

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 16, 2024

Tim Shoemaker, P.E.
RTM Engineering
7007 Wyoming Blvd. NE, F-2
Albuquerque, NM 87109

RE: Panda Express - 10126 Coors Blvd. NW
30-Day Temporary C.O. – Accepted
Engineer's Certification Date: 12/04/24
Engineer's Stamp Date: 10/13/22
Hydrology File: B14D018A

Dear Mr. Shoemaker:

Based on the Certification received 12/04/2024 and site visit on 12/06/2024, this letter serves as a conditional approval from Hydrology Section for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

1. Completion of the open Work Order associated with the site.

Please resubmit for a request for permanent release of Certificate of Occupancy once the above item is complete.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

LEGAL DESCRIPTION

LEGAL DESCRIPTION FOR LOT 2A-1, NORTHEAST PORTION OF BLACK RANCH, (AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY) LOT 2A-1 OF THE NORTHEAST PORTION OF BLACK RANCH, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 5, 1995, IN VOLUME 95C, FOLIO 16A AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" REBAR FOUND FOR THE NORTHWEST CORNER OF SAID LOT 2A-1, A POINT ON THE EASTERLY RIGHT OF WAY LINE OF COORS BOULEVARD N.W., THENCE SOUTH 57 DEG. 19'43" E., A MEASURED DISTANCE OF 270.47 FEET (SOUTH 57 DEG. 18'10" EAST 270.70 FEET OF RECORD) TO A 1/2" REBAR FOUND FOR THE NORTHEAST CORNER OF SAID LOT 2A-1, SAID POINT LYING ON THE WESTERLY RIGHT OF WAY LINE OF THE CORRALES AECOLUA CANAL, THENCE SOUTH 41 DEG. 42'17" WEST ALONG SAID RIGHT OF WAY, A MEASURED DISTANCE OF 52.33 FEET (SOUTH 41 DEG. 41'08" WEST A DISTANCE OF 52.20 FEET OF RECORD) TO A FOUND 1/2" REBAR, THENCE SOUTH 43 DEG. 48'02" WEST, CONTINUING ALONG SAID RIGHT OF WAY, A MEASURED DISTANCE OF 159.71 FEET (SOUTH 41 DEG. 41'08" WEST A DISTANCE OF 159.84 FEET OF RECORD) TO A FOUND 1/2" REBAR, THENCE SOUTH 37 DEG. 22'13" WEST, CONTINUING ALONG SAID RIGHT OF WAY, A MEASURED DISTANCE OF 7.62 FEET (SOUTH 37 DEG. 07'39" WEST A DISTANCE OF 7.59 FEET OF RECORD) TO A 1/2" REBAR FOUND FOR THE SOUTHEAST CORNER OF SAID LOT 2A-1, THENCE NORTH 57 DEG. 18'46" WEST, A MEASURED DISTANCE OF 231.82 FEET (NORTH 57 DEG. 18'03" WEST A DISTANCE OF 231.88 FEET OF RECORD) TO A 3/8" REBAR WITH CAP SET FOR THE SOUTHWEST CORNER OF SAID LOT 2A-1, SAID POINT LIES ON THE EASTERLY RIGHT OF WAY LINE OF COORS BOULEVARD N.W. AND SAID POINT BEARS NORTH 32 DEG. 42'00" EAST A DISTANCE OF 182.23 FEET FROM A 1/2" REBAR FOUND FOR THE SOUTHWEST CORNER OF LOT 1A OF THE SAID NORTHEAST PORTION OF BLACK RANCH; THENCE NORTH 32 DEG. 42'00" EAST, ALONG SAID RIGHT OF WAY, A DISTANCE OF 172.77 FEET TO A FOUND 1/2" REBAR FOR A POINT OF CURVATURE, THENCE A DISTANCE OF 43.16 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1281.84 FEET, A CENTRAL ANGLE OF 1 DEG. 55'45" AND A CHORD BEARING OF NORTH 33 DEG. 54'17" EAST A DISTANCE OF 43.16 FEET (A DISTANCE OF 43.21 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1281.84 FEET, A CENTRAL ANGLE OF 1 DEG. 55'53" AND A CHORD BEARING OF NORTH 33 DEG. 40'12" EAST A DISTANCE OF 43.21 FEET OF RECORD) TO THE POINT OF BEGINNING.

TOGETHER WITH

EASEMENTS FOR INGRESS/EGRESS AS SET FORTH IN THE CERTAIN RECIPROCAL EASEMENT AGREEMENT RECORDED IN BOOK MISC. 780A, PAGE 076 AS DOCUMENT NUMBER 89-81278, RECORDS OF BERNALILLO COUNTY, NEW MEX

BASIS OF ELEVATIONS

NAVD 88

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THE PREMISES SURVEYED ARE NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS BEING BASED ON A LINE BETWEEN THE AGRS CONTROL STATIONS LISTED ABOVE BEARING = N34°50'06"E.

BENCHMARKS

SITE BENCH MARK 1:

NEW MEXICO STATE HIGHWAY CONTROL STATION "NM464N12" DATA

FOUND STANDARD BRASS DISC

NAD 83 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES

NORTHING: 1,528,973.229 US SURVEY FEET EASTING: 1,521,354.471 US SURVEY FEET

ELEV. = 5,026.132 US SURVEY FEET (NAVD 1988)

SITE BENCH MARK 2:

AGRS STATION "8-814 2003" DATA

FOUND STANDARD 3 1/2" INCH ALUMINUM DISC

NAD 83 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES

NORTHING: 1,528,802.861 US SURVEY FEET EASTING: 1,521,096.792 US SURVEY FEET

ELEV. = 5,025.398 US SURVEY FEET (NAVD 1988)

FLOODPLAIN STATEMENT

AREA LIES WITHIN FLOOD ZONE X (OTHER AREAS), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP PER FIRM MARP PLAN 109 OR 825, MAP NO. 35001C0109H, MAP REVISED DATE 08/16/2021, BERNILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS.

DRAINAGE CONDITIONS

1. EXISTING

THE EXISTING SITE IS A DEVELOPED LOT BORDERED BY COORS BLVD. AND THE CORRALES LATERAL. THE SITE CURRENTLY DRAINS DRAINS TO THE SOUTH EAST AND IS COLLECTS BY TWO AREA DRAINS. THESE AREA DRAINS ARE CONNECTED TO AN UNDERGROUND STORM DRAIN SYSTEM THAT DISCHARGES TO A CONCRETE CHANNEL WHICH EVENTUALLY DRAINS TO THE CORRALES CANAL.

EXISTING CONDITIONS SHOWN ARE PER SURVEY OF ACTUAL CONDITIONS AND THE COTTONWOOD VILLAGE GRADING AND DRAINAGE PLAN PREPARED BY DMG CONSULTING ENGINEERS DATED 10/95

2. PROPOSED

THE PROPOSED SITE WILL MAINTAIN THE SAME SOUTH EAST DRAINAGE PATTERN AS THE EXISTING SITE. HOWEVER AFTER REVIEW, IT WAS DETERMINED THAT THE CURRENT STORM DRAIN SYSTEM OUTLET IS NOT FUNCTIONING IN AN ACCEPTABLE MANNER. THE PROPOSED SYSTEM IS AN UNDERGROUND DETENTION SYSTEM, CONSISTING OF TWO CHAMBERS, THAT DIRECTLY DISCHARGES INTO THE CORRALES LATERAL. A RESTRICTOR STRUCTURE AND OVERFLOW STRUCTURE. THE PROPOSED UNDERGROUND DETENTION SYSTEM ADDRESSES THE WATER QUALITY, STORAGE AND OUTLET REQUIREMENTS FOR ALL THREE LOTS

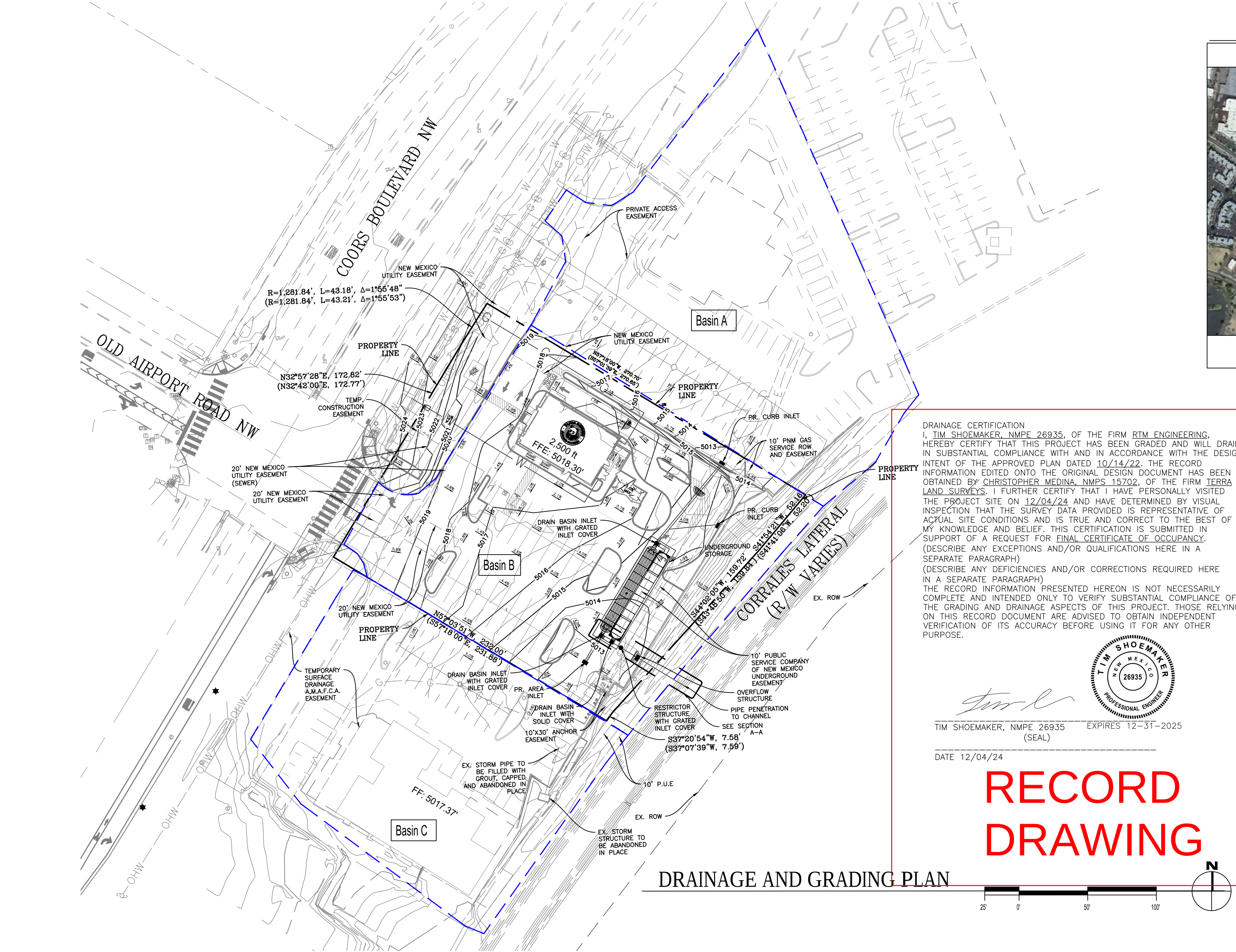
100-Year Detention Volume Required

Requirements:	Detention Volume Required for the 100-year event
	Allowable Release Rate = 5.07 CFS
Method:	Rational
Watershed Area:	2.92 Acres (impervious)
	0.32 Acres (pervious)
	3.24 Acres (total)
Runoff Coefficients (C):	
Runoff Coefficient (C _{comg})	0.87
Release Rate (Q _{out}):	
Max Allow Rel Rate	5.07 cfs

Total Required Storage Volume

Storm Duration t	Rainfall Intensity I 100-yr (in/hr)	Pond Inflow Q _{in} =CIA cfs	Storage Rate Q _s =Q _{in} -Q _{out} cf	Required Storage cf	Required Storage ac-ft
0.08	6.46	18.21	13.14	3942	0.09
0.17	4.91	13.84	8.77	5262	0.12
0.20	4.58	12.91	7.84	5645	0.13
0.25	4.08	11.50	6.43	5788	0.13
0.50	2.74	7.72	2.65	4776	0.11
1.00	1.69	4.76	-0.31	-1102	-0.03
2.00	0.96	2.71	-2.36	-17020	-0.39
3.00	0.67	1.89	-3.18	-34359	-0.79
6.00	0.36	1.01	-4.06	-87593	-2.01

100-Yr Required Storage Volume = 5788 cf



DRAINAGE AND GRADING PLAN

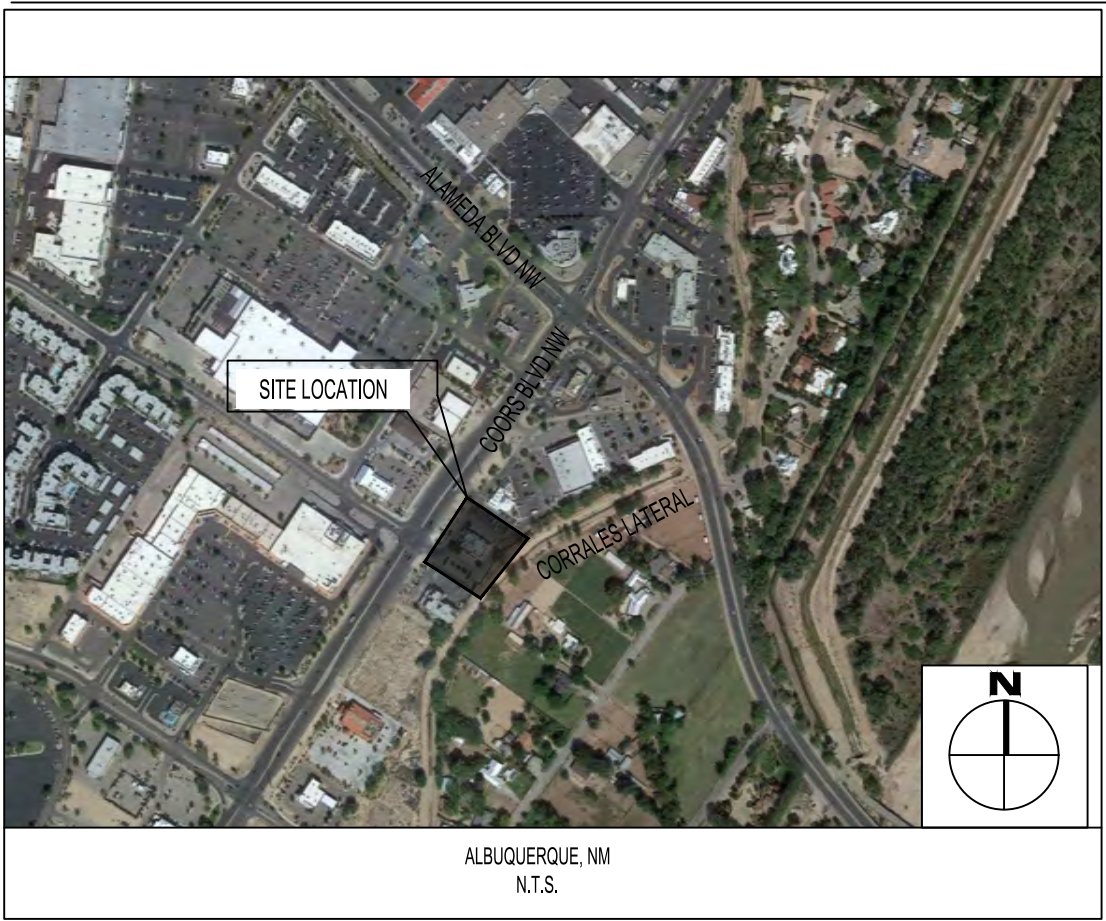
DRAINAGE CERTIFICATION
I, TIM SHOEMAKER, NMPE 26935, OF THE FIRM RTM ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/14/22. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER MEDINA, NMPS 15702, OF THE FIRM TERRA LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/04/24 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY. (DESCRIBE ANY EXCEPTIONS AND/OR QUALIFICATIONS HERE IN A SEPARATE PARAGRAPH) (DESCRIBE ANY DEFICIENCIES AND/OR CORRECTIONS REQUIRED HERE IN A SEPARATE PARAGRAPH)
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



TIM SHOEMAKER, NMPE 26935 EXPIRES 12-31-2025 (SEAL)

DATE 12/04/24

RECORD
DRAWING



LOCATION MAP



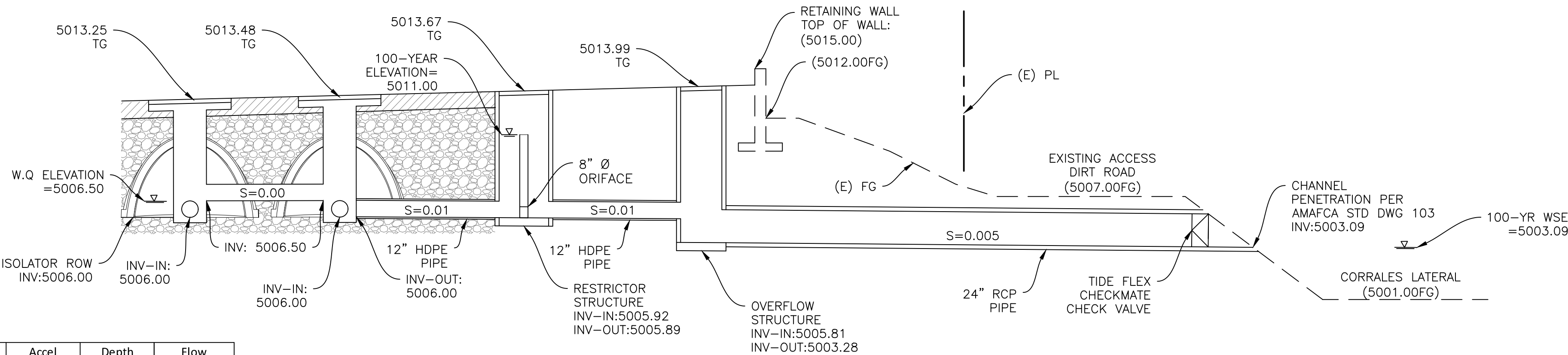
ALBUQUERQUE, NM
N.T.S.

NOTES

- STORM DRAINS THAT ARE TO BE ABANDONED ARE TO BE FILLED WITH GROUT AND CAPPED. ALTERNATE METHODS OF ABANDONMENT ARE TO BE APPROVED BY THE CITY OF ALBUQUERQUE AND AMAFCA.

CONCLUSION

THE PROPOSED GRADING AND DRAINAGE SYSTEM ARE SIGNIFICANT IMPROVEMENTS TO THE DRAINAGE THE CURRENT SITE IS EXPERIENCING. THE UNDERGROUND DETENTION SYSTEM IS SIZED TO SMOOTHLY HANDLE THE 100-YEAR STORM AND THE OVERFLOW STRUCTURE WILL MINIMIZE PONDING IN CASE THE SYSTEM EVER GETS CLOGGED. WITH THE IMPLEMENTATION OF THE IMPROVEMENTS PRESENTED HEREON, WE ARE REQUESTING THAT THIS PLAN BE APPROVED.



CROSS SECTION A-A

(1" = 5')



EXPIRES 12-31-2023



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770

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Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

DRAWN BY: rtm

PANDA PROJECT #: S8-22-D8582

PANDA STORE #: D8582

ARCH PROJECT #: D8582



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OH Certificate of Authority: 05046

Heights Venture
ARCHITECTURE + DESIGN

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DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024 972 490 7292 V

PANDA EXPRESS

10126 COORS BOULEVARD
ALBUQUERQUE, NM 87114

GRADING AND
DRAINAGE PLAN

1.0

10126 COORS BOULEVARD



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REVISIONS:

	DRB RESUBMITTAL	04-06-22
	DRB 2nd RESUBMITTAL	05-04-22
	DRB 3rd RESUBMITTAL	09-21-22
	DRB 4th RESUBMITTAL	10-19-22
	PERMIT REVISIONS	04-20-23
	CITY COMMENTS	08-17-23
	CONST. ISSUE REVISIONS	09-25-23
	CONST. ISSUE REVISIONS	10-17-23
	CONST. ISSUE REVISIONS	05-20-24

ISSUE DATE:

DRB SUBMITTAL	12-28-21
PNM SERVICE REQUEST	01-11-23
PERMIT ISSUE	02-13-23
CONSTRUCTION ISSUE	09-25-23

DRAWN BY: rtm

PANDA PROJECT #: S8-22-D8582
 PANDA STORE #: D8582
 ARCH PROJECT #: D8582



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Heights Venture
ARCHITECTURE • DESIGN

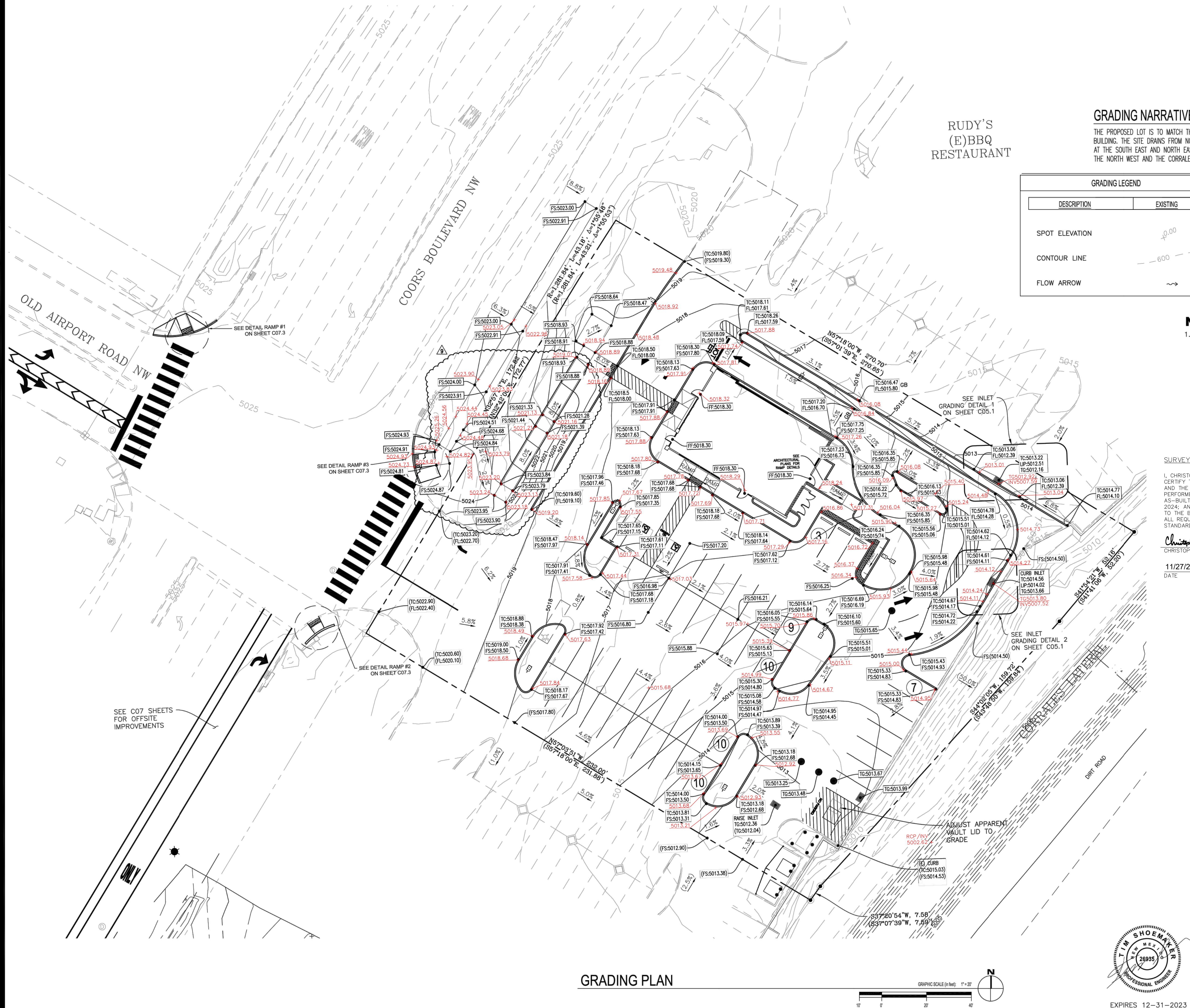
HOUSTON	DALLAS
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Houston, Texas 77008	Piano, Texas. 75024
713 869 1103 V	972 490 7292 V

PANDA EXPRESS

10126 COORS BOULEVARD
ALBUQUERQUE, NM 87114

GRADING PLAN

C05.0



EXPIRES 12-31-2023

