

# CITY OF ALBUQUERQUE



October 29, 2015

Reza Afaghpour, PE  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct NW  
Albuquerque, NM 87114

**Re: Southwest Veterinary Medical Center  
10141 Coors NW  
Request Permanent C.O. - Accepted  
Engineer's Stamp dated: 1-30-15 (B14D016)  
Certification dated: 10-22-15**

Dear Mr. Afaghpour,

PO Box 1293

Based on the Certification received 10/23/2015, the site is acceptable for release of Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Rita Harmon, P.E.  
Senior Engineer  
Planning Department

TE/RH  
C: email

**Location**  
Lot 6, LOWES SUBDIVISION is located at the northwest corner of Coors Boulevard and Old Airport Avenue containing 0.8634 acre. See attached portion of Vicinity Map B-14-Z for exact location.

**Purpose**  
The purpose of this drainage report is to present a conceptual grading and drainage solution for the proposed commercial buildings. We are requesting site plan for building permit approval.

**Existing Drainage Conditions**  
The site falls within the LOWES Drainage Plan (City Drainage # A14/D014). The site currently drains from west to east toward Coors Boulevard to an existing inlet (at the northwest corner of Coor Boulevard and Airport Avenue) on Coor Boulevard. The runoff to the south of the property (area between the curb along Old Airport Avenue and the property line) drains east as well to this existing inlet on Coors Boulevard. No offsite runoff impacts this site.

**Proposed Conditions and On-Site Drainage Management Plan**  
The site falls within the A14/D014. Based on the LOWES Drainage Plan A14/D014 the runoff will drain west to the LOWES storm drain system. Therefore, the runoff will be collected via storm drain inlets and will be drain to an existing inlet via storm drain pipes. Small portion of the site to the east which is mostly landscaping area will retain its runoff on-site within a water harvesting pond.

TIE TO EXISTING INLET  
GRATE=5022.50  
INV. (E)=5022.27  
INV. OUT (W)=5022.18

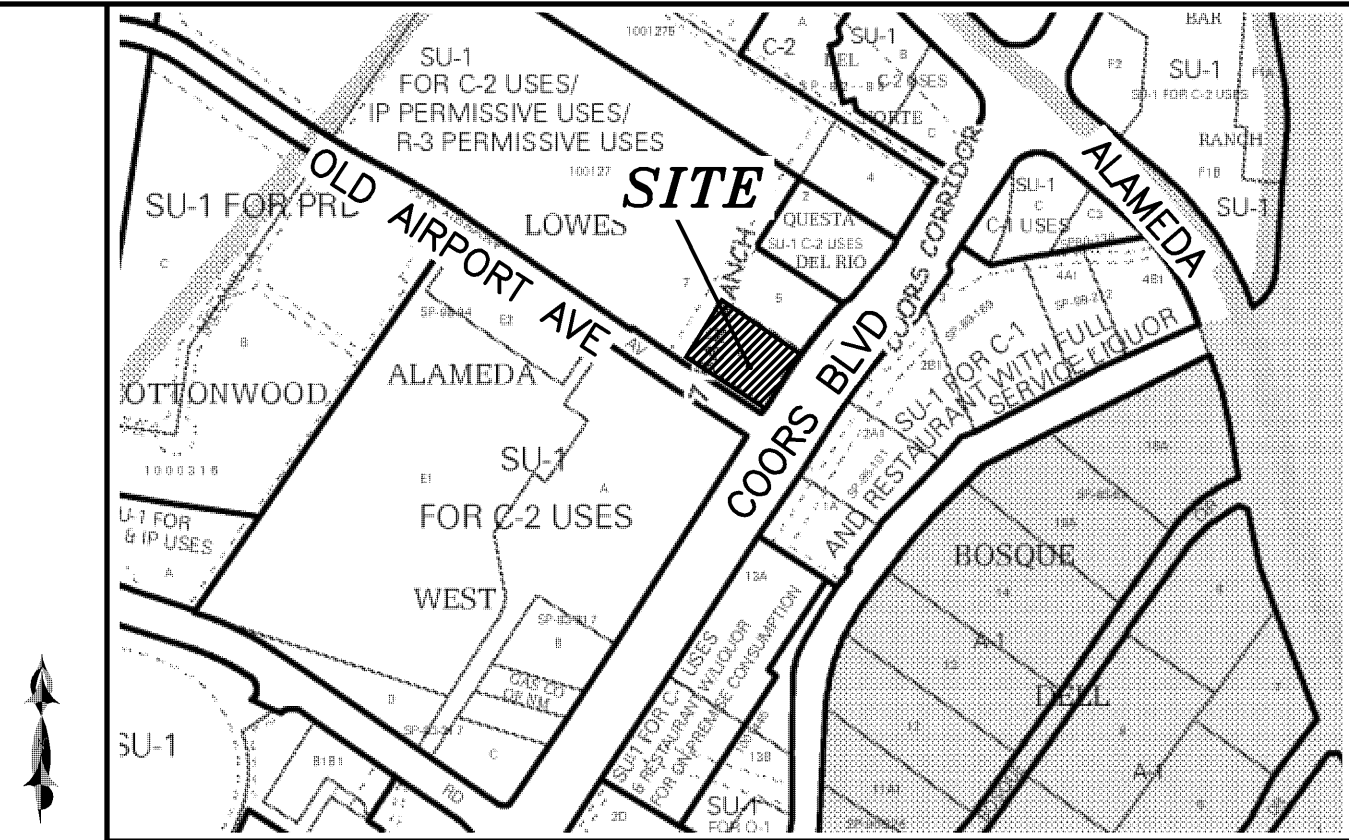
TIE INTO EXISTING SD  
INV. IN (W)=5022.57  
INV. OUT (N)=5022.47

### DRAINAGE CERTIFICATION

I, REZA AFAGHPOUR, NMPE 11814, OF SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01-30-2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 9750 (ROB HUGG), OF SURV-TEK, INC., I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

REZA AFAGHPOUR, NMPE 11814  
10/22/2015  
DATE



**LEGAL DESCRIPTION:**  
LOT 6, LOWES SUBDIVISION  
CONTAINING 0.8634 ACRE  
ZONING: SU-1

### NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

### LEGEND

- 5030— EXISTING CONTOUR (MAJOR)
- 5029— EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- x 28.50 PROPOSED SPOT ELEVATION
- x 5029.16 EXISTING GRADE
- x 5028.65 EXISTING FLOWLINE ELEVATION
- PROPOSED RETAINING WALL
- BC=89.08 BOTTOM OF CHANEL
- TC=28.50 TOP OF CURB
- TA=28.00 TOP OF ASPHALT
- HP HIGH POINT
- 86.65 AS-BUILT GRADES
- x 86.65 AS-BUILT SPOT ELEVATIONS



REZA AFAGHPOUR  
P.E. #11814

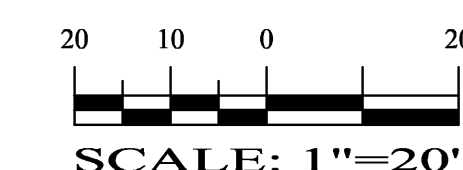
### SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)899-3570

### SOUTHWEST VETERINARY MEDICAL CENTER LOT 6, LOWES SUBD., ALBUQUERQUE, NEW MEXICO GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
201404-GR.DWG	SH-B	1-24-2014	C 101

### GRAPHIC SCALE



LAST REVISION: 01/30/2015