



July 19, 2016

Hugh Floyd
RESPC
6808 Academy Parkway East NE
Albuquerque, NM 87114

Re: Larry H Miller Coors Bypass
9820 Coors Blvd NW
Traffic Circulation Layout
(B14D017)

Dear Mr. Floyd,

Based upon the information provided in your submittal received 07-07-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces. Will the proposed parking be for patron use or car display?
2. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
3. Identify the right of way width, medians, curb cuts, and street widths on Coors Blvd and Cita Rd.
4. Clarify existing property lines and proposed property lines
5. Please list the width and length for all existing and proposed parking spaces.
6. Parking spaces cannot cross over the lot lines.
7. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
8. The handicap accessible spaces must include an 8 ft. wide van access aisle; all other aisles should be 5 ft. in width.
9. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
10. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
11. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.

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12. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
13. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
14. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*).
15. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
16. Please specify the City Standard Drawing Number when applicable.
17. Work within the public right of way requires a work order with DRC approved plans. Clarify area of work in the public right of way.
18. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
19. DRB dedication Plat approval required prior to approval of TCL.
20. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3981.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

TYPE OF SUBMITTAL:

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

July 6, 2016

City of Albuquerque
Development Review Board
Plaza del Sol
600 Second Street NW
Albuquerque, NM 87102

RE: Coors / Coors Bypass Improvements

RESPEC is requesting an initial review of the conceptual Traffic Circulation Layout at the southeast corner of Coors Blvd. and Coors Bypass Blvd. The proposed development will add an additional parking lot approximately 1.8 acres for the Hyundai Albuquerque Car Dealership. The site is within zone atlas B-14-Z and Tract B is zoned C-2.

INCLUDED WITH THIS SUBMITTAL

- TCL Plan (full size)
- Drainage and Transportation Information Sheet

RELATED FILINGS

- DRC Project #741571 – Roadway Infrastructure Plans, pending DRB Dedication Plat approval
- DRB Project #1010170 – Dedication Plat, pending NMDOT roadway layout approval

If you should have any questions or comments concerning this plan, please contact us at your convenience.

Sincerely,



Hugh Floyd, PE
New Mexico Area Manager, W&NR
6808 Academy Parkway East NE, Building C 2
Albuquerque, NM 87109
505.253.9810 office | 505.366.4187 cell
Hugh.Floyd@respec.com

Enclosure

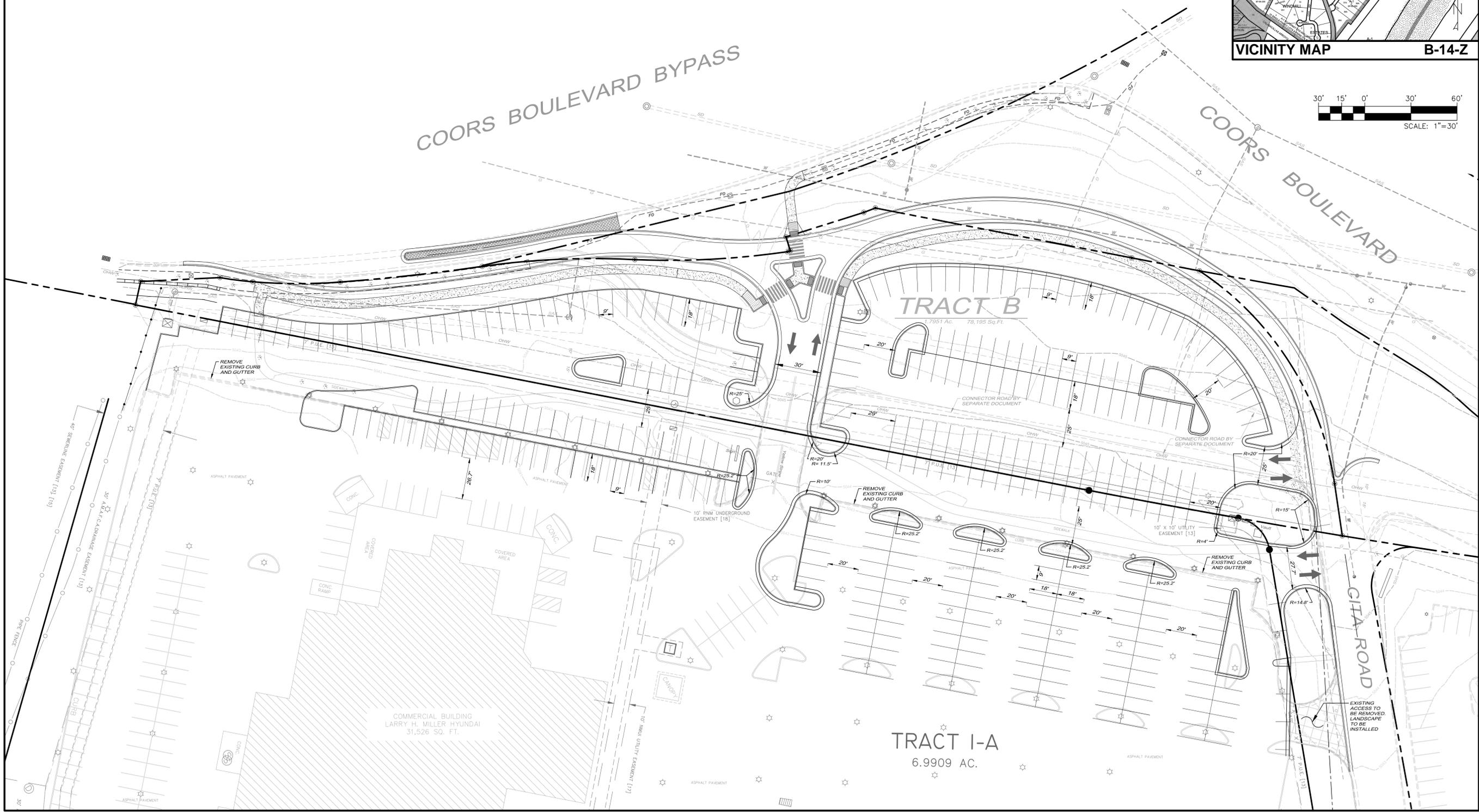
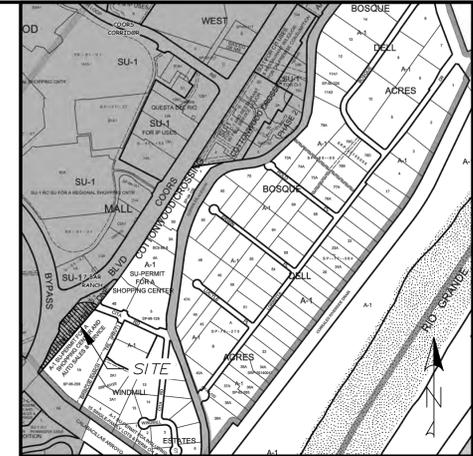
NOTES:

This drawing consists of two surveys, one from Surv-Tek and the other from Alpha Professional Survey. Because these surveys were done by two different companies several years apart there is about a 6 inch discrepancy between them. The Alpha Professional Survey was adjusted minimally by scaling, rotating, and moving so that it better matched the Surv-Tek survey.

The perimeter access road is pending location and design approval from NMDOT. Once the access road is approved it will be dedicated to COA.

LEGEND

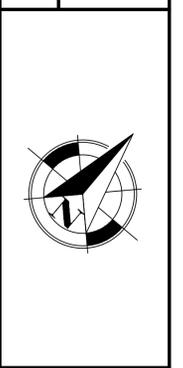
--- PROPERTY BOUNDARIES



<p>DESIGNED <input type="checkbox"/> HWF</p> <p>DRAWN <input type="checkbox"/> SMT</p> <p>CHECKED <input type="checkbox"/> HWF</p> <p>DATE 6/30/2016</p>		<p>REVISION</p>
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STAMP

**TRAFFIC CIRCULATION LAYOUT
TRACT B,
LANDS OF BLACK DEVELOPMENT ONE
9820 COORS BLVD NW**



SHEET NUMBER:
SHEET 1