

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

January 14, 2009

Ronald R. Bohannon, P.E.  
5571 Midway Park Place NE  
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Firestone Tire , [B-14 / D015]  
10151 Coors Blvd NW  
Engineer's Stamp Dated 01/13/09

Dear Mr. Bohannon:

PO Box 1293

The TCL / Letter of Certification submitted on January 13, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

NM 87103

Milo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

www.cabq.gov

c: Engineer  
Hydrology file  
CO Clerk

gaw

# TIERRA WEST, LLC

January 13, 2009

Mr. Nilo Salgado-Fernandez, PE  
Development and Building Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: SITE PLAN CERTIFICATION FOR FIRESTONE TIRE  
10151 COORS BOULEVARD NW  
PROJECT # 1001275**

Dear Mr. Salgado-Fernandez:

I, Ronald R. Bohannon, NMPE # 7868, of the firm Tierra West LLC, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Site Plan for Building Permit approved plan dated 5/7/08. The record information edited onto the original design document has been obtained by Field Measurement of the firm Tierra West LLC. I further certify that I have personally visited the site on 1/12/08 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

Landscaping, adjustment of the parking lot lights to 20' height and completion of the sidewalks is complete.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Included for your consideration is the drainage information sheet and the as-built approved Site Plan for Building Permit.

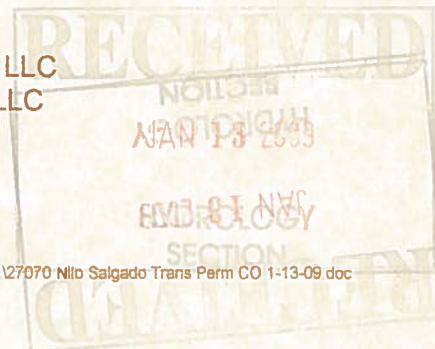
If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



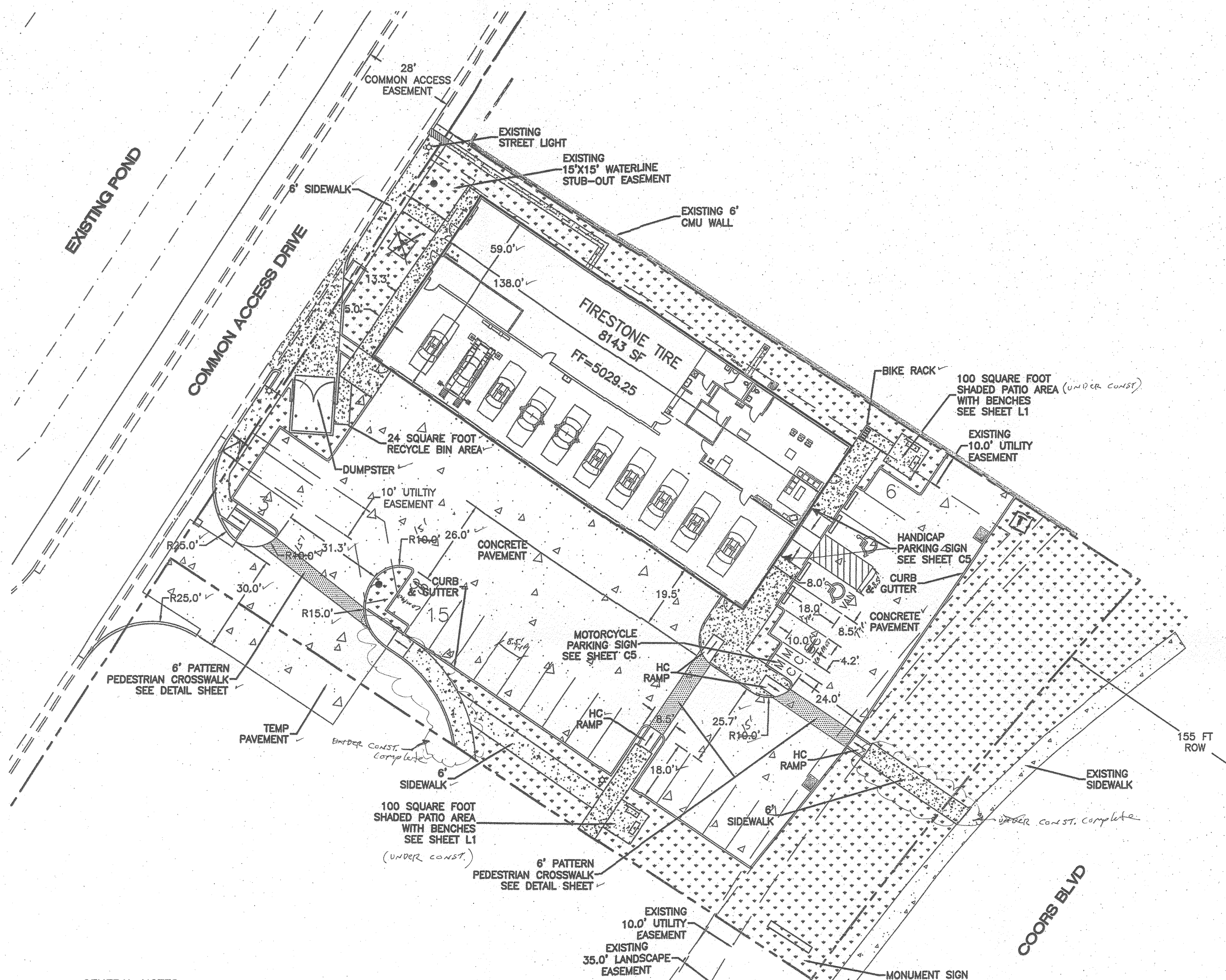
cc: Kyle Morgan – Mays & Company Real Estate Development, LLC  
J.J Jamadar –Mays & Company Real Estate Development, LLC  
Andy Hart – Hart Construction, Inc.

JN: 27070  
RRB/kdk/cia



5571 Midway Park Place NE Albuquerque, NM 87109  
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com





#### GENERAL NOTES:

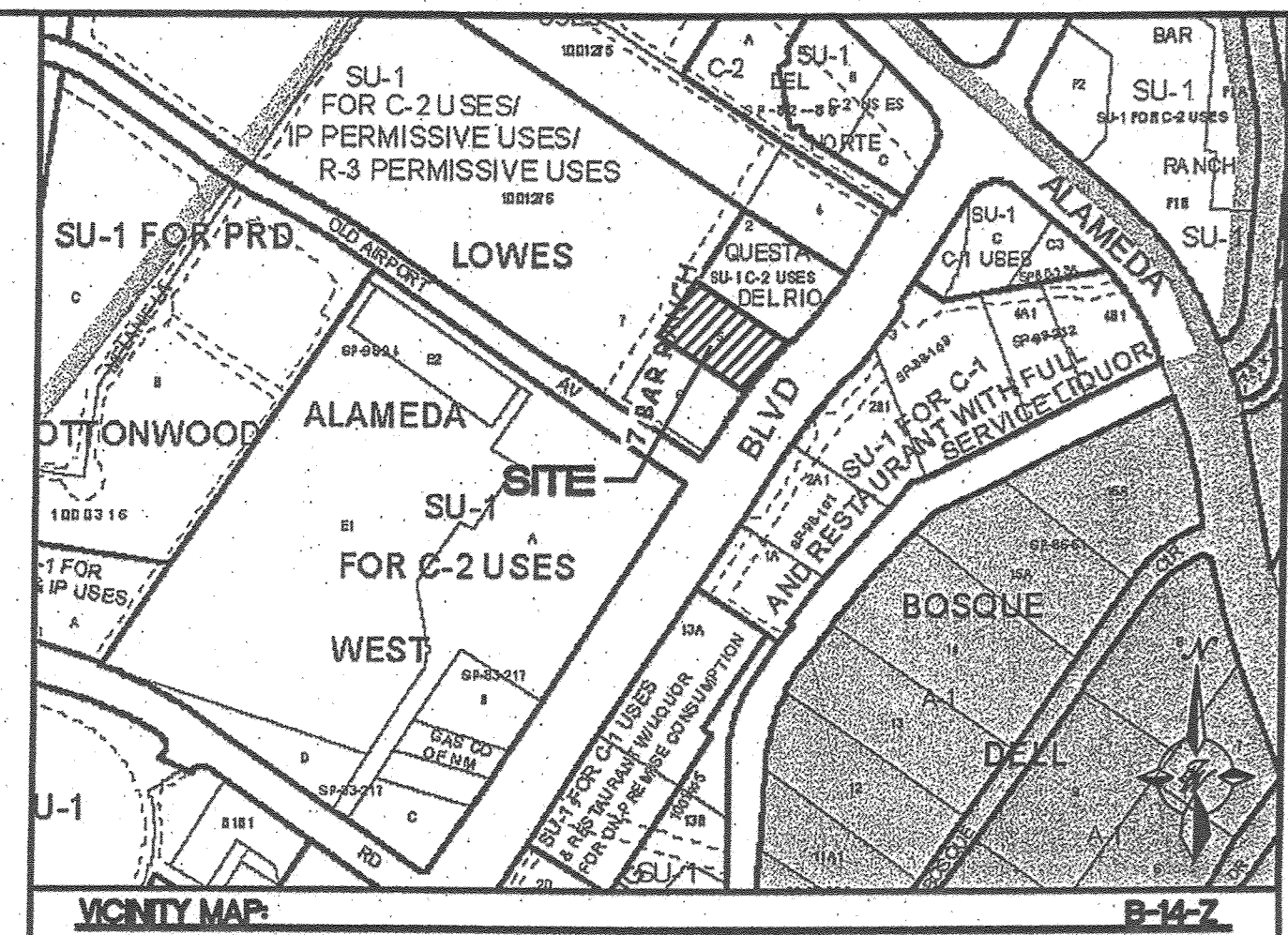
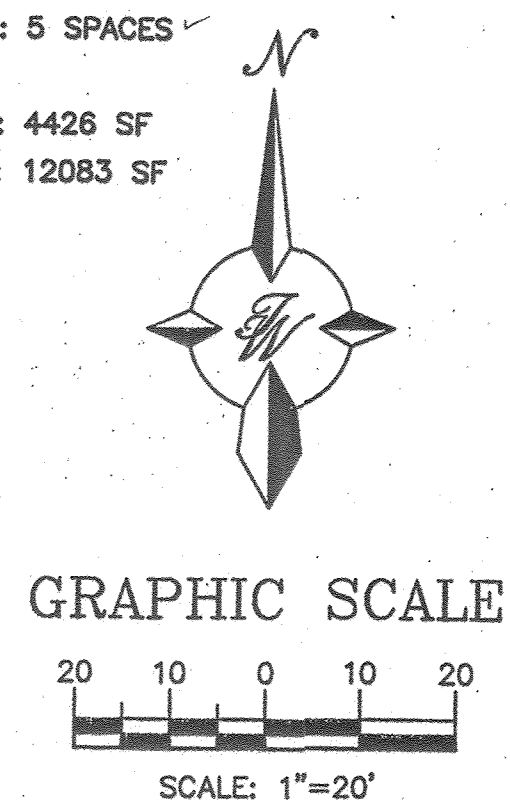
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- ALL LIGHTING SHALL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- WINDOW LOCATIONS AND MATERIAL SHALL COMPLY WITH COORS CORRIDOR PLAN POLICY 10, SECTION B, DESIGN GUIDELINE 3.
- ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE PROPERTY LINE OF THE SITE.
- Recycling of tires will be handled by private vendor.

#### LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	STREET LIGHTS
	LANE
	STRIPING
	LANDSCAPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING

#### SITE DATA

PROPOSED USAGE:	FIRESTONE
LOT AREA:	37500 SF (0.86) ACRE)
BUILDING AREA:	
CUSTOMER SEATING:	1063 SF
SERVICE AREA:	4281 SF
INVENTORY:	2243 SF
USED INVENTORY:	247 SF
OTHER:	329 SF
TOTAL	8143 SF
PARKING REQUIRED:	30 SPACES (5900 SF/1 SPACE PER 200 SF)
PARKING REQUIRED:	2 SPACES (2243 SF/1 SPACE PER 2000 SF)
MINUS:	10 SPACES (SERVICE BAYS)
TOTAL PARKING REQUIRED:	22 SPACES
PARKING PROVIDED:	24 SPACES ✓
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES ✓
	1 SPACE VAN ACCESSIBLE
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES ✓
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES ✓
LANDSCAPE AREA REQUIRED:	4426 SF
LANDSCAPE AREA PROVIDED:	12083 SF



LEGAL DESCRIPTION:  
LOT 5, LOWES SUBDIVISION

PROJECT NUMBER: 1001275  
APPLICATION NUMBER: 08 DRB-70171

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 5/7/08, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

#### DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	5/7/08
Regan A. Dine	5-7-08
Water Utility Development, AECWUA	5/7/08
Christina Sandoval	5/7/08
Parks & Recreation Department	6/27/08
Bradley J. Bryan	6/27/08
City Engineer	N/A
* Environmental Health Department (conditional)	6/26/08
Michael Holton	6/26/08
Solid Waste Management	8-15-08
Jack Reed	8-15-08
DRB Chairperson, Planning Department	
* Environmental Health, if necessary	

#### INDEX TO DRAWINGS

- SITE PLAN FOR BUILDING PERMIT
- APPROVED SITE PLAN FOR SUBDIVISION
- GRADING PLAN
- MASTER UTILITY PLAN
- DETAIL SHEET
- BUILDING ELEVATIONS
- LANDSCAPING PLAN

AS-BUILT 12/19/08 by RV & 1/12/09 by RV

ENGINEER'S SEAL	FIRESTONE	DRAWN BY
	COORS AND OLD AIRPORT ROAD	DATE
	SITE PLAN FOR BUILDING PERMIT	04/22/08
		2770-SPB
		SHEET #
		C1
		JOB #
		27070

TERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505)858-3100