



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department Transportation Development Services Section

June 17, 2002

Dale R. Dekker, Reg. Architect
Dekker, Perich, Sabatini
6801 Jefferson N.E.
Albuquerque, NM 87109

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
New Mexico Golf Academy, [647/ DRB#99-69]
No Address Given *D17/2001A1*
Architect's Stamp Dated 06/14/02

Dear Mr. Dekker:

Based on Certification submittal dated June 14, 2002, the above referenced project is not approved for a Permanent C.O., however, a 30-day Temporary (Temp) C.O. can be issued to allow occupancy of the building.

The Temp. C.O. has been issued allowing the outstanding procedural issue and final site completion issues to be completed within this time period.

The submittal/tracking/review procedure has recently been revised by Transportation to improve speed and efficiency. The "One-stop" needs the designer's help to allow it to function properly and efficiently. When the site is complete and a Permanent C.O. is needed, a Letter of Certification (specifically stating "Certification"), stating that the site was built in substantial compliance with the approved plan, needs to be included with the approved copy of the Traffic Circulation Layout (TCL)/DRB Site Plan. For the quickest turnaround time, submit a copy of the signed off DRB Site Plan. The letter or the DRB Site Plan/TCL, or both, must be stamped with the designer's seal, signed and dated for that certification. A second option would be to place a typed or stamped Statement of Certification on the appropriate DRB Site Plan/TCL, with the designer's seal, signed and dated for that certification.

All documentation must be submitted with a FULLY completed Drainage and Transportation Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center -- this includes Listing of Site street address (street number/street name) for filing for this office. Submit to front counter personnel for log in and evaluation by Transportation. Complete the Information Sheet for every submittal or have a copy made of the first sheet completed before it is stamped at the front counter here. Copies of this form can be made for use with each subsequent submittal for this project.

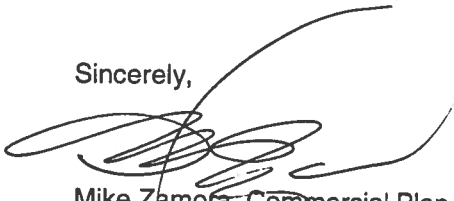
This submittal and approval for a Temp.C.O. has been accepted to help this project move along smoothly, but the next Temp. C.O. submittal, if similar, will not be accepted. The Temp. C.O. Certification submittal must be the acceptable, approved DRB Site Plan or TCL, showing the work not yet completed (preferably in red ink), along with the Cert. Letter, submitting it as stated above.

The following outstanding issues are also to be resolved within this time period: 1) 2) Removal of all construction fencing, all equipment and refuse/compactors, in the traffic/pedestrian circulation areas. 3) Removal of all landscape material (gravel, bark, etc.) from parking stalls to receive the Permanent C.O. From this date, up to the Certification of the construction for Permanent C.O., it is recommended that the material is contained in the stall(s) that are needed to hold the material, keeping surrounding area clean of this material, to reduce liability.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that Final C.O. has been issued to the superintendent, call Building Safety at 924-3306.

If you have any questions, please call me at 924-3620.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mike Zamora', with a long horizontal flourish extending to the right.

Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: New Mexico Golf Academy ZONE MAP/DRG. FILE #: C17/18
 DRB #: 99-69 EPC#: _____ WORK ORDER#: DRB 99-69

LEGAL DESCRIPTION: _____
 CITY ADDRESS: Balloon Fiesta Parkway?

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Dekker/Parish/Gabellini CONTACT: Dale Dekker (Stamps)
 ADDRESS: 6801 Jefferson NE Ste 100 PHONE: _____
 CITY, STATE: City ZIP CODE: 87109

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

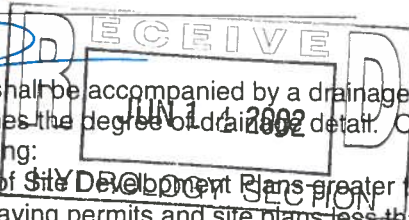
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: (6/14/02) 6/17 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

6/17/02 - Sent letter to Designer, Rej'd C.O., issued 6/17/02 by Niles, C.
 - Issued in



6-14-02



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Mike Zamora
Transportation Development Division
City of Albuquerque

Mr Zamora:

Dekker/Perich/Sabatini produced a set of drawings for our client (New Mexico Golf Academy) for proceeding through the city's process of Design Review Board (DRB). The DRB number was #99-69. The site plan laid out the site and parking lot. Dekker/Perich/Sabatini was not the architect of record; however the site and parking lot built does match our drawings submitted to the DRB. Dekker/Perich/Sabatini certifies to the best of our ability that the parking lot and site coincides with what was drawn in our DRB drawings. This letter is written at the request of Mike Zamora – (City of Albuquerque Transportation Department).

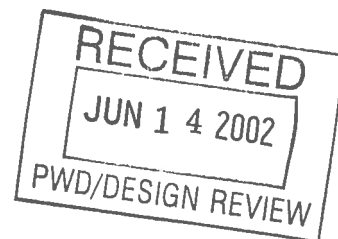
ARCHITECTS CERTIFICATION

I, Dale Dekker, licensed under the laws of the State of New Mexico, do hereby certify that this site and parking lot was constructed in substantial compliance with the improvements shown on the approved Site Development Plan approved by the DRB for the New Mexico Golf Academy.

Dale Dekker



Date



6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761-9700
fax 761.4222
dps@dpsabq.com