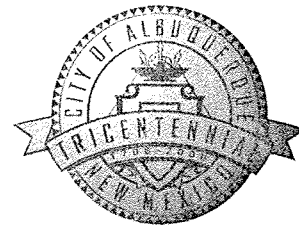


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 4, 2006

Guy C. Jackson, P.E.
6501 Americas Parkway NE, Ste. 400
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
Auto Zone @ Coors & Alameda, [B-14 / D12]
10165 Coors Blvd NW
Engineer's Stamp Dated 10/04/06

Dear Mr. Jackson:

P.O. Box 1293

The TCL / Letter of Certification submitted on October 4, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

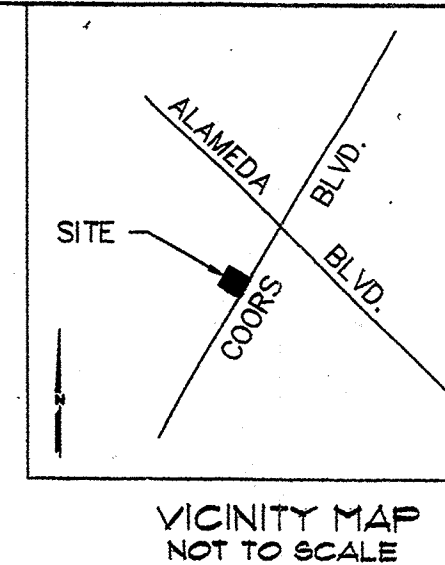
www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

Benchmark datum derived from NMSHC Survey Control for NM 448 Brass Cap NM-448-N12 approx. 158' SW of the SW Property Corner. Elev. = 5023.41

Benchmark No. 1 PK Nail in sidewalk joint approx. 68 feet NW of the NE Property Corner. Elev. = 5023.51

Benchmark #2 NW Property Corner. Found #5/Cap Croshaw PS 14733 Elev. = 5026.28



VICINITY MAP
NOT TO SCALE

- ### KEYNOTES
- 1 Pipe guard - see detail 14 & 16 / CIA
 - 2 Dumpster layout - see details 9, 10, 11, 12 / CIA
 - 3 Concrete light pole & base - see detail 8 / CIA (20 ft tall)
 - 4 Concrete curb - see details 1, 2 / CIA
 - 5 Monument sign - see sheet 8N-2
 - 6 New Accessible Ramps per City of Albuquerque Std.
 - 7 Concrete paving, see det. 4/CIA and refer to Geotech for specs
 - 8 Expansion and control joints - see det. 18 & 19 / CIA and refer to geotech for maximum or minimum spacings.
 - 9 New asphalt paving see det. 5/CIA and refer to Geotech for specifications
 - 10 4" wide painted parking stripe painted - refer to specs (typ.)
 - 11 4" wide painted diagonal stripes at 2 ft. O.C. refer to specs
 - 12 Handicap parking sign - see detail 13/ CIA
 - 13 Concrete sidewalk - see details 11 & 20/ CIA for sidewalks around building
 - 14 Concrete handicap ramp - Maximum Slope: 1:12 (8.33%)
 - 15 New curb cut and approach per City of Albuquerque std.
 - 16 New landscape area - Provide 3" topsoil. See Landscape drawing for additional information
 - 17 Painted Handicap Sign, see Detail 6 & 11 / CIA
 - 18 Bicycle spaces (2 bicycles) see detail 22 / CIA
 - 19 provide concrete splashblock at downspouts
 - 20 Install new underground electrical line. Contractor to provide and install 4" PVC with secondary wiring to point of connection. Coordinate with utility company for point of connection
 - 21 Install new underground telephone line. Contractor to provide 4" PVC conduit from telephone board to point of connection. Coordinate with telephone company for location of connection to existing service.
 - 22 Provide Concrete Transformer Pad Per FPM Requirements
 - 23 6'-0" long concrete wheel stop pinned to pavement (typical). Locate 3'-6" from face of curb or sidewalk
 - 24 Park Bench. Provide cut sheets to Architect for approval prior to installation
 - 25 Yard Hydrant Location
 - 26 Designated Motorcycle parking space w/ striping & signage
 - 27 New 36" tall screenwall

PARKING CALCULATIONS

BUILDING	1381 SF
1381 / 200 = 31 SPACES	
STANDARD PARKING = 35 SPACES	
ACCESSIBLE PARKING = 2 SPACES	
SPACES PROVIDED = 31	
MOTORCYCLE SPACES PROVIDED = 1	

BICYCLE PARKING

REQUIRED = 1 SPACE / 20 AUTO PARKING	
= 2 SPACES	
PROVIDED = 2 SPACES	

LANDSCAPE CALCULATIONS

SITE AREA	43,516 SF
BUILDING AREA	1381 SF
NET SITE AREA	42,135 SF
REQUIRED LANDSCAPE % =	15
LANDSCAPE AREA REQUIRED	6,320 SF
LANDSCAPE AREA PROVIDED	13,263 SF

GENERAL DESCRIPTION

The SU-1, C-2 Planned Community Shopping Center District

HEIGHT RESTRICTIONS: 26'

SETBACK REQUIREMENTS

All buildings in a C-2 district shall be set back from street right-of-way lines and external lot lines to comply with the following requirements:

Front: 5'
Side: 5'
Rear: 5'

USES PERMITTED

The following uses shall be permitted in the C-2 Planned Community Shopping Center District:

Auto parts and accessories;

* All surrounding properties are Zoned SU-1, C-2.

** All properties East of Coors Blvd. are Zoned SU-1, C-1.

Parking - 1 regular space for each 200 Sq. Ft. of net leasable area
1 handicap space for each 1 to 25 regular spaces

TITLE DESCRIPTION

Lot numbered Four (4) of Lowe's Subdivision, as the same is shown and designated on the Plat entitled, "Plat of Lots 1 through 7, Lowe's Subdivision, within Projected Sections 5 and 8, T11N, R3E, N.M.P.M., Town of Alameda Grant, City of Albuquerque, Bernalillo County, New Mexico", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 9, 2002, in Plat Book 2002C, Folio 110.

PARCEL DESCRIPTION (Metes and Bounds)

Lot numbered Four (4) of Lowe's Subdivision, as the same is shown and designated on the Plat entitled, "Plat of Lots 1 through 7, Lowe's Subdivision, within Projected Sections 5 and 8, T11N, R3E, N.M.P.M., Town of Alameda Grant, City of Albuquerque, Bernalillo County, New Mexico", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 9, 2002, in Plat Book 2002C, Folio 110, and being more particularly described as follows:

Beginning at the Southwest corner of the tract herein described, a point on the Southeast right of way of a private street (no name), being a found 5/8" (85) rebar and cap, impressed Croshaw, PS 14733, and running thence, N31°20'45"E, a distance of 174.90 feet to the Northwest corner of the tract herein described, a point on the centerline of a private street (no name), being a set nail and brass disk impressed PLS 7240; Thence, S57°42'57"E, a distance of 283.52 feet to the Northeast corner of the tract herein described, a point of intersection of the centerline of a private street (no name) and the Northwest right of way of Coors Blvd. (NM 448), being a set nail and brass disk impressed PLS 7240; Thence, following said right of way of Coors Blvd., S31°50'45"W, a distance of 175.37 feet to the Southeast corner of the tract herein described, a point on the Northwest right of way of Coors Blvd. (NM 448), being a set 1/2" (64) rebar and cap impressed PLS 7240; Thence, leaving said right of way of Coors Blvd., N57°36'59"W, a distance of 282.00 feet to the Southwest corner and point of beginning of the tract herein described, and containing 1.137 acres more or less.

UTILITY CONTACTS

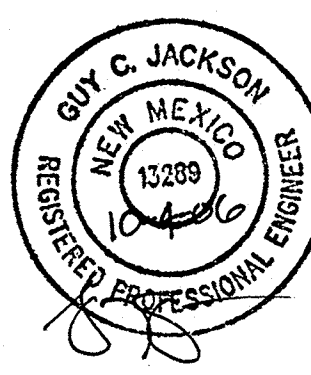
City of Albuquerque - Planning 600 2ND Street NW Albuquerque, NM 87102 505-924-3850 Website @ www.cabq.gov	New Mexico Utility, Inc. Water/Sewer/Storm Sewer 4700 Irving Blvd. Ste. 201 Albuquerque, NM 87114 505-998-2851 H. S. Warren	Gas & Electric Service PNM 414 Silver Ave. SW Albuquerque, NM 87102 505-241-3425 Counter Personnel (Mildred)	NM State Highway 448 NMDOT 7500 I-25 E. Frontage Rd. Albuquerque, NM 87109 505-841-2700 Counter Personnel
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Gas Line along West side of Coors - 2" High Pressure.
Power line along West line of Coors Road is 3 phase underground.

AS INDICATED BY THE REVISED AS-BUILT INFORMATION SHOWN HEREON, THIS PROJECT APPEARS TO HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE INTENT OF THE APPROVED SITE.

NOTE THAT THE AS-BUILTS FOR THE WORK ORDER CONSTRUCTION IN THE COORS (NMDOT) RIGHT-OF-WAY, WILL BE PREPARED AND SUBMITTED ON THE WORK ORDER PLANS. IT IS BASED UPON THIS EVALUATION OF AS-CONSTRUCTED CONDITIONS THAT ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) IS HEREBY RECOMMENDED. COLLECTION OF THE AS-BUILT INFORMATION WAS PREPARED BY ALBUQUERQUE SURVEYING CO. INC. ON OCTOBER 3, 2006. THIS INFORMATION IS INTENDED ONLY TO VERIFY CONFORMANCE WITH THE TRAFFIC CIRCULATION ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS OR EVALUATE ADA ACCESSIBILITY ISSUES OR COMPLIANCE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

10-4-06
GUY C. JACKSON, NMPE 13289 DATE



20' 10' 0' 20'
SCALE: 1" = 20'

PLANNING
CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

PROJECT NUMBER: 1001275
Application Number: 05EPC-00749

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 17, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ☒ Yes ☐ No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

DRB Chairperson, Transportation Division	8-3-05
Utilities Development	8/3/05
Parks and Recreation Department	8/3/05
City Engineer	8/4/06
Michael Holton	7-19-05
Solid Waste Management	8/10/06
DRB Chairperson, Planning Department	

AUTOZONE, INC.
123 SOUTH FRONT STREET
MEMPHIS, TENNESSEE 38103

AutoZone STORE DEVELOPMENT
Store No. 0519
COORS & ALAMEDA
ALBUQUERQUE NM 87048

SITE PLAN

RECEIVED
OCT 04 2006
HYDROLOGY SECTION

SCALE: 1"=20'-0"

REVISIONS

1
2
3
4
5
6
7

ARCHITECT:
DRAFTSMAN:
CHECKED BY:
PERMIT DATE
PROTOTYPE SIZE

10/9
C1.0