

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 9, 2024

Tim Shoemaker, P.E.
RTM Engineering
7007 Wyoming Blvd. NE
Albuquerque, NM 87109

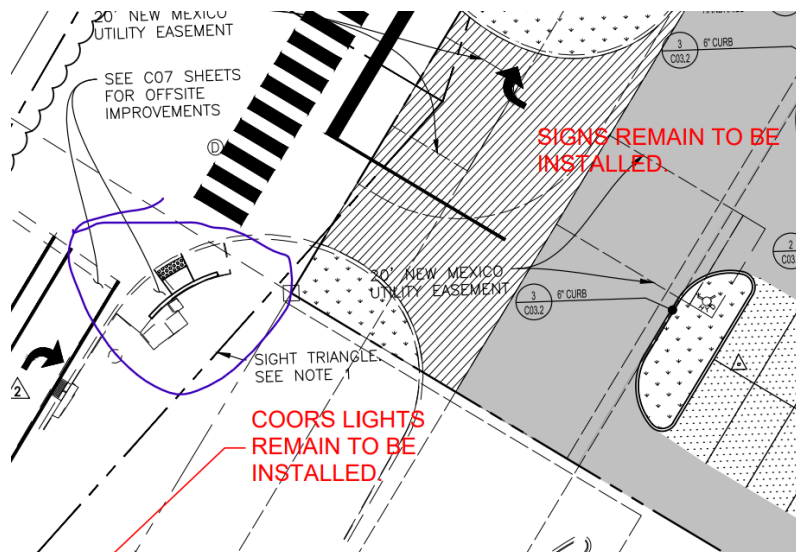
Re: Panda Express
10126 Coors Blvd. NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 12-14-22 (B14-D018A)
Certification dated 12-04-24

Dear Mr. Shoemaker,

Based upon the information provided in your submittal received 12-06-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per the approved site plan the corner ramp at the north west side of the site must be updated to current city ADA standard with minimum 4 ft wide pathway. However, per the site visit there were only 3 ft wide pathway at this corner ramp.



CITY OF ALBUQUERQUE

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PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- Anchor down Bike Rack.

Once these corrections are complete, email pictures to malnajjar@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

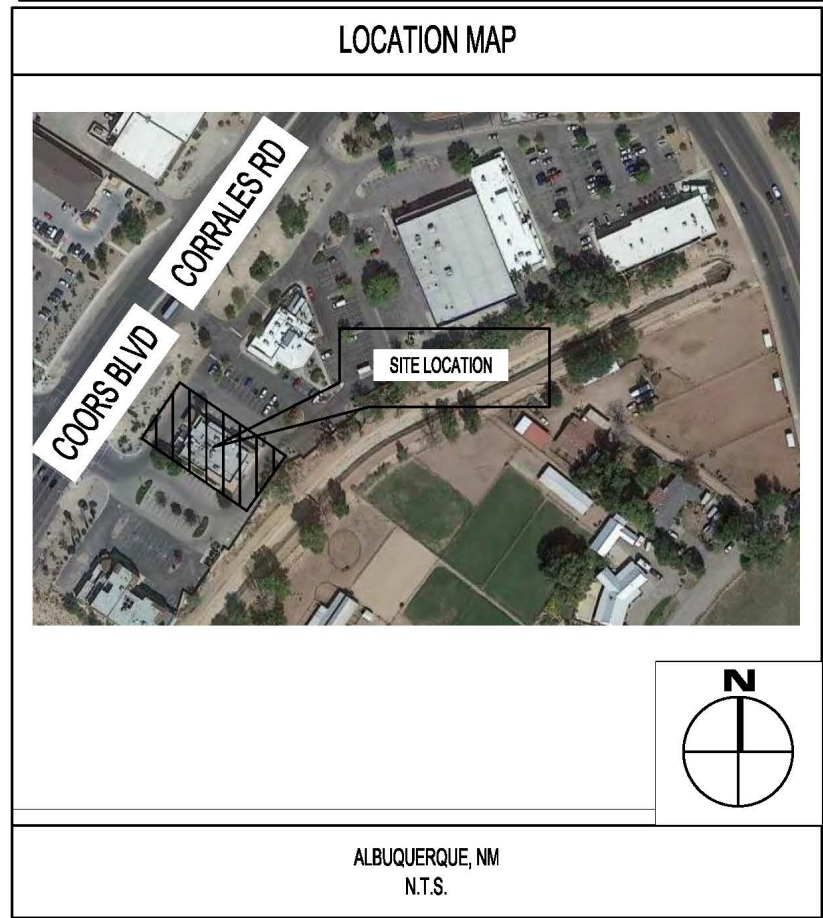
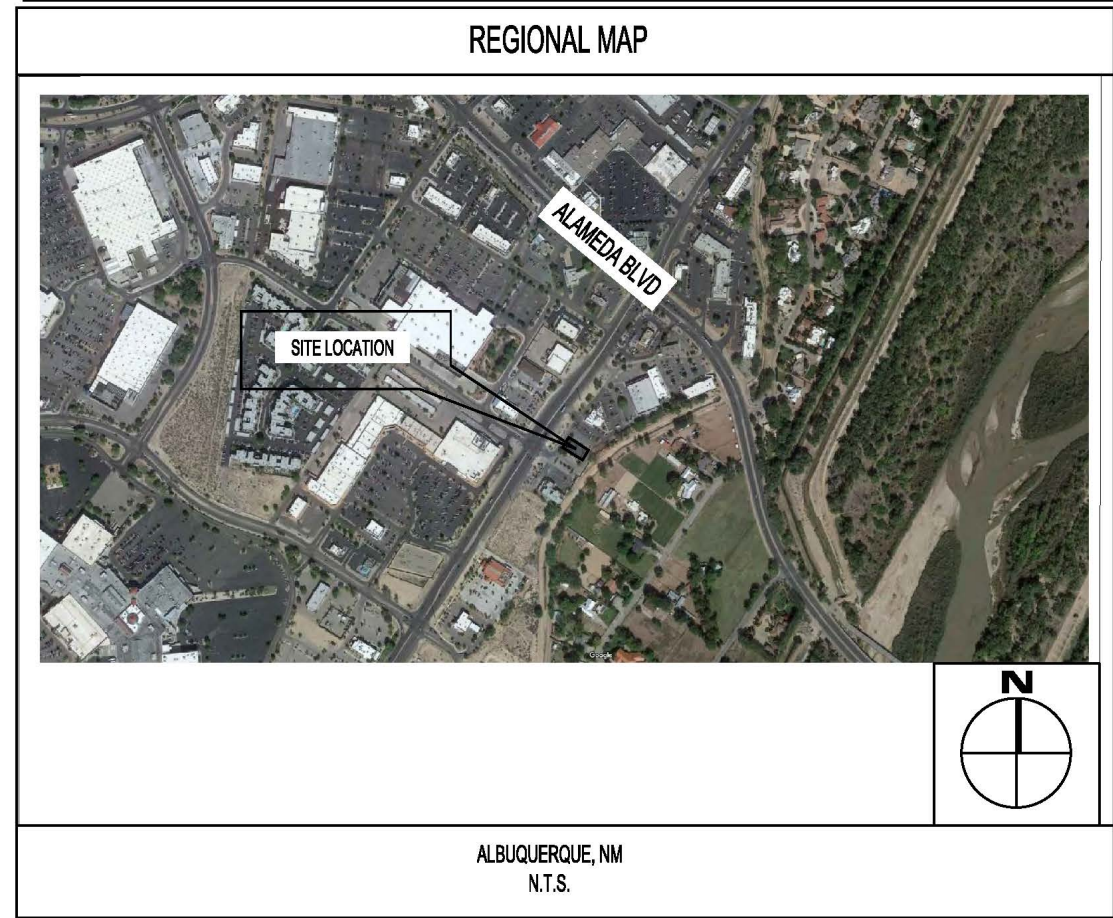
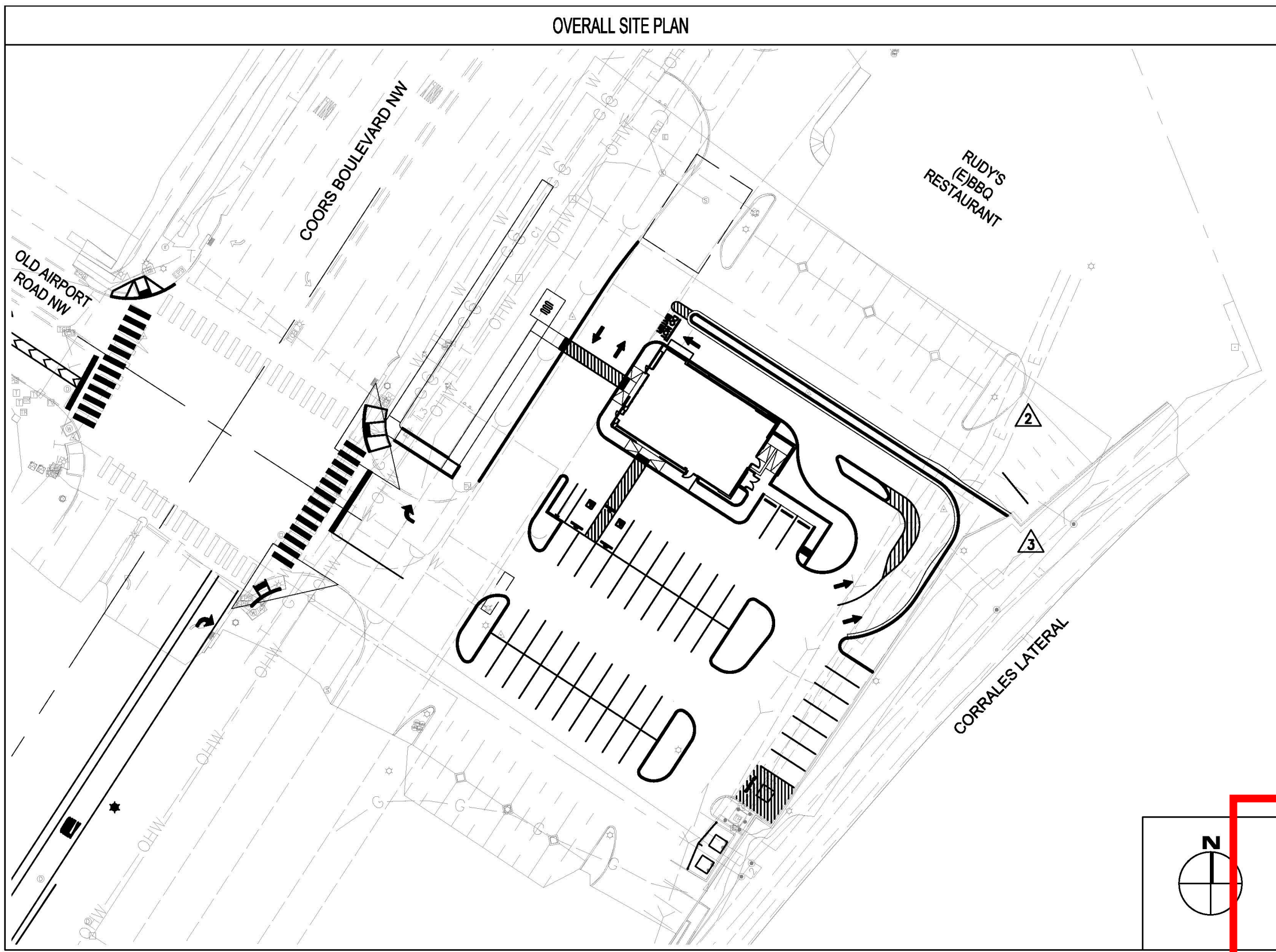
TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____



LEGAL DESCRIPTION

LEGAL DESCRIPTION FOR LOT 2A-1, NORTHEAST PORTION OF BLACK RANCH: (AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY) LOT 2A-1 OF THE NORTHEAST PORTION OF BLACK RANCH, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 5, 1995, IN VOLUME 95C, FOLIO 164 AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" REBAR FOUND FOR THE NORTHWEST CORNER OF SAID LOT 2A-1, A POINT ON THE EASTERLY RIGHT OF WAY LINE OF COORS BOULEVARD N.W., THENCE SOUTH 57 DEGS. 19'43" E. A MEASURED DISTANCE OF 270.47 FEET (SOUTH 57 DEGS. 19'00" EAST 270.70 FEET OF RECORD) TO A 1/2" REBAR FOUND FOR THE NORTHEAST CORNER OF SAID LOT 2A-1, SAID POINT LYING ON THE WESTERLY RIGHT OF WAY LINE OF THE CORRALES ACEQUIA CANAL, THENCE SOUTH 41 DEGS. 42'17" WEST ALONG SAID RIGHT OF WAY, A MEASURED DISTANCE OF 52.33 FEET (SOUTH 41 DEGS. 41'06" WEST A DISTANCE OF 52.20 FEET OF RECORD) TO A FOUND 1/2" REBAR, THENCE SOUTH 43 DEGS. 48'02" WEST, CONTINUING ALONG SAID RIGHT OF WAY, A MEASURED DISTANCE OF 159.71 FEET (SOUTH 41 DEGS. 41'06" WEST A DISTANCE OF 159.84 FEET OF RECORD) TO A FOUND 1/2" REBAR, THENCE SOUTH 37 DEGS. 22'13" WEST, CONTINUING ALONG SAID RIGHT OF WAY, A MEASURED DISTANCE OF 7.82 FEET (SOUTH 37 DEGS. 07'39" WEST A DISTANCE OF 7.58 FEET OF RECORD) TO A 1/2" REBAR FOUND FOR THE SOUTHEAST CORNER OF SAID LOT 2A-1, THENCE NORTH 57 DEGS. 16'48" WEST, A MEASURED DISTANCE OF 231.82 FEET (NORTH 57 DEGS. 18'00" WEST A DISTANCE OF 231.68 FEET OF RECORD) TO A 5/8" REBAR WITH CAP SET FOR THE SOUTHWEST CORNER OF SAID LOT 2A-1, SAID POINT LIES ON THE EASTERLY RIGHT OF WAY LINE OF COORS BOULEVARD N.W. AND SAID POINT BEARS NORTH 32 DEGS. 42'00" EAST A DISTANCE OF 182.23 FEET FROM A 1/2" REBAR FOUND FOR THE SOUTHWEST CORNER OF LOT 1A OF THE SAID NORTHEAST PORTION OF BLACK RANCH, THENCE NORTH 32 DEGS. 42'00" EAST, ALONG SAID RIGHT OF WAY, A DISTANCE OF 172.77 FEET TO A FOUND 1/2" REBAR FOR A POINT OF CURVATURE, THENCE A DISTANCE OF 43.16 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1281.84 FEET, A CENTRAL ANGLE OF 1 DEG. 54'41" AND A CHORD BEARING OF NORTH 33 DEGS. 54'17" EAST A DISTANCE OF 43.16 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1281.84 FEET, A CENTRAL ANGLE OF 1 DEG. 55'53" AND A CHORD BEARING OF NORTH 33 DEGS. 40'12" EAST A DISTANCE OF 43.21 FEET OF RECORD) TO THE POINT OF BEGINNING.

TOGETHER WITH

EASEMENTS FOR INGRESS/EGRESS AS SET FORTH IN THE CERTAIN RECIPROCAL EASEMENT AGREEMENT RECORDED IN BOOK MISC. 780A, PAGE 676 AS DOCUMENT NUMBER 89-81276, RECORDS OF BERNALILLO COUNTY, NEW MEX.

BASIS OF ELEVATIONS

NAVD 88

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THE PREMISES SURVEYED ARE NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS BEING BASED ON A LINE BETWEEN THE AGRS CONTROL STATIONS LISTED ABOVE BEARING = N24°50'06".

BENCHMARKS

SITE BENCH MARK 1:
NEW MEXICO STATE HIGHWAY CONTROL STATION "NM48-N12" DATA
FOUND STANDARD BRASS DISC
NAD 83 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES
NORTHING: 1,528,973.229 US SURVEY FEET EASTING: 1,521,354.471 US SURVEY FEET
ELEV. = 5,026.132 US SURVEY FEET (NAVD 1988)
SITE BENCH MARK 2:
AGRS STATION "B-B14 2003" DATA
FOUND STANDARD 3 1/2" INCH ALUMINUM DISC
NAD 83 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES
NORTHING: 1,528,602.981 US SURVEY FEET EASTING: 1,521,086.792 US SURVEY FEET
ELEV. = 5,025.358 US SURVEY FEET (NAVD 1988)

FLOODPLAIN STATEMENT

AREA LIES WITHIN FLOOD ZONE X (OTHER AREAS). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP PER FIRM MAP PANEL 109 OR 825, MAP NO. 36001C0109H, MAP REVISED DATE 08/16/2021, BERNILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS.

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK BY ALL FEDERAL, STATE, LOCAL, ETC. AGENCIES OR JURISDICTIONS HAVING APPROVAL AUTHORITY OVER WORK. THIS WORK INCLUDES BUT IS NOT LIMITED TO RECORD DRAWINGS, CERTIFICATIONS, INSPECTIONS AND OR REPORTS.
- SURVEYOR TO OBTAIN CAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR SHALL VERIFY ALL BENCHMARK, BASIS OF BEARINGS AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY SHALL BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.
- CONTRACTOR SHALL COORDINATE WORK WITH UTILITY COMPANIES AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.
- PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED UPON THE PROPOSED DIMENSIONING PROVIDED BY THE ENGINEER. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL IMPROVEMENTS BY OTHERS AT THE LOCATIONS. VERIFICATION SHALL BE BY LOCATING THE IMPROVEMENTS IN THE FIELD AND / OR CONFIRMING THE HORIZONTAL AND VERTICAL CONTROL OF THE LATEST PLANS BY OTHERS MATCHES THE PROPOSED IMPROVEMENTS.
- SURVEY PREPARED BY TERRA LAND SURVEYS, L.L.C. DATED JUNE 2021.
- ALL WORK WITHIN COORS BLVD (SR448) RIGHT-OF-WAY SHALL BE COORDINATED WITH NMDOT AND REQUIRES A SEPARATE STATE PERMIT. IN ADDITION, A WORK ORDER SHALL BE SUBMITTED TO THE CITY OF ALBUQUERQUE PRIOR TO THE START OF CONSTRUCTION.

SOLID WASTE DEPARTMENT

- ACCESS TO ENCLOSURE MUST BE MAINTAINED BETWEEN THE HOURS OF 5 AM - 8PM. IF ACCESS IS IMPEDED, OWNER IS SUSCEPTIBLE TO FINES AT THE DISCRETION OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.

NOTES

- SITE ACCESS CONTROL INCLUDING SAFETY FENCES AND TRAFFIC CONTROL, ALL CONSTRUCTION MEANS AND METHODS, AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ALL UTILITIES SHOWN IN THE PLANS ARE FROM RECORDS OR FIELD OBSERVABLE IN FORMATION LOCATED BY SURVEYOR. ANY UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
- PLANS BASED UPON GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED AUGUST 18, 2021.

PANDA EXPRESS STANDARD NOTES

- THE GEOTECHNICAL INVESTIGATION PREPARED BY TERRACON CONSULTANTS, INC. DATED AUGUST 18, 2021 AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE THE REPORTS RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORTS RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, Dewatering, COMPACTION ETC.
- CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

CAUTION NOTICE

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND / OR FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INCURRING ANY CONSTRUCTION RELATED COSTS.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING, OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.
- ADDITIONAL OR FEWER UTILITIES MAY EXIST THAN SHOWN.

NMDOT

- A STATE PERMIT AND A WORK ORDER THROUGH THE CITY OF ALBUQUERQUE SHALL BE ACQUIRED BY THE CONTRACTOR FOR ALL WORK THAT IMPACTS NMDOT FACILITIES



STORE D8582
10126 COORS BOULEVARD
ALBUQUERQUE, NM 87114

PREPARED BY:



engineering consultants
650 E. ALGONQUIN ROAD SUITE 250
SCHAUMBURG, IL 60173
T.847.756.4180 | www.rtmassociates.com

PREPARED FOR:

PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
PHONE: 626.799.9898
FAX: 626.372.8288

I, TIM SHOEMAKER, NMPE 26935 OF THE FIRM RTM ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/19/22. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER MEDINA, NMPS 15702 OF THE FIRM TERRA LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/04/24 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



TIM SHOEMAKER
(SEAL)

EXPIRES 12-31-2025

DATE 12/04/24

TRAFFIC CERTIFICATION

SHEET INDEX

NO.	TITLE	DRB SUBMITTAL	DRB RE-SUBMITTAL 04-01-2022	DRB 2nd SUBMITTAL 06-04-2022	DRB 3rd SUBMITTAL 09-21-2022	DRB 4th SUBMITTAL 10-19-2022
C01.0	CIVIL COVER SHEET	●	●	●	●	
C01.1	GENERAL NOTES					
C01.2	SPECIFICATIONS					
	ALTA / NSPS LAND TITLE SURVEY					
C02.0	DEMOLITION PLAN / EXISTING CONDITIONS					
C03.0	SITE PLAN	●	●	●	●	
C03.1	STAKING PLAN					
C03.2	HARDSCAPE DETAILS I		●	●	●	
C03.3	HARDSCAPE DETAILS II		●	●	●	
C03.4	HARDSCAPE DETAILS III			●	●	
C04.0	UTILITY PLAN	●	●	●	●	
C04.1	BLDG UTILITY DETAIL PLAN					
C04.2	UTILITY DETAILS I					
C04.3	UTILITY DETAILS II					
C05.0	GRADING PLAN	●	●	●	●	
C05.1	BUILDING AREA GRADING DETAIL					
C06.0	EROSION & SEDIMENT CONTROL NOTES					
C06.1	EROSION & SEDIMENT CONTROL PLAN					
C06.2	EROSION & SEDIMENT CONTROL DETAILS					
C07.0	OFFSITE PLAN - DEMO AND IMPROVEMENT				●	●
C07.1	OFFSITE PLAN - CROSS SECTIONS				●	●
C07.2	OFFSITE PLAN - STRIPING PLAN				●	●
C07.3	OFFSITE PLAN - ADA RAMP DETAILS				●	●
C07.4	OFFSITE PLAN - STREET LIGHTING				●	●
C07.5	OFFSITE PLAN - STREET LIGHTING				●	●
C08.0	OFFSITE PLAN - MOT				●	●
C08.1	OFFSITE PLAN - MOT				●	●
EH.01	EXISTING PERVIOUS AND IMPERVIOUS AREAS		●	●	●	
EH.02	PROPOSED PERVIOUS AND IMPERVIOUS AREAS		●	●	●	
	APPROVED DRAINAGE AND GRADING PLAN				●	

PROJECT CONTACTS

CURRENT OWNER MARTHA MALASHOOK TRUSTEE B OF MALASHOOK 1981 AND CONNIE KRALL TRUSTEE OF THE SMITH 1982 CO JOHN MALASHOOK 3861 JACOBSON ST SAN DIEGO, CALIFORNIA 92103 PHONE: (619) 502-2662	DEVELOPER PANDA EXPRESS, INC. 1683 WALNUT GROVE AVE. ROSEMEAD, CALIFORNIA 91770 PHONE: (626) 799-9898 FAX: (626) 372-8288	CIVIL ENGINEER RTM ENGINEERING ASSOCIATES 8225 INDIAN CREEK PARKWAY, SUITE 1075 OVERLAND PARK, KS 66210 PHONE: (913) 322-4400 ATTN: TIM SHOEMAKER, PE	ARCHITECT HEIGHTS VENTURE ARCHITECTURE DESIGN 1111 NORTH LOOP WEST, SUITE 800 HOUSTON, TEXAS 77008 PHONE: 713.881.1103 ATTN: ERIC J. ABEL, AIA, NCARB	LAND SURVEYOR TERRA LAND SURVEYS, LLC P.O. BOX 2632 CORRALES, NM 87048 PHONE: (800) 792-9163
MEP NICK POLCARI JAMES TURNER ENGINEERS 6500 MEADOW ROAD, SUITE 180 DALLAS, TX 75251 PHONE: (214) 755-2800	SITE LIGHTING RYAN ZINSELMIEER VILLA LIGHTING PHONE: (914) 581-2600 RYAN.ZINSELMIEER@VILLALIGHTING.COM	MUNICIPAL SANITARY SEWER AGENCY CHRIS GUSTAFSON ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY ONE CIVIC PLAZA N.W., ROOM 9027 ALBUQUERQUE, NM 87102 PHONE: (505) 942-5887 GUSTAFSON@BCWUA.ORG	MUNICIPAL WATER AGENCY CHRIS GUSTAFSON ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY ONE CIVIC PLAZA N.W., ROOM 9027 ALBUQUERQUE, NM 87102 PHONE: (505) 942-5887 GUSTAFSON@BCWUA.ORG	ELECTRIC PMM 414 SILVER AVE. SW ALBUQUERQUE, NM 87102 PHONE: (888) 245-3858
GAS NEW MEXICO GAS COMPANY P.O. BOX 9700 ALBUQUERQUE, NM 87109 PHONE: (505) 667-4494	TELEDATA CENTURY LINK COMMUNICATIONS 6TH STREET AND GOLD AVENUE STATION ALBUQUERQUE, NM 87102 PHONE: (505) 398-4278	LANDSCAPE ARCHITECT BRENNON WILLIAMS 600 SECOND NW PLAZA DEL SO BUILDING ALBUQUERQUE, NM 87102 PHONE: (505) 624-3880 PLANNINGDEPARTMENT@CARGO.GOV	SIGNAGE CNOY - COAST SIGN INC. PHONE: (714) 989-1918 PANDAPRESS@COASTSIGN.COM	FIRE LT. TOM RUZZ 11800 SUNSET GARDENS SW ALBUQUERQUE, NM 87121 PHONE: (505) 624-1021 TRUZZ@CARGO.GOV
MUNICIPAL PLANNING & ZONING BRENNON WILLIAMS 600 SECOND NW PLAZA DEL SO BUILDING ALBUQUERQUE, NM 87102 PHONE: (505) 624-3880 PLANNINGDEPARTMENT@CARGO.GOV	MUNICIPAL BUILDING DEAN KADELL 600 SECOND NW PLAZA DEL SO BUILDING ALBUQUERQUE, NM 87102 PHONE: (505) 624-3631 KADELL@CARGO.GOV	MUNICIPAL ENGINEERING MATTHEW GRUSH 600 SECOND NW PLAZA DEL SO BUILDING ALBUQUERQUE, NM 87102 PHONE: (505) 624-3631 MGRUSH@CARGO.GOV	MUNICIPAL DRAINAGE DEAN KADELL 600 SECOND NW PLAZA DEL SO BUILDING ALBUQUERQUE, NM 87102 PHONE: (505) 624-3631 KADELL@CARGO.GOV	

PROJECT NUMBER: PR-2022-006547

Application Number: PR-2022-00216

This plan is consistent with the specific Site Development Plan approved by the Development Review Board Application (DRB), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.
DRB SITE DEVELOPMENT PLAN APPROVAL:

Ernest Armijo

Traffic Engineering, Transportation Division

ABCWUA

Cheryl Squandall

Parks and Recreation Department

City Engineer/Hydrology

Jeff P... Dec 14, 2022 09:37 MDT

Code Enforcement

* Environmental Health Department (conditional)

Solid Waste Management

DRB Chairperson, Planning Department

Dec 14, 2022

Date

Dec 14, 2022

Date

Dec 14, 2022

Date

Dec 14, 2022

Date

Dec 14, 2022

Date

Dec 14, 2022

Date

EXPIRES 12-31-2023



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

DRB 1st RESUBMITTAL	04-01-21
DRB Project No. PR-2022-006547	
SI-2022-00216-SITE PLAN	
DRB 2nd RESUBMITTAL	05-04-22
DRB 3rd RESUBMITTAL	09-21-22
DRB 4th RESUBMITTAL	10-19-22

ISSUE DATE:

DRB SUBMITTAL 12-28-21

DRAWN BY:

rtm

PANDA PROJECT #: S8-22-D8582

PANDA STORE #: D8582

ARCH PROJECT #: D8582



engineering consultants
650 E. Algonquin Road
Suite 250
Schaumburg, IL 60173
Telephone: (847) 756-4380
www.rtmec.com
OH Certificate of Authority: 05046

Heights Venture
ARCHITECTURE DESIGN

HOUSTON 1111 North Loop West, Suite 800
Houston, Texas 77008
713.869.1103 V

DALLAS 5717 Legacy Drive, Suite 240
Plano, Texas 75024
972.490.7292 V

PANDA EXPRESS

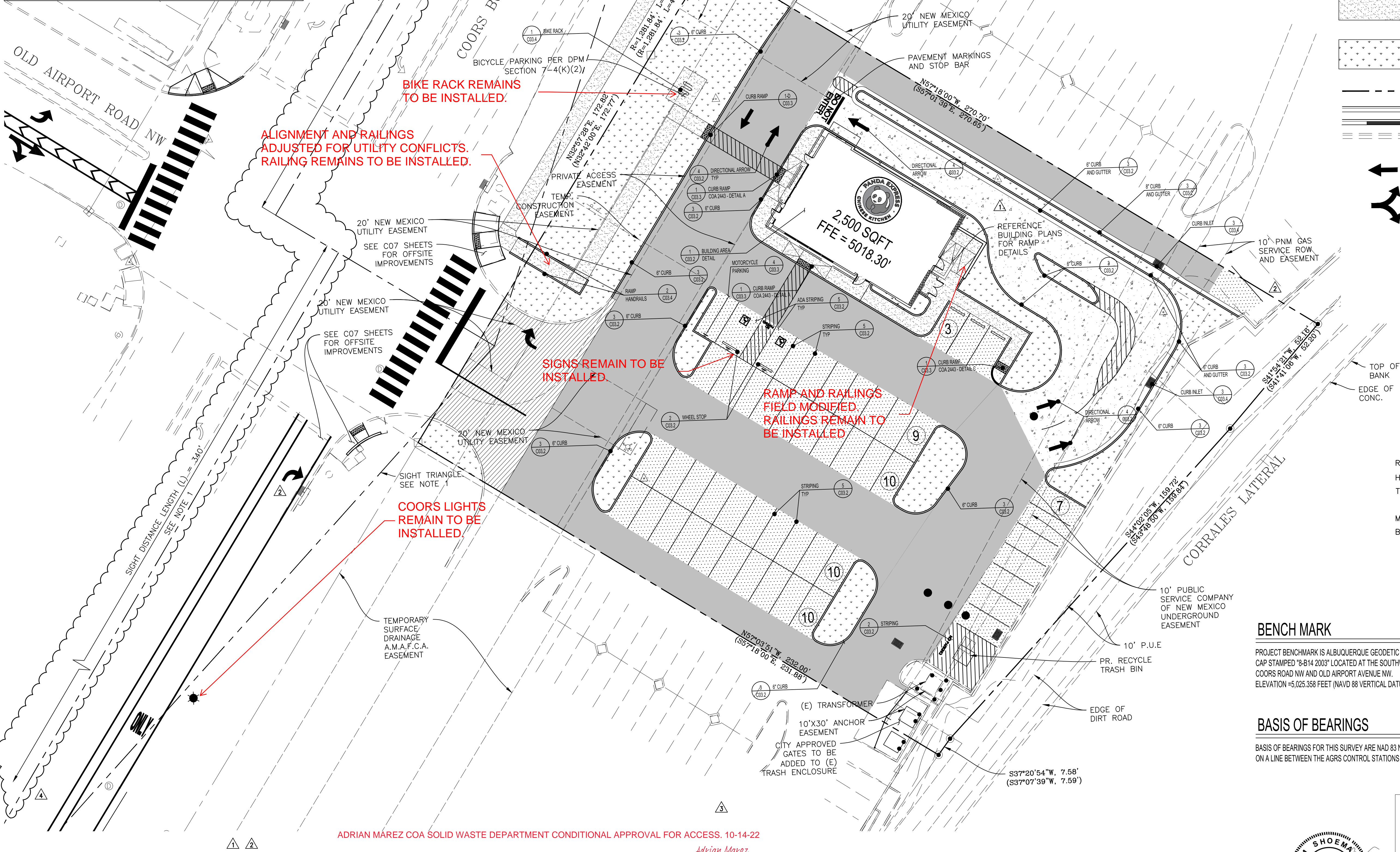
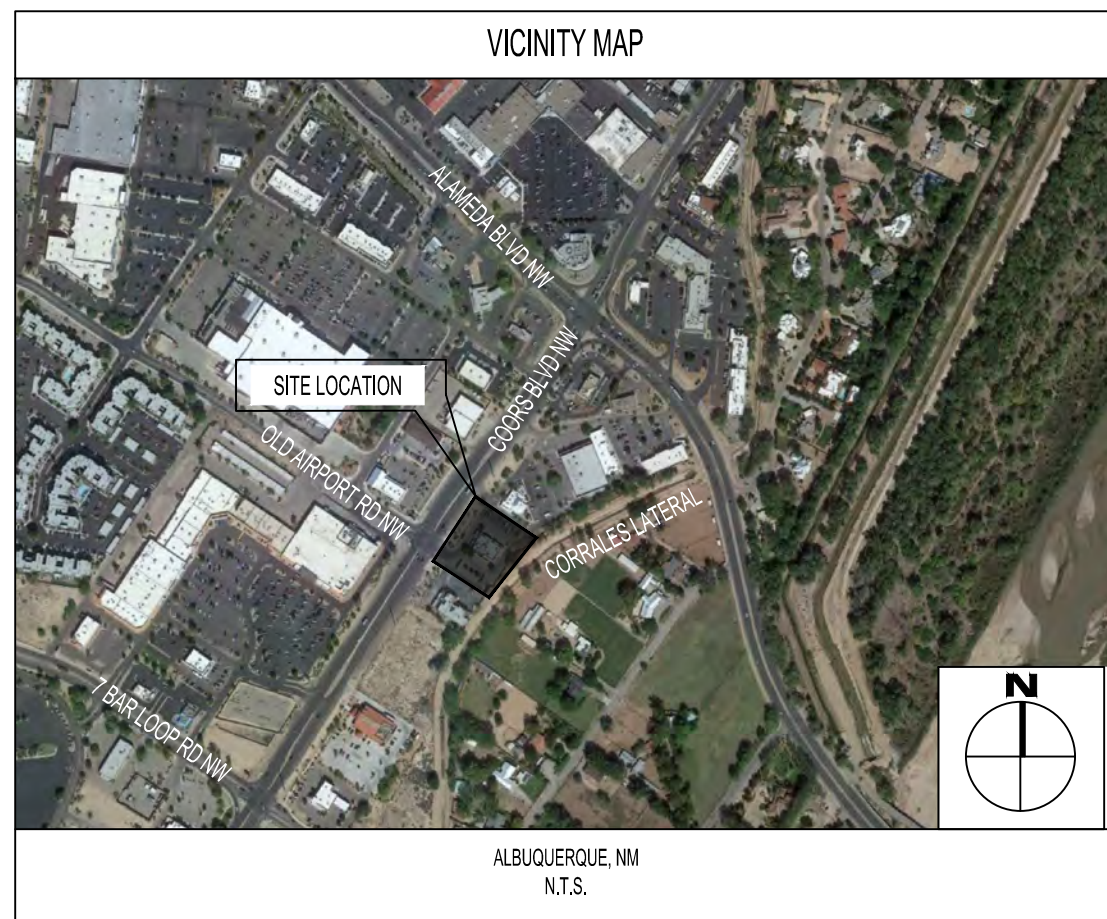
10126 COORS BOULEVARD
ALBUQUERQUE, NM 87114

COVER SHEET

C01.0

10126 COORS BOULEVARD

DRB SUBMITTAL SET PR-2022-006547



LEGEND:

- PROPOSED HEAVY DUTY CONCRETE: 5.5" PCC (REFERENCE GEOTECHNICAL REPORT FOR SECTION)
- PROPOSED FULL DEPTH ASPHALT: 3.5" AC OVER 6" AB (REFERENCE GEOTECHNICAL REPORT FOR SECTION)
- PROPOSED FULL DEPTH ASPHALT: 4.5" AC OVER 6" AB (REFERENCE GEOTECHNICAL REPORT FOR SECTION)
- PROPOSED 2" OVERLAY
- PROPOSED SIDEWALK (REFERENCE GEOTECHNICAL REPORT FOR SECTION)
- PROPOSED LANDSCAPE
- PROPERTY LINE
- CURB AND GUTTER
- CURB AND GUTTER DEPRESSED
- EXISTING CURB & GUTTER
- TRAFFIC FLOW DIRECTION/ STRIPING WHERE NOTED

PARKING SUMMARY:

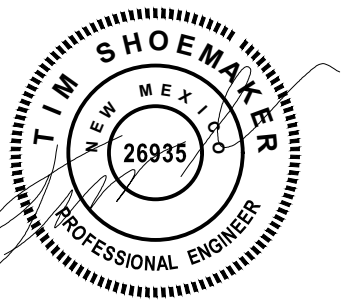
QUANTITIES PER IDO 5-5, SIZING PER DPM PART 7-4	
	PROP
REGULAR STALLS (9'x18')	47
HANDICAP STALLS (9'x18')	2
TOTAL	49
MOTORCYCLE STALLS (4.5'x18')	2
BICYCLE SPACES	6

BENCH MARK

PROJECT BENCHMARK IS ALBUQUERQUE GEODETIC REFERENCE STATION 8-B14 BEING A FOUND ALUMINUM CAP STAMPED "8-B14 2003" LOCATED AT THE SOUTHWEST QUADRANT OF THE STREET INTERSECTION OF COORS ROAD NW AND OLD AIRPORT AVENUE NW. ELEVATION = 5,026.358 FEET (NAVD 88 VERTICAL DATUM).

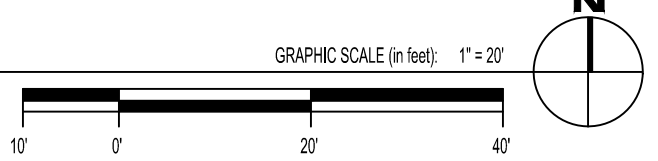
BASIS OF BEARINGS

BASIS OF BEARINGS FOR THIS SURVEY ARE NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS BEING BASED ON A LINE BETWEEN THE AGRS CONTROL STATIONS LISTED ABOVE BEARING = N.34°50'06"E.



NOTES:
1. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN PAN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

SITE PLAN



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California 91770
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Heights Venture
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SITE PLAN

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