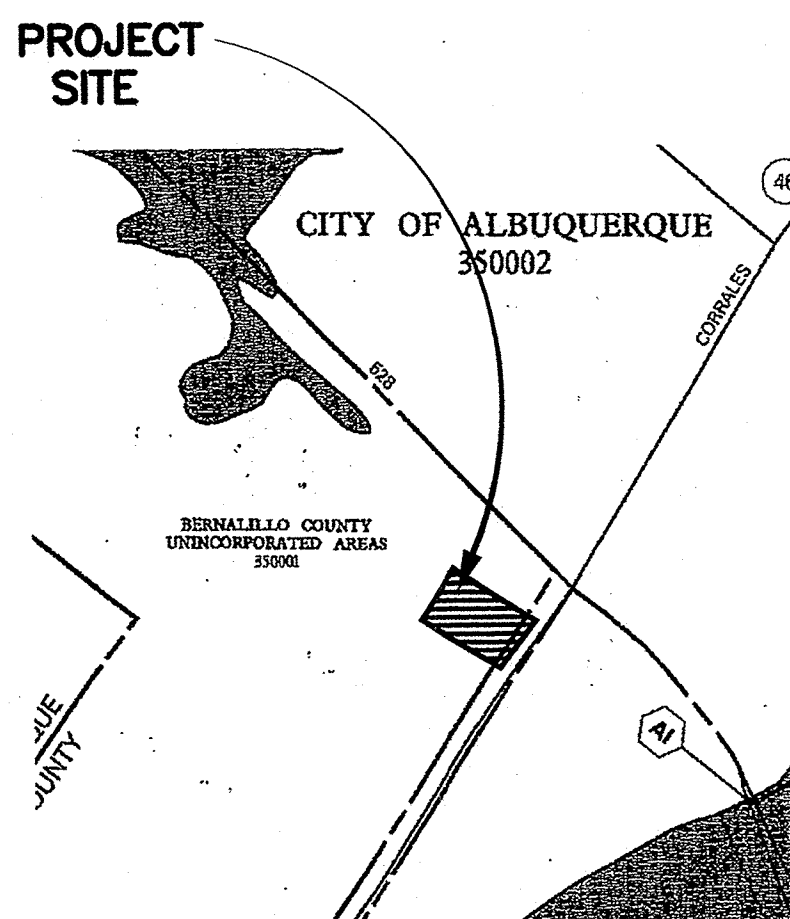


EXISTING DRAINAGE PLAN

0 25' 50' 100' 200'  
SCALE: 1"=50'



VICINITY MAP  
PANEL B-14



F.I.R.M.  
PANEL 109 of 825

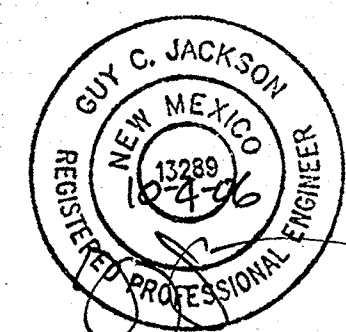
# LEGEND:

- DIRECTION OF FLOW
- BASIN BOUNDARY
- WATER BLOCK
- FLOWLINE
- PROPOSED ELEVATION
- TOP OF SIDEWALK
- TOP OF ASPHALT
- TOP OF CURB
- FLOWLINE
- EDGE OF ASPHALT
- BACK OF CURB
- EDGE OF CONCRETE
- TOP OF WALL
- TOP OF CONCRETE

AS INDICATED BY THE REVISED AS-BUILT INFORMATION SHOWN HEREON, THIS PROJECT APPEARS TO HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN.

NOTE THAT THE AS-BUILTS FOR THE WORK ORDER CONSTRUCTION IN THE COORS (NMDOT) RIGHT-OF-WAY, WILL BE PREPARED AND SUBMITTED ON THE WORK ORDER PLANS. IT IS BASED UPON THIS EVALUATION OF AS-CONSTRUCTED CONDITIONS THAT ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) IS HEREBY RECOMMENDED. COLLECTION OF THE AS-BUILT INFORMATION WAS PREPARED BY ALBUQUERQUE SURVEYING CO. INC. ON OCTOBER 3, 2006. THIS INFORMATION IS INTENDED ONLY TO VERIFY CONFORMANCE WITH THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS OR EVALUATE ADA ACCESSIBILITY ISSUES OR COMPLIANCE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

GUY C. JACKSON, NMPE 13289 DATE 10-4-06



## DRAINAGE PLAN

### EXECUTIVE SUMMARY

THIS PROJECT, LOCATED AT THE SOUTHWEST CORNER OF THE ALAMEDA AND COORS BLVD. INTERSECTION SOUTH OF THE EXISTING WENDY'S RESTAURANT, CONSISTS OF NEW CONSTRUCTION OF A 7381 SF, SINGLE STORY -AUTOZONE STORE, PARKING LOT AND ASSOCIATED LANDSCAPING. THE SITE IS CURRENTLY UNDEVELOPED, BUT IS WITHIN A LARGELY DEVELOPED INFILL AREA, AS IDENTIFIED IN THE SITE DEVELOPMENT PLAN OF THE LOWE'S MASTER PLAN (12/01). THE PURPOSE OF THIS DRAINAGE PLAN IS TO OBTAIN BUILDING PERMIT APPROVAL.

### REFERENCES

THE DRAINAGE ANALYSIS INCLUDES REFERENCES FROM THE MASTER DRAINAGE REPORT PREPARED FOR THE LOWE'S HOME IMPROVEMENT CENTER OF NW ALBUQUERQUE DATED 12/20/01.

### PROJECT DESCRIPTION

AS SHOWN ON VICINITY MAP B-14, THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE ALAMEDA AND COORS BLVD. INTERSECTION, JUST SOUTH OF THE EXISTING WENDY'S RESTAURANT ON 528. ACCORDING TO THE ALTA SURVEY PREPARED BY RICHARD J. TRESISE, DATED MARCH 18, 2005, THE SITE IS CURRENTLY ZONED SU-1, THE ALTA SURVEY DESCRIBES THE CURRENT LEGAL DESCRIPTION AS: LOT NUMBERED FOUR (4) OF LOWE'S SUBDIVISION, AS THE SAME SHOWN AND DESIGNATED ON THE PLAT ENTITLED, "PLAT 1 THROUGH 7, LOWE'S SUBDIVISION, WITHIN PROJECTED SECTIONS 5 AND 8, T11N, R3E, N.M.P.M. TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", AS SHOWN BY PANEL 109 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THIS SITE LIES WITHIN DESIGNATED FLOOD HAZARD ZONE X. ZONE X IS CHARACTERIZED BY AREAS DETERMINED TO BE OUTSIDE THE 500-YR FLOODPLAIN.

### EXISTING CONDITIONS AND DRAINAGE PATTERNS

THE SITE IS RELATIVELY FLAT WITH SLOPES AROUND 2%. THE SITE APPEARS TO MOSTLY DRAIN FROM THE WEST TO THE EAST INTO THE COORS BLVD. STORM DRAIN SYSTEM. ACCORDING TO THE USCS -SOIL SURVEY FOR BERNALILLO COUNTY, THE SITE SOILS ARE BOC (BLUFPUNT) WHICH ARE CLASSIFIED AS WELL DRAINED SOILS WITH HYDROLOGIC SOIL GROUP "B". THE SITE CONSISTS OF TWO ONSITE BASINS WITH THE COMBINED AREA OF 1.15 ACRES. ONSITE (EXISTING) BASIN 1 IS BORDERED BY CURB AND GUTTER TO THE NORTH AND WEST LIMITING OFFSITE FLOWS FROM ENTERING THIS BASIN. ONSITE (EXISTING) BASIN 1 IS APPROXIMATELY 0.90 ACRES AND IS CURRENTLY UNDEVELOPED. ONSITE (EXISTING) BASIN 1 FLOWS FROM THE WEST TO THE EAST VIA SURFACE FLOWS INTO THE COORS BLVD RIGHT OF WAY. THE TOTAL HISTORIC UNDEVELOPED 100YR-6HR RUNOFF FROM ONSITE (EXISTING) BASIN 1 IS 2.58 CFS. ONSITE (EXISTING) BASIN 2 IS LOCATED AT THE NORTHERN PORTION OF THE SITE AND CONTAINS APPROXIMATELY 0.25 ACRES. ONSITE (EXISTING) BASIN 2 CONSISTS OF A DEVELOPED PRIVATE ASPHALT ROAD WHICH RECEIVES FLOW FROM TWO OFFSITE BASIN (OFFSITE (EXISTING) BASINS 1 & 2), WHICH ARE ALSO PART OF THE PRIVATE ASPHALT ROAD. ALL FOUR OF THESE BASINS SURFACE FLOW FROM THE WEST TO THE EAST AND INTO COORS BLVD. RIGHT OF WAY. THE TOTAL HISTORIC DEVELOPED 100YR-6HR RUNOFF FROM THESE BASINS ARE 4.34 CFS.

### DEVELOPED CONDITIONS AND DRAINAGE PATTERNS

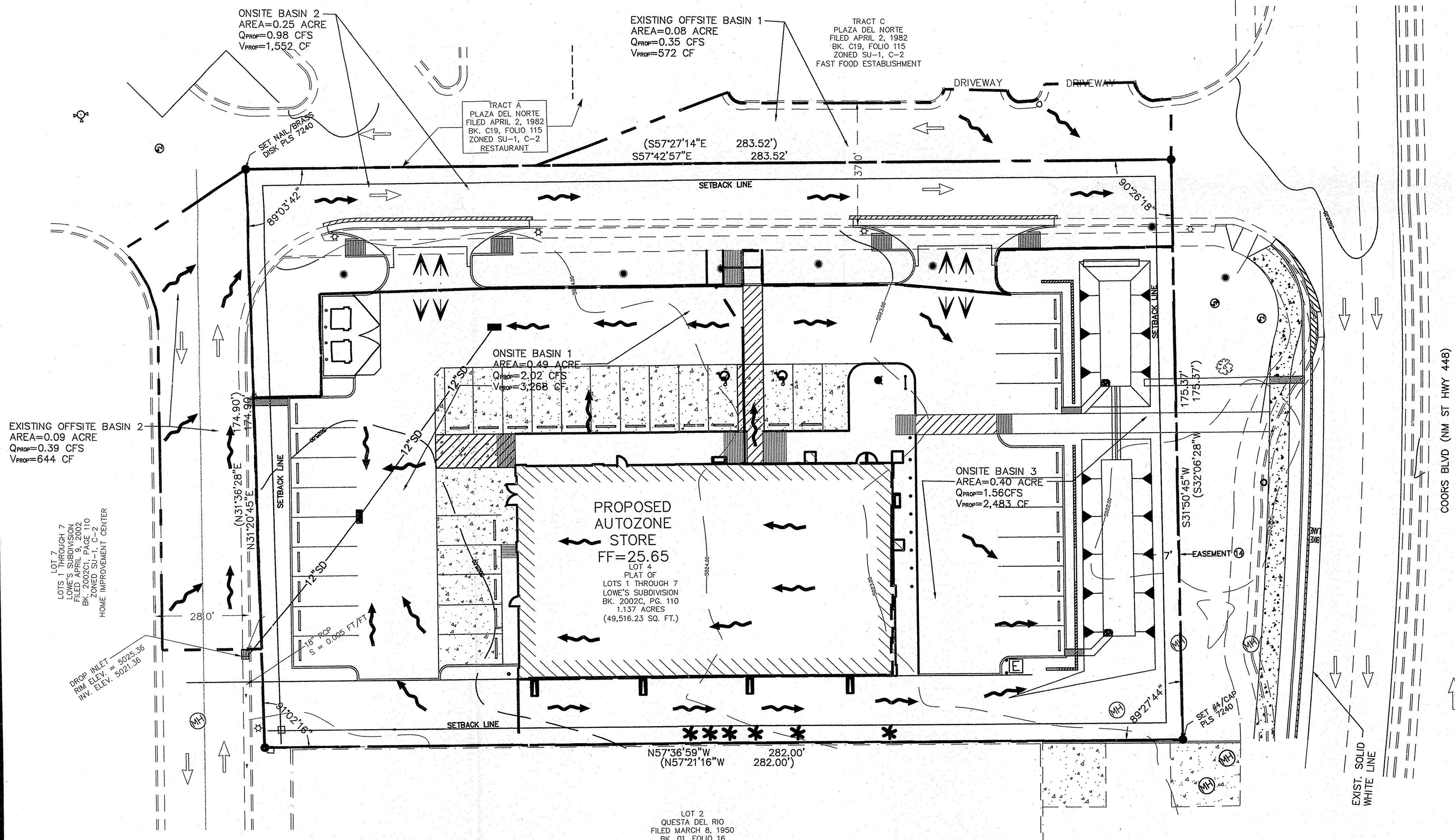
THE PROPOSED GRADING OF THE SITE WILL SPLIT THE EXISTING ONSITE BASIN 1 INTO TWO DIFFERENT SUBBASINS. ONSITE (DEVELOPED) BASIN 1 AND ONSITE (DEVELOPED) BASIN 3. OFFSITE BASIN 1 AND OFFSITE BASIN 2 WILL CONTINUE TO FLOW FROM THE WEST TO THE EAST AND DISCHARGE THEIR COMBINED HISTORIC FLOW RATE OF 1.72 CFS INTO COORS BLVD. RIGHT OF WAY. THE PROPOSED ONSITE BASIN 1, APPROXIMATELY 0.49 ACRES, WILL FLOW FROM THE EAST TO THE WEST VIA SUBSURFACE FLOW IN A NEW PRIVATE STORM DRAIN SYSTEM TO THE EXISTING INLET LOCATED ON THE SOUTHWEST PROPERTY LINE. FROM THE EXISTING INLET, THE DISCHARGE WILL CONTINUE WEST VIA AN EXISTING 18" STORM DRAIN AND INTO THE EXISTING DETENTION POND LOCATED ON THE ADJACENT LOWE'S HOME IMPROVEMENT PROPERTY. THE PROPOSED AUTOZONE SITE WAS INCORPORATED INTO THE MASTER DRAINAGE PLAN FOR THE LOWE'S HOME IMPROVEMENT CENTER. THEREFORE, THE PROPOSED AUTOZONE SITE WILL BE ALLOWED FREE DISCHARGE INTO THE DETENTION POND AT A RATE NOT TO EXCEED THE 4.82CFS 100YR-6HR DISCHARGE. THE PROPOSED 100YR-6HR DISCHARGE FROM BASIN 1 INTO THE DETENTION POND WILL BE 2.02 CFS. THE PROPOSED ONSITE SUBBASIN 3 CONTAINS APPROXIMATELY 0.40 ACRES WILL FLOW FROM THE WEST TO THE EAST. DUE TO GRADING CONSTRAINTS, THE BASIN WILL DISCHARGE 1.56CFS INTO A PROPOSED ON-SITE RETENTION POND NEAR THE EAST PROPERTY LINE WITH A SPILLWAY INTO THE COORS BLVD RIGHT OF WAY AT A RATE OF 0.22CFS WHEN THE VOLUME REACHES 95% OF THE 100-YR EVENT, 24 HR EVENT (95% OF 2483CF). HOWEVER, FROM EXISTING TO PROPOSED CONDITIONS, THE DISCHARGE INTO THE COORS RIGHT OF WAY WILL BE REDUCED FROM 4.34 CFS TO 3.28CFS (A REDUCTION OF 25%) AND THE DISCHARGE INTO THE DETENTION POND LOCATED ON THE LOWE'S PROPERTY WILL BE APPROXIMATELY 32% OF THE ALLOWED DISCHARGE AS DICTATED IN THE LOWE'S MASTER GRADING PLAN.

### CALCULATIONS

THE CALCULATIONS ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

### CONCLUSION

AS STATED ABOVE, FROM EXISTING TO PROPOSED CONDITIONS, THE DISCHARGE INTO THE COORS RIGHT OF WAY WILL BE REDUCED FROM 4.34 CFS TO 3.28 CFS BY THE INSTALLATION OF THE NEW ON-SITE RETENTION PONDS AND THE DISCHARGE INTO THE DETENTION POND LOCATED ON THE LOWE'S PROPERTY WILL BE AT 32% OF THE ALLOWED 100 YR - 6HR DISCHARGE RATE AS DICTATED IN THE LOWE'S MASTER GRADING PLAN.



DRAINAGE PLAN

0 10' 20' 40' 80'  
SCALE: 1"=20'



**ASCG**  
INCORPORATED  
ENGINEERS - ARCHITECTS - PLANNERS  
6501 ALAMEDA PARKWAY NE, SUITE 400  
ALBUQUERQUE, NM 87109  
PHONE 505.247.0234 FAX 505.242.4645

**AUTOZONE, INC.**  
123 SOUTH FRONT STREET  
MEMPHIS, TENNESSEE, 38103

**AUTOZONE STORE: NO. 0579**  
COORS + ALAMEDA  
DRAINAGE PLAN

**RECEIVED**  
HYDROLOGY SECTION  
OCT 04 2005

REVISIONS	
NUMBER	DATE

JOB NO: 20615  
DATE: 09/02/2005  
DRAWN BY: WR  
CHECKED BY: HC  
DRAWING NO: C2.1  
SHEET OF