

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 18, 2026

Ron Bohannon, P.E.
Tierra West LLC
5571 Midway Park Pl NE
Albuquerque, NM 87109

**RE: 3601 Seven Bar Loop Rd NW
Grading and Drainage Plan
Engineer's Stamp Date: 02/26/2026
Hydrology File: B14D019
Case # HYDR-2026-00074**

Dear Mr. Bohannon:

Based upon the information provided in your submittal received 03/18/2026, the Grading and Drainage Plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist for Non-Subdivision is required.

NM 87103

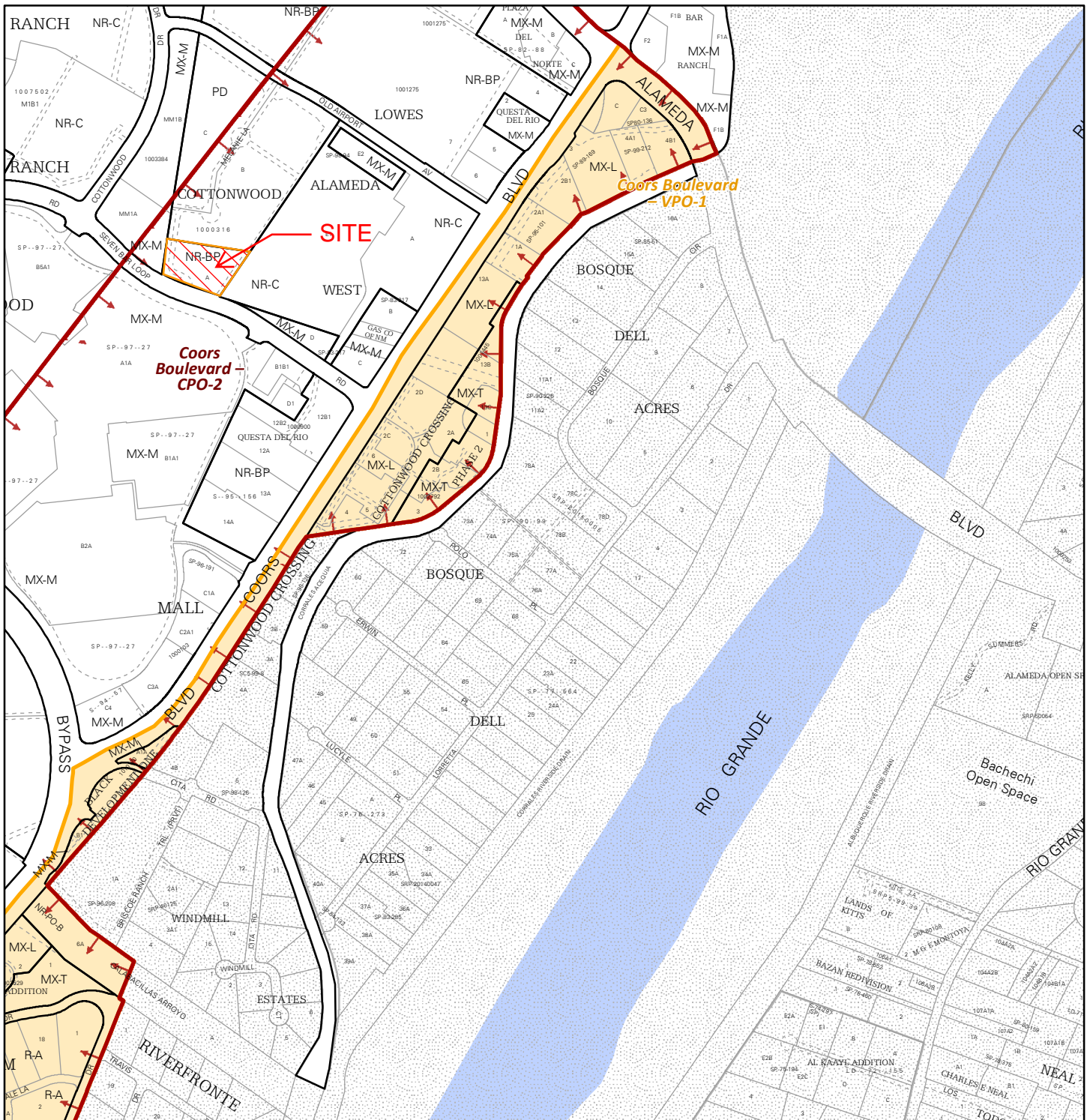
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 505-924-3995 or baileythompson@cabq.gov.

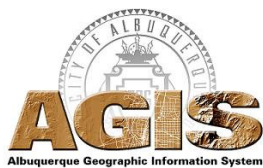
Sincerely,

Bailey Thompson, E.I.T.
Engineer Associate, Hydrology
Planning Department, Development Review Services

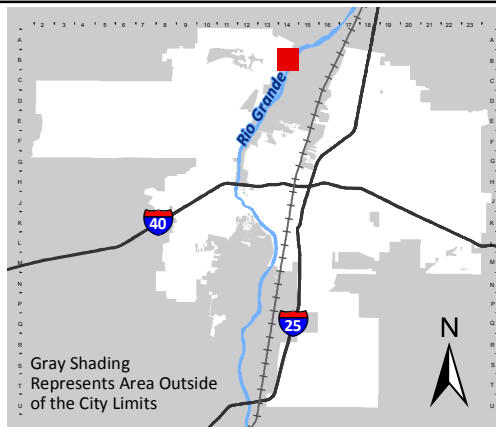


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

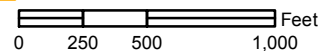


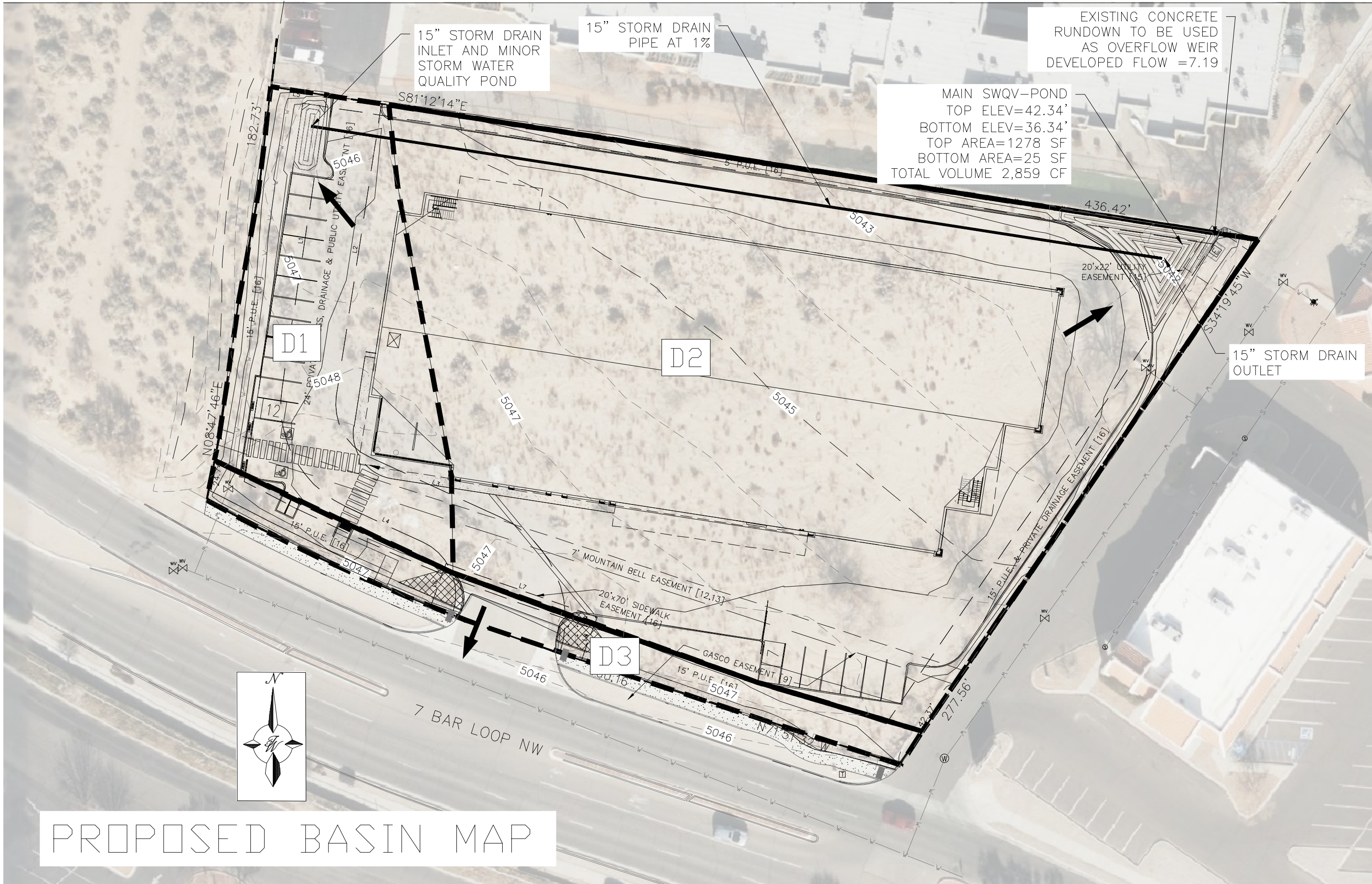
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



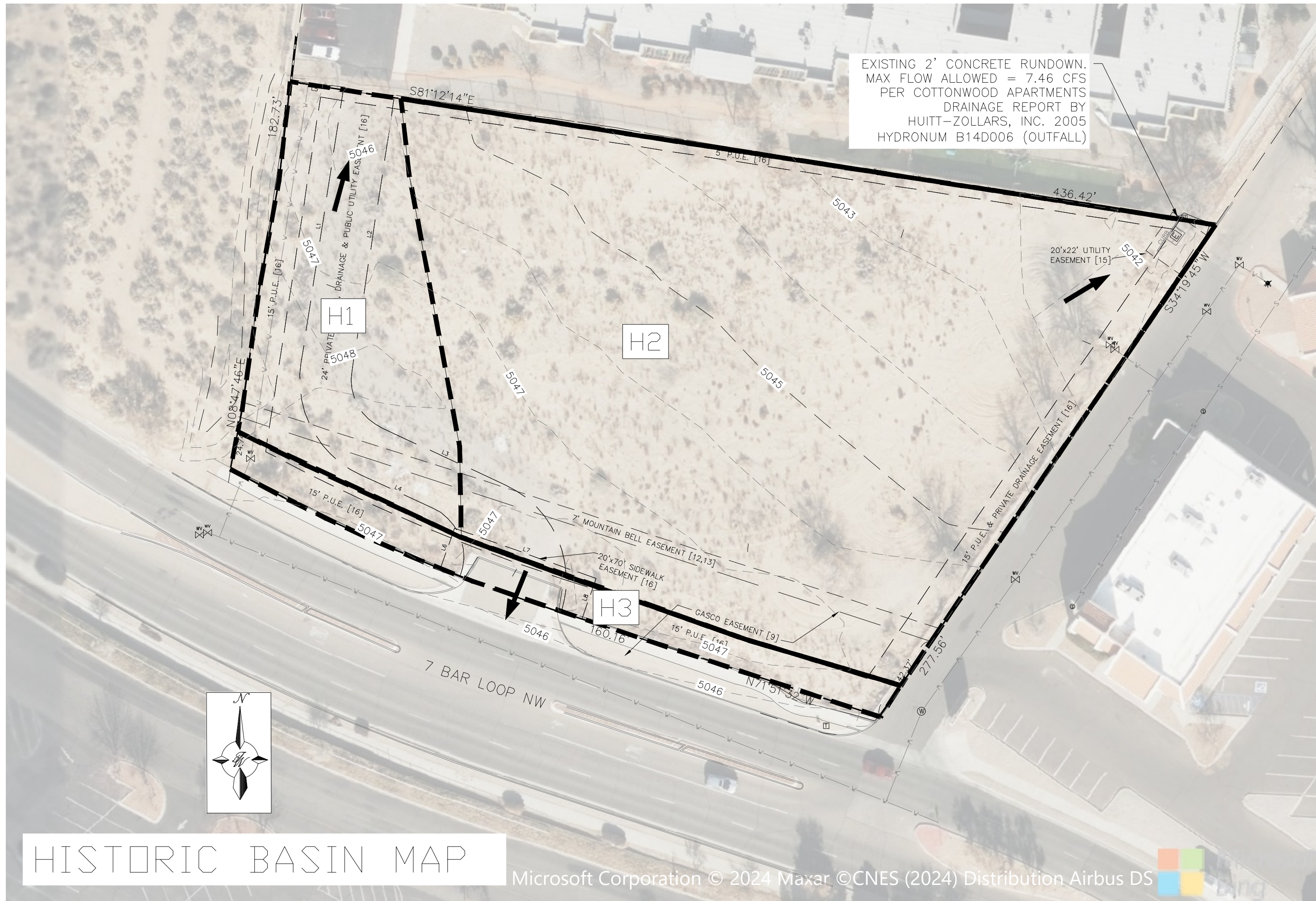
Zone Atlas Page:
B-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



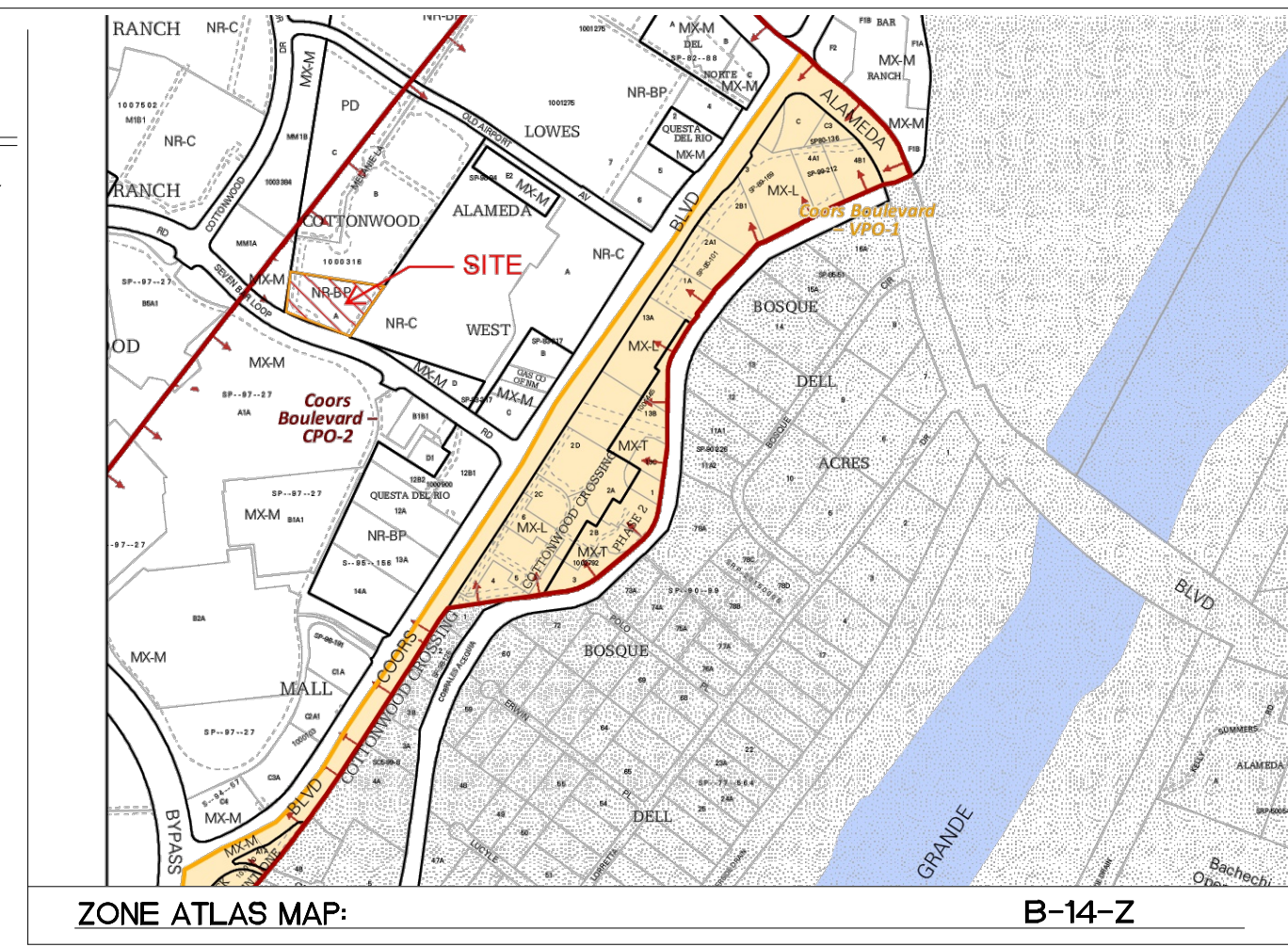
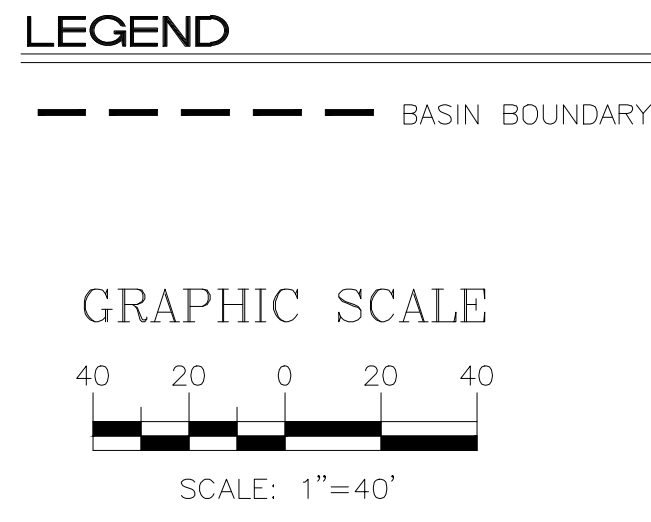


PROPOSED BASIN MAP



HISTORIC BASIN MAP

Microsoft Corporation © 2024 Maxar ©CNES (2024) Distribution Airbus DS



LEGAL DESCRIPTION:
TR A PLAT OF COTTONWOOD TRACTS A THRU C (A DIVISION OF A16.1114 ACRE UNPLATTED PARCEL) CONT 1.9570 AC

DPM CH 6 Weighted E Method

Precipitation Zone 1
7 BAR LOOP STORAGE-FACILITY
SEVEN BAR LP NW ALBUQUERQUE 87114
TWLLC Date 6/14/2024

Equations:
Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad
Volume = Weighted E * Total Area
Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad

| 6 Hr Excess Precipitation, E (in.) | | |
|------------------------------------|----------|---------|
| Zone 1 | 100-Year | 10-Year |
| Ea | 0.55 | 0.08 |
| Eb | 0.73 | 0.22 |
| Ec | 0.95 | 0.44 |
| Ed | 2.24 | 1.24 |

| Peak Discharge (cfs/acre) | | |
|---------------------------|----------|---------|
| Zone 1 | 100-Year | 10-Year |
| Qa | 1.54 | 0.3 |
| Qb | 2.16 | 0.81 |
| Qc | 2.87 | 1.46 |
| Qd | 4.12 | 2.57 |

Existing Conditions

| | | Basin Descriptions | | | | | | | | 100-Year, 6-Hr | | | | | |
|--------------|-------|--------------------|--------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|----------------|------------|--------------|--------------|-------------|------|
| Basin ID | Tract | Area (sf) | Area (acres) | Area (sq miles) | Treatment A (%) | Treatment B (%) | Treatment C (%) | Treatment D (%) | Weighted E (in) | Volume (ac-ft) | Flow (cfs) | | | | |
| H1 | A | 14,580 | 0.33 | 0.00052 | 40% | 0.134 | 0% | 0.000 | 60% | 0.201 | 0% | 0.000 | 0.790 | 0.022 | 0.78 |
| H2 | A | 65,011 | 1.49 | 0.00233 | 80% | 1.194 | 0% | 0.000 | 20% | 0.298 | 0% | 0.000 | 0.630 | 0.078 | 2.70 |
| H3 | A | 5,492 | 0.13 | 0.00020 | 70% | 0.088 | 0% | 0.000 | 20% | 0.025 | 10% | 0.013 | 0.799 | 0.008 | 0.26 |
| Total | | 85,083 | 1.95 | 0.00305 | | 1.416 | | 0.000 | | 0.525 | | 0.013 | 0.109 | 3.74 | |

Proposed Conditions

| | | Basin Descriptions | | | | | | | | 100-Year, 6-Hr | | | | | |
|--------------|-------|--------------------|--------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|----------------|------------|--------------|--------------|--------------|------|
| Basin ID | Tract | Area (sf) | Area (acres) | Area (sq miles) | Treatment A (%) | Treatment B (%) | Treatment C (%) | Treatment D (%) | Weighted E (in) | Volume (ac-ft) | Flow (cfs) | | | | |
| D1 | A | 14,580 | 0.33 | 0.00052 | 0% | 0.000 | 0% | 0.000 | 15% | 0.050 | 85% | 0.285 | 2.047 | 0.057 | 1.32 |
| D2 | A | 65,011 | 1.49 | 0.00233 | 0% | 0.000 | 0% | 0.000 | 15% | 0.224 | 85% | 1.269 | 2.047 | 0.255 | 5.87 |
| D3 | A | 5,492 | 0.13 | 0.00020 | 0% | 0.000 | 0% | 0.000 | 90% | 0.113 | 10% | 0.013 | 1.079 | 0.011 | 0.38 |
| Total | | 85,083 | 1.95 | 0.00305 | | 0.000 | | 0.000 | | 0.388 | | 1.566 | 0.323 | 7.563 | |

| Stormwater Quality Volume | | |
|---------------------------------|------------------------|----|
| Total Impervious Area = | ΣArea in "Treatment D" | FT |
| Retainage depth = 0.42" Per DPM | 0.0350 | CF |
| Retention Volume = | 0.035 x area D | CF |
| Area D (1.553) = | 67,649 | SF |
| Volume Required = | 2368 | CF |
| Volume Provided = | 2859 | CF |

| SWQ POND VOLUME CALCULATIONS | | | |
|------------------------------|-----------|-------------|------------------------|
| ELEVATION (ft) | AREA (sf) | VOLUME (cf) | CUMULATIVE VOLUME (cf) |
| 36.34 | 25 | 0 | 0 |
| 37.34 | 94 | 2,859 | 2859 |
| 38.34 | 211 | 152.5 | 3012 |
| 39.34 | 380 | 295.5 | 3307 |
| 40.34 | 608 | 494 | 3801 |
| 41.34 | 914 | 781 | 4582 |
| 42.34 | 1278 | 1096 | 5658 |

ACS BENCHMARK
A.G.R.S. STATION "8-B14"
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE)
PUBLISHED EL=5025.358 US SURVEY FT (NAVD 1988)

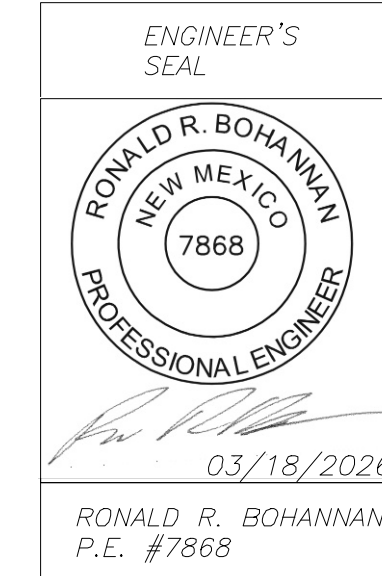
EXISTING CONDITIONS

THE SUBJECT SITE IS CURRENTLY VACANT WITH GROWING VEGETATION. BASED ON THE TOPOGRAPHY, RUNOFF SURFACE FLOWS SOUTH TO NORTH, WHILE A PORTION FLOWS TOWARDS THE NORTHEAST AND THE OTHER THE NORTHWEST AND A PORTION OF THE SOUTH SIDE OF THE LOT FLOWS TOWARDS 7 BAR LOOP INCLUDING THE EXISTING DRIVEWAY. PER THE COTTONWOOD APARTMENTS DRAINAGE REPORT BY HUITT-ZOLLARS, INC. 2005 (HYDRONUM:B14D006) THE SUBJECT SITE IS ALLOWED TO FREE FLOW TOWARDS THE APARTMENTS SITE TO THE NORTH VIA AN EXISTING 4" CONCRETE RUNDOWN LOCATED ON THE NORTHEAST CORNER OF THE SITE

PROPOSED CONDITIONS

THE DEVELOPED FLOWS WILL SURFACE FLOW INTO TWO STORM WATER QUALITY PONDS ONE LOCATED ON THE NORTHEAST CORNER OF THE SELF STORAGE FACILITY, ROUGHLY ONE-THIRD OF THE SITE (BASIN D1) WILL DRAIN TO THE DETENTION POND ON THE NORTHWEST CORNER WERE THE FLOW WILL BE PICKED UP BY A 15" STORM DRAIN PIPE. FLOW FROM BASIN D1 WILL BE CONVEYED TO THE LARGER STORMWATER QUALITY POND LOCATED ON THE NORTHEAST CORNER OF THE SITE INCLUDING THE DEVELOPED FLOW FROM BASIN D2. OVERFLOW WILL BE DIRECTED TOWARDS THE EXISTING 2 FT CONCRETE RUNDOWN JUST NORTH OF THE MAIN STORM WATER QUALITY POND. THE PROPOSED DEVELOPED FLOW IS BELOW THE ALLOWED FLOW PER THE COTTONWOOD APARTMENTS DRAINAGE REPORT BY HUITT-ZOLLARS, INC. 2005 (HYDRONUM:B14D006)

BASIN D3 WILL CONTINUE TO FLOW SOUTH WITH NEGLIGIBLE INCREASE IN FLOW DUE TO LANDSCAPING IMPROVEMENTS.



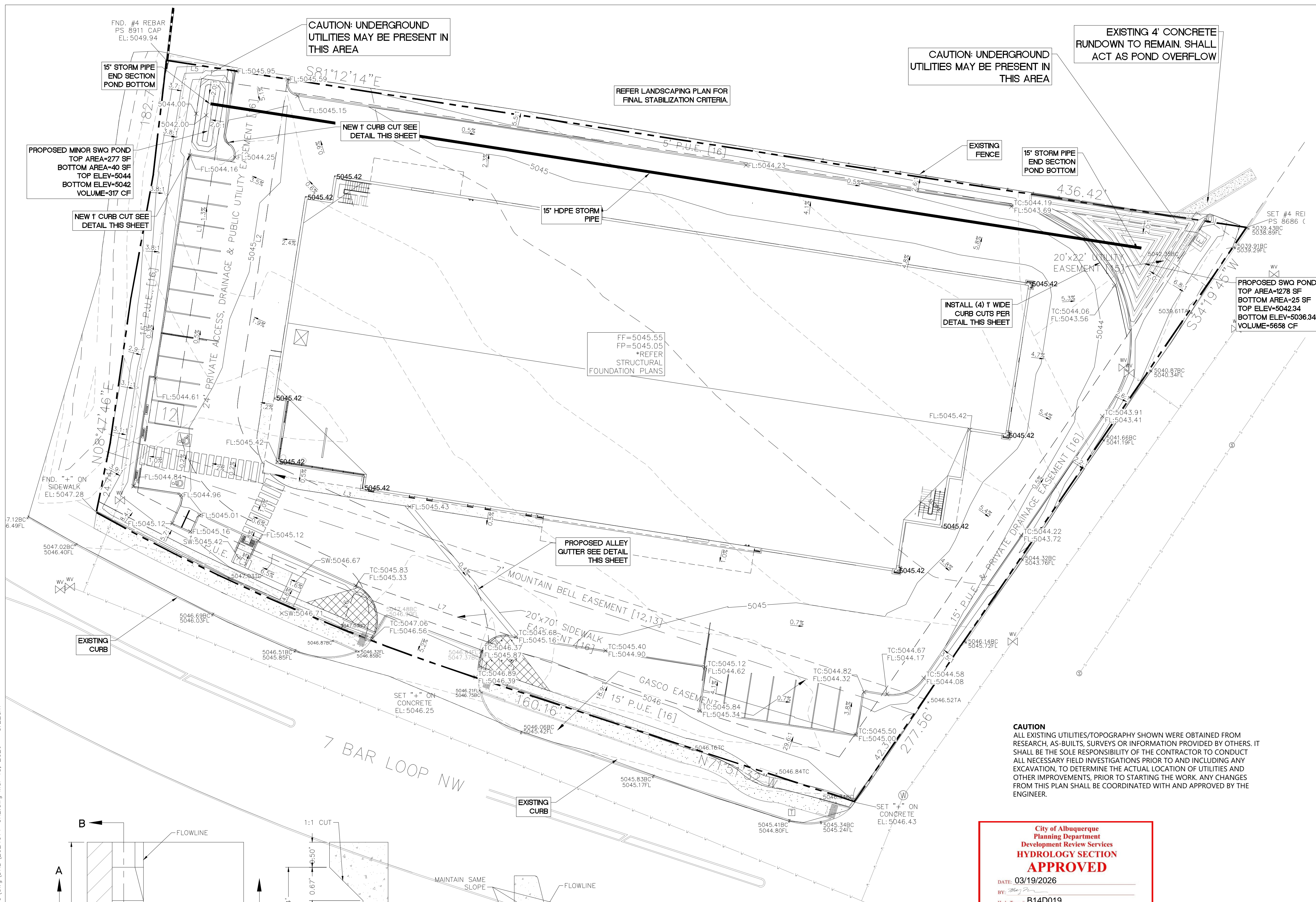
STORAGE FACILITY 7 BAR LOOP, ALBUQUERQUE, NM

DRAINAGE PLAN FOR INFO ONLY

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.terrawestllc.com

DRAWN BY BF
DATE 03/18/2026
2024014_BASINS
SHEET # GR-0
JOB # 2024014

\\TWNASVZ_Drive\2024\2024014 Storage Facility 1.9 Acres.dwg (DRB) 2024014-CRE.dwg Mar 18, 2026 - 8:22am



LEGEND

| | |
|--|----------------------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | BUILDING |
| | PROPOSED SIDEWALK |
| | RETAINING WALL |
| | CONTOUR MAJOR |
| | CONTOUR MINOR |
| | SPOT ELEVATION |
| | FLOW ARROW |
| | EXISTING CONCRETE SIDEWALK |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING CONTOUR MAJOR |
| | EXISTING CONTOUR MINOR |
| | EXISTING SPOT ELEVATION |

SPOT ELEVATION LEGEND

SW= TOP OF SIDEWALK
 TC= TOP OF CURB
 FL= FLOW LINE
 FF= FINISHED FLOOR

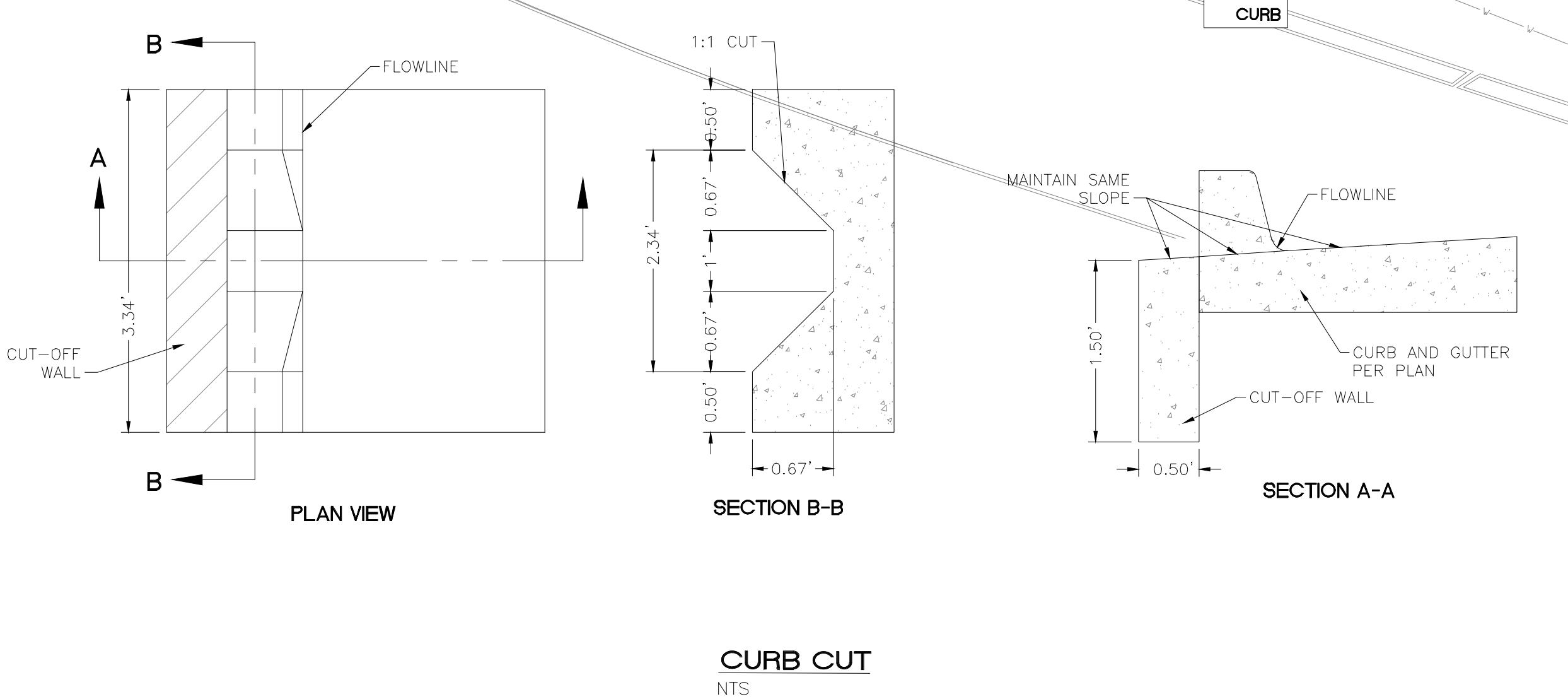
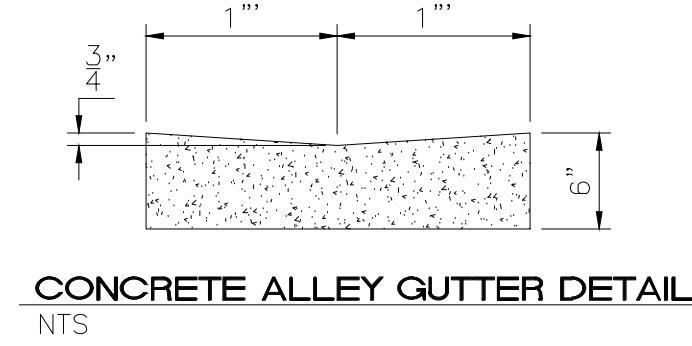
SPOT ELEVATION NOTE:

ALL PROPOSED SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

NOTE:

- REFERENCE PROJECT SITE GEOTECHNICAL REPORT BY WESTERN TECHNOLOGIES INC DATED SEPTEMBER 27, 2021 FOR CONSTRUCTION REQUIREMENTS/MINIMUMS
- REFERENCE LANDSCAPE PLAN FOR FINAL STABILIZATION REQUIREMENTS.

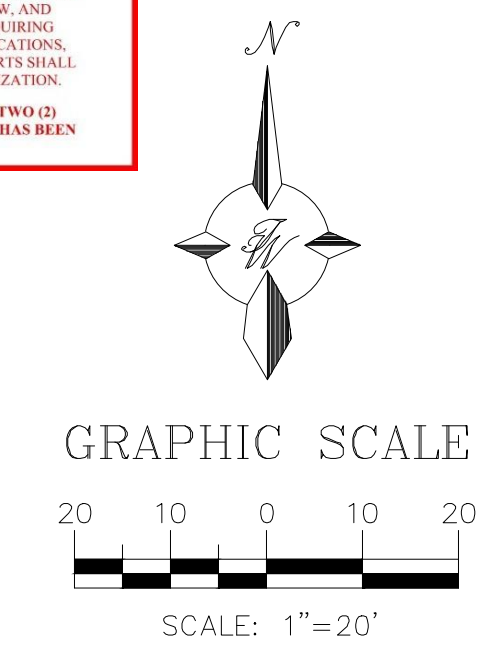
- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER "SO-19")**
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
 - AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE 95%.
 - MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 - WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
 - FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 03/19/2026
 BY: [Signature]
 HydroTrans # B14D019

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
 THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

ACS BENCHMARK
 A.G.R.S. STATION "8-814"
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE)
 PUBLISHED EL=5025.358 US SURVEY FT (NAVD 1988)



| | | |
|--|---|------------------------|
| RONALD R. BOHANNAN P.E. #7868 | ENGINEER'S SEAL STORAGE FACILITY 7 BAR LOOP, ALBUQUERQUE, NM | DRAWN BY BF |
| | GRADING & DRAINAGE PLAN | DATE 03/18/2026 |
| TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | 2024014-GRE | SHEET # GR-1 |
| 03/18/2026 | JOB # 2024014 | |