

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 25, 2024

Jacob Liberman
Tierra West, LLC
5571 Midway Park PI NE
Albuquerque, NM 87109

Re: Honeywell
9201 Pan American Fwy NE
Conceptual Traffic Circulation Layout for DFT Approval
Engineer's Stamp 06-21-24 (B17-D001B)

Dear Mr. Liberman,

The conceptual TCL submittal received 01-26-2024 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



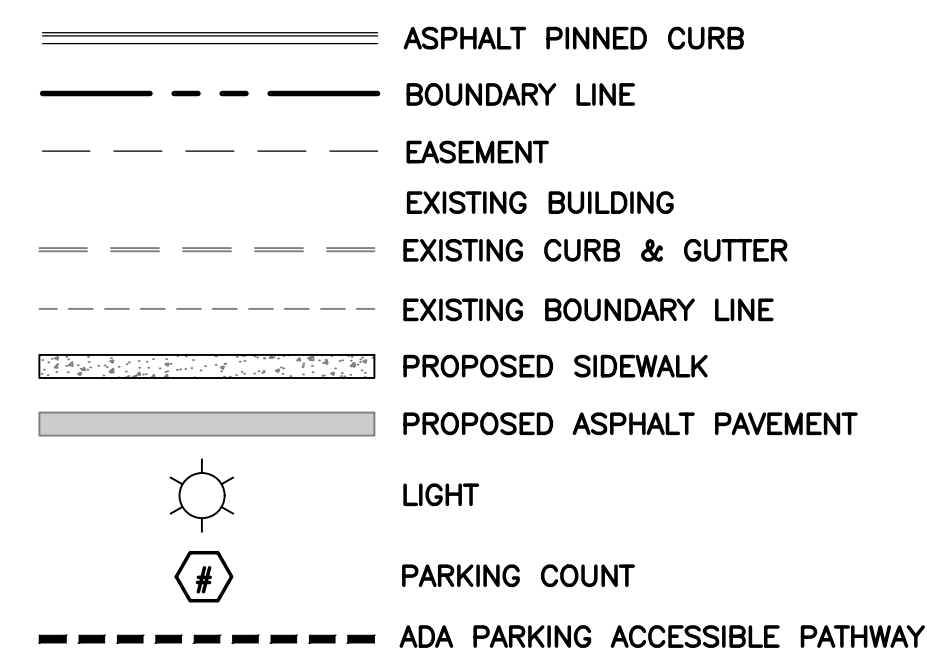
1. ADA ACCESSIBLE PEDESTRIAN PATHWAY SHOULD NOT BE PLACED BEHIND PARKING SPACES OR ADJACENT TO A VEHICLE WAY.
2. IT IS ACCEPTABLE TO KEEP EXISTING WAVE-STYLE BIKE RACK, BUT ALL NEW RACKS MUST COMPLY WITH THE DPM.

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

SEE ALL TRUCK TURNING MOVEMENT USING A
WB-65 ON SHEET C2.1

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
2. WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
3. GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO METRICITY DRAWINGS FOR HEAD PLACEMENT.
4. GC TO COORDINATE SITE SECURITY, LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
5. GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
6. PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 - 1/2" @ ALL EXIT DOORS
 - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 - 1 1/2" @ OVERHEAD DOORS
 - 1 1/2" @PRE-FAB METAL WALL PANELS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. REFER TO SHEET S1.2, S1.3, S1.4, S1.5 FOR ENLARGED FOUNDATION PLAN FOR EACH TRUCK DOCK.
6. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN WORK ORDER.




TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B
HONEYWELLSITE CONT 59.6960 AC

EXISTING BUILDING AREA: 522,928 SF
PROPOSED BUILDING AREA W/ DOCK ADDITIONS: 526,794 SF
PROPOSED LOT AREA: 1,668,330 SF (38.30 ACRES)
ZONING: NR-LM
WAREHOUSING WITH 10% OFFICE SPACE

WAREHOUSING W/ 10% OFFICE SPACE	
PER IDO TABLE 5-5-1 FOR WAREHOUSING AND OFFICE SPACE	
1 SPACE/ 2,000 SQ. FT. GFA FOR 474,114.60 SQ.FT. GFA=	237 SPACES
3.5 SPACES/ 1,000 SQ. FT. GFA FOR 52,679.4 SQ. FT. GFA=	184 SPACES
TOTAL PARKING REQUIRED=	421 SPACES
TOTAL PARKING PROVIDED=	1992 SPACES
HC PARKING REQUIRED=	12 SPACES
HC PARKING PROVIDED=	32 SPACES
MOTORCYCLE PARKING REQUIRED=	6 SPACES
MOTORCYCLE PARKING PROVIDED=	40 SPACES
BICYCLE PARKING REQUIRED	42 SPACES
BICYCLE PARKING PROVIDED	42 SPACES
TOTAL PARKING REQUIRED=	421 SPACES
TOTAL PARKING PROVIDED=	1992 SPACES

<p>(1) STANDARD ASPHALT CURB (TYP), SEE DETAIL SHEET C5.0</p> <p>(2) NEW ASPHALT PAVEMENT (TYP), SEE DETAIL SHEET C5.0</p> <p>(3) NEW 6" CONCRETE SIDEWALK, PER COA STD DW 2430, SEE DETAIL SHEET C5.0</p> <p>(4) PARALLEL CURB RAMP (TYP.) PER COA STD DWG 2443, SEE DETAIL SHEET C5.0</p> <p>(5) HANDRAIL, SEE SHEET C5.0</p> <p>(6) PROPOSED STAIRS</p> <p>(7) MAIN ENTRANCE TO BUILDING</p> <p>(8) DOCK ENTRANCE</p> <p>(9) PROPOSED PARKING STALL, SEE DETAIL THIS SHEET</p> <p>(10) PROPOSED ACCESSIBLE PARKING W/ SIGN PER ADA STANDARDS (TYP.), SEE DETAIL SHEET C5.0</p> <p>(11) PROPOSED MOTORCYCLE SPACE (4'x8' MIN) W/SIGN, SEE DETAIL SHEET C5.0</p> <p>(12) PROPOSED STRIPED PARKING LOT ISLAND</p>	<p>(13) EXISTING PARKING STALL</p> <p>(14) EXISTING ACCESSIBLE PARKING W/ SIGN PER ADA STANDARDS TO BE UPDATED TO CURRENT ADA STANDARDS, SEE DETAIL SHEET C5.0</p> <p>(15) EXISTING MOTORCYCLE SPACE W/SIGN</p> <p>(16) EXISTING BICYCLE RACK</p> <p>(17) ADA PARKING ACCESSIBLE PATHWAY</p> <p>(18) POND W/ 3:1 SLOPE</p> <p>(19) REMOVAL OF CURBING AND REPLACE WITH ASPHALT</p> <p>(20) REMOVAL OF CONCRETE STRUCTURE (TYP.)</p> <p>(21) REMOVAL OF GUARD SHACK AND REPLACE WITH ASPHALT</p> <p>(22) REMOVAL OF COVERED PATIO</p> <p>(23) REMOVAL OF CURB</p> <p>(24) PROPOSED BICYCLE RACK W/ CONCRETE PAD, SEE DETAIL SHEET C5.0</p>
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ENGINEER'S
SEAL



RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER

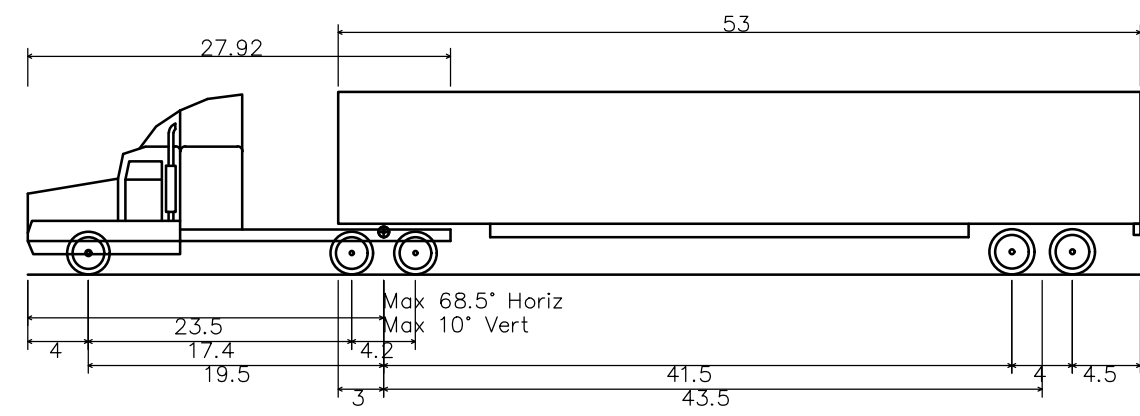
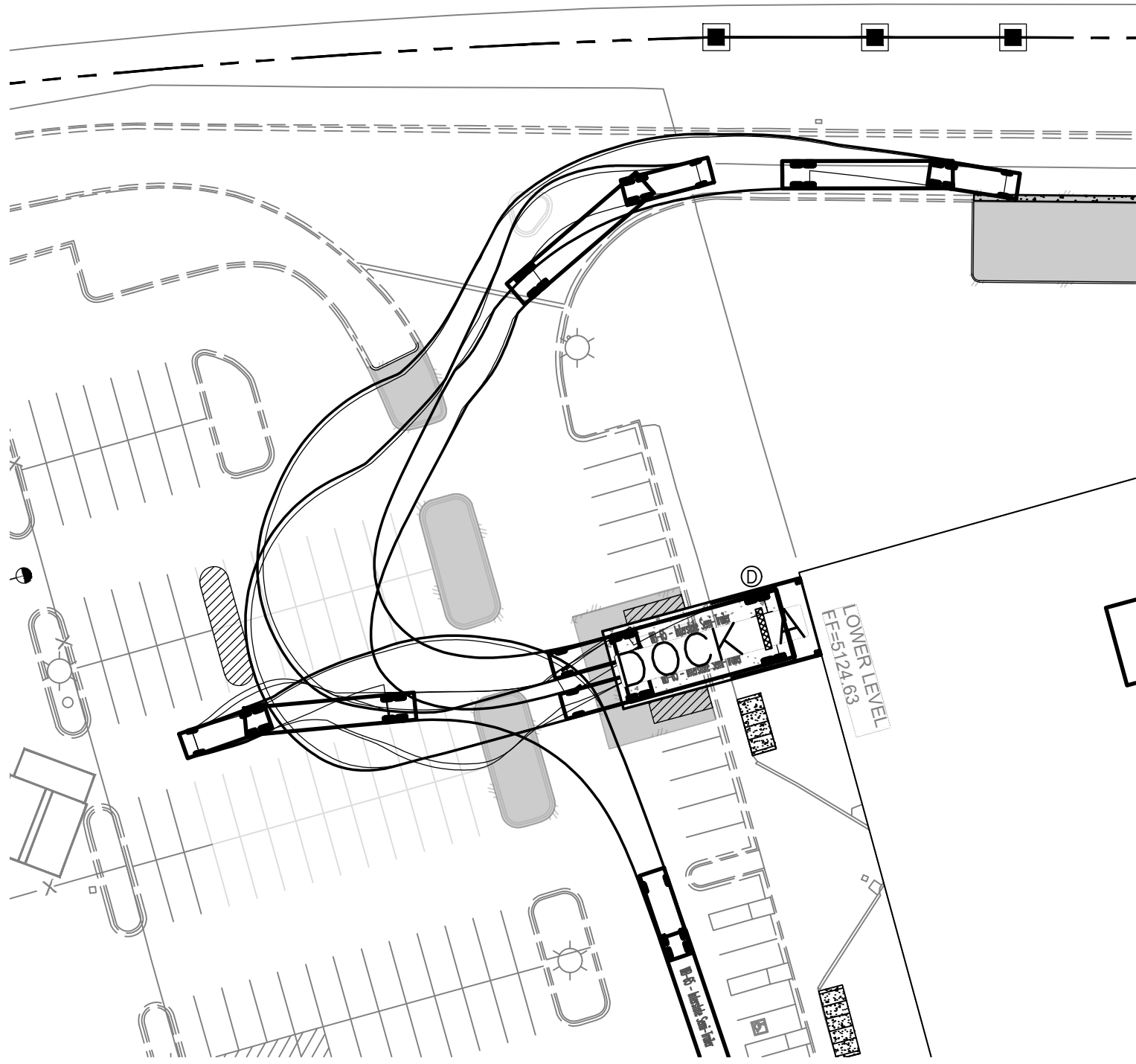
Ronald R. Bohannan

6-21-2024

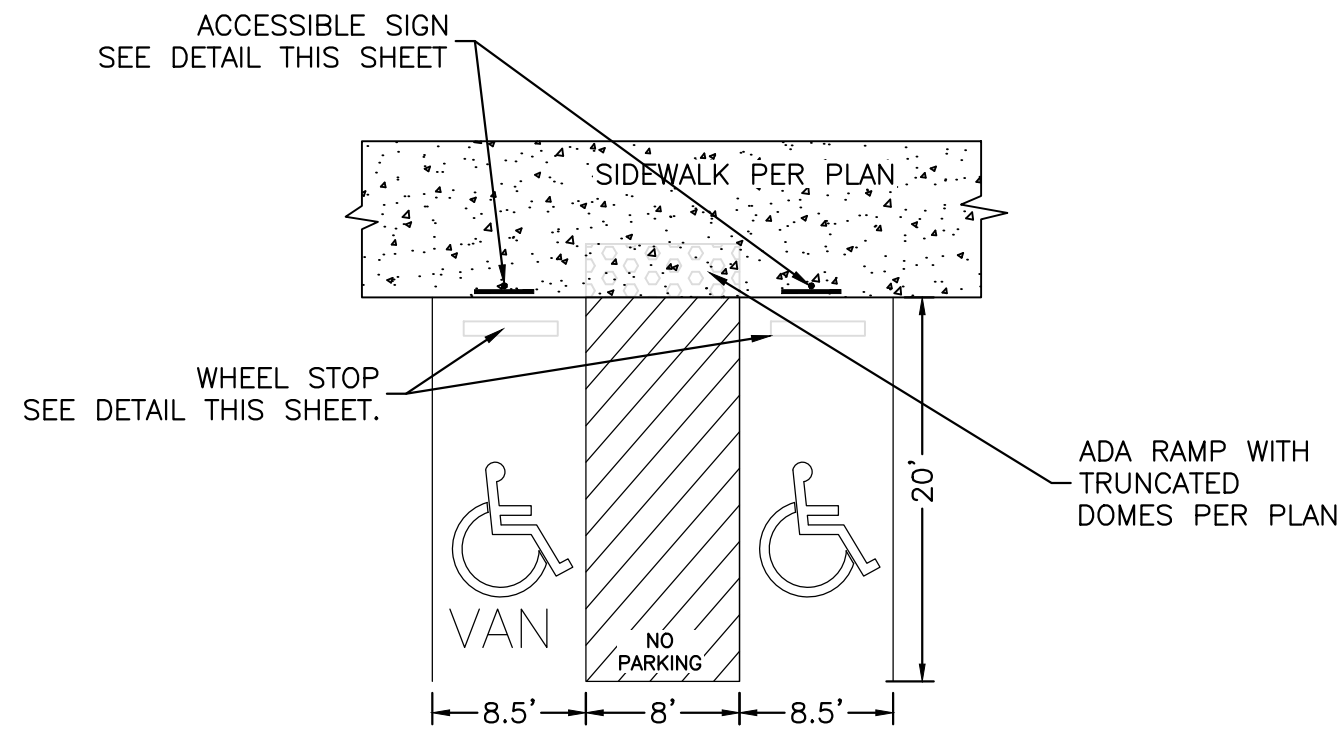
RONALD R. BOHANNAN
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JOB #
2023090

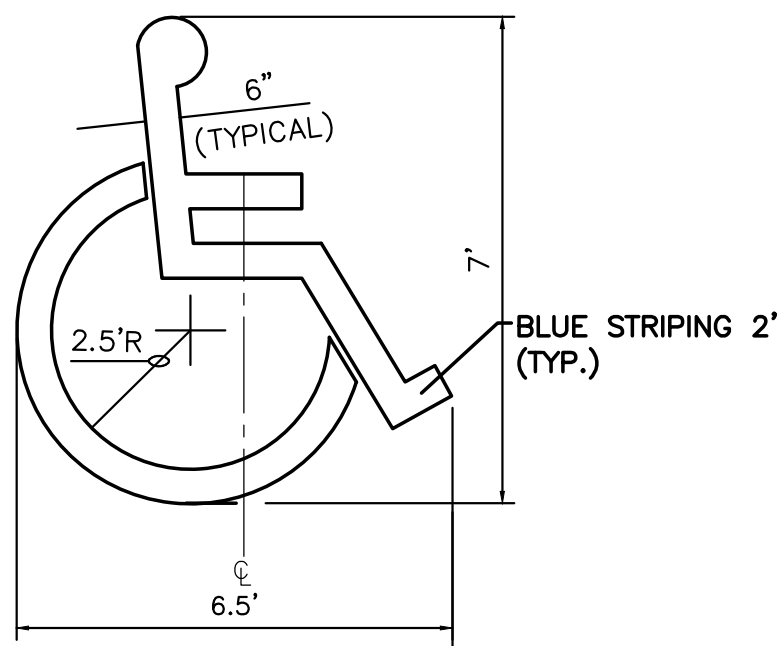


WB-65 - Interstate Semi-Trailer	
Overall Length	73.500ft
Overall Width	8.500ft
Overall Body Height	12.052ft
Min Body Ground Clearance	1.334ft
Max Track Width	8.500ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	28.40



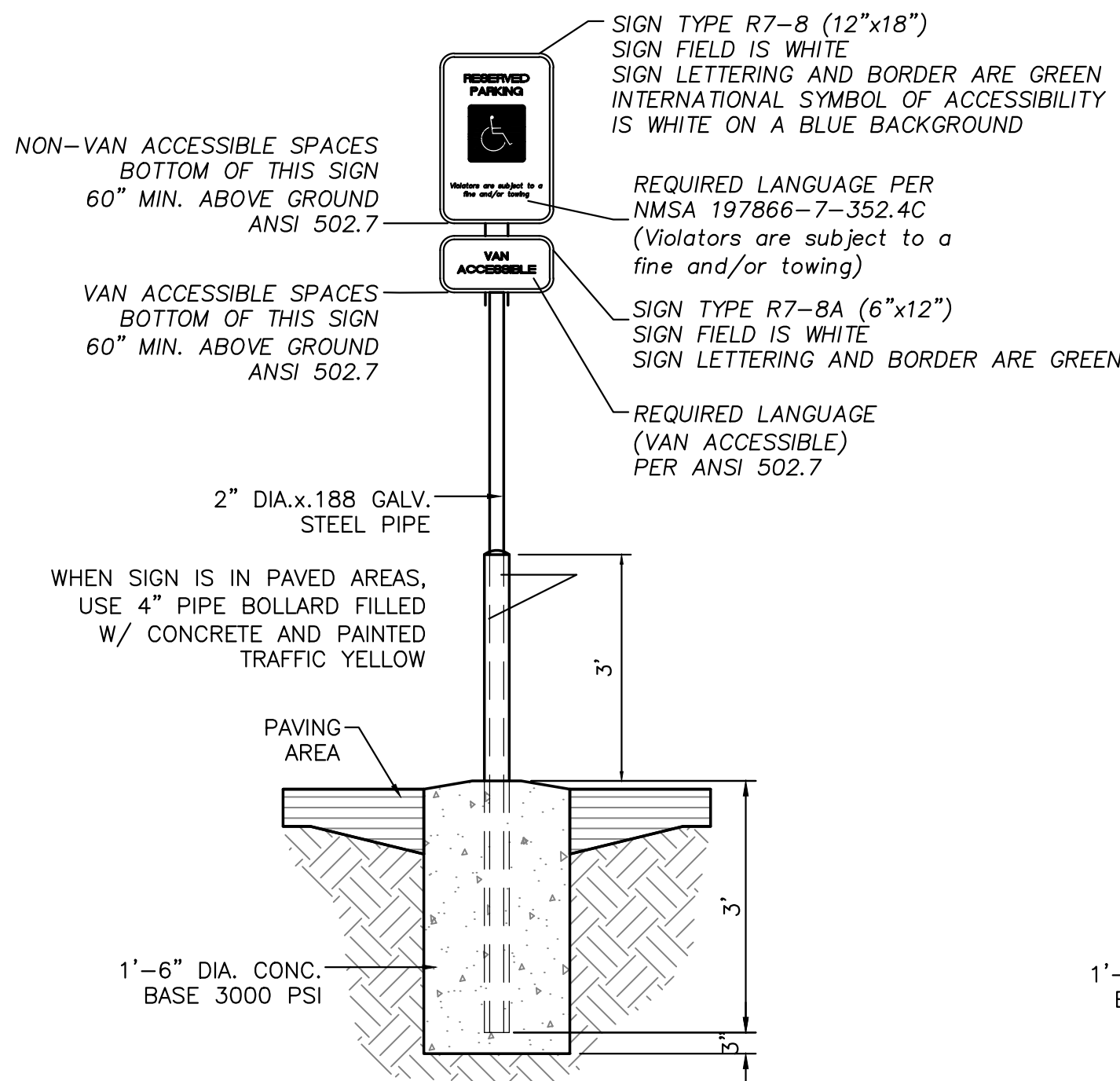
- NOTES:
- 1)International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2)Parking space lines and diagonal striping to be painted blue.
 - 3)Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
 - 4)ADA parking areas – not to exceed a slope greater than 2% in any direction

(1) HC PARKING DETAIL
SCALE: NTS

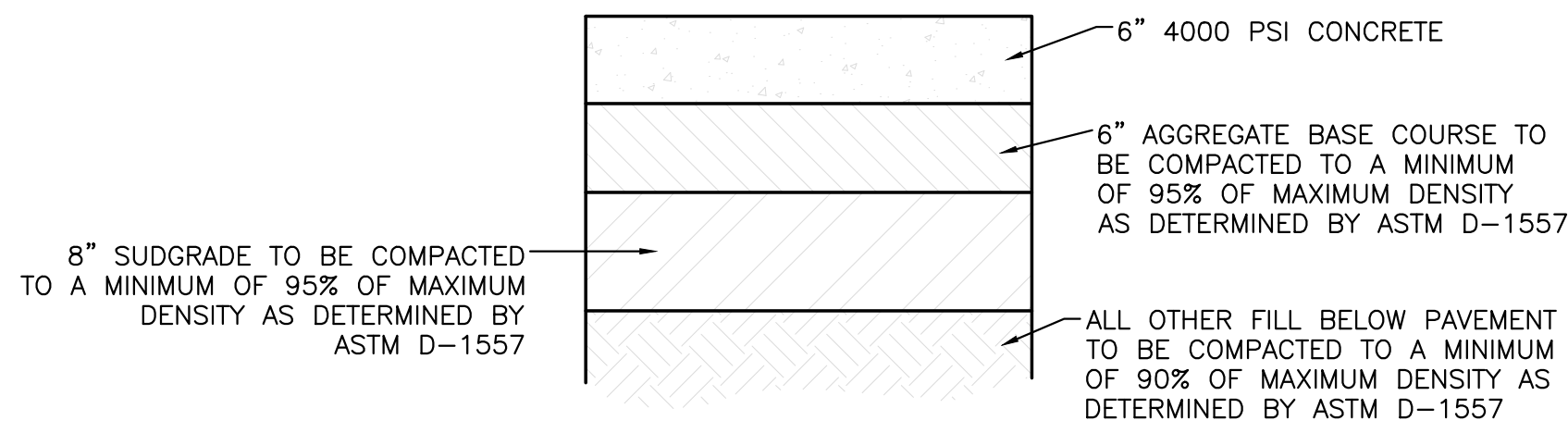


ACCESSIBLE PARKING SYMBOL
NTS

LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

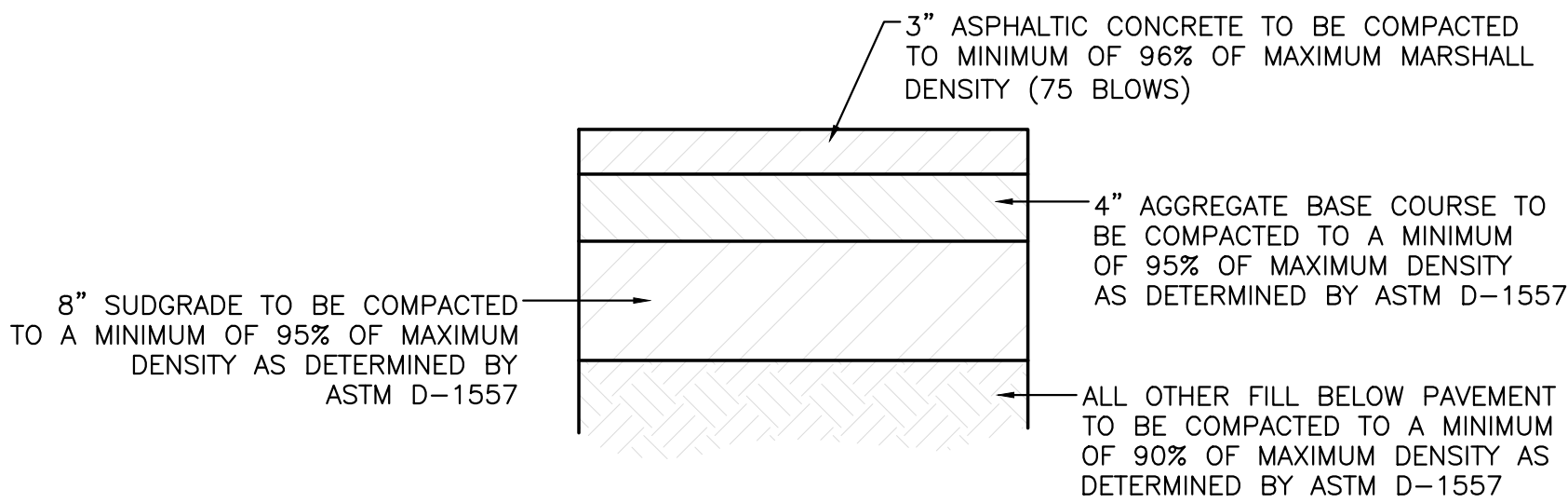


ACCESSIBLE PARKING SIGN
NTS

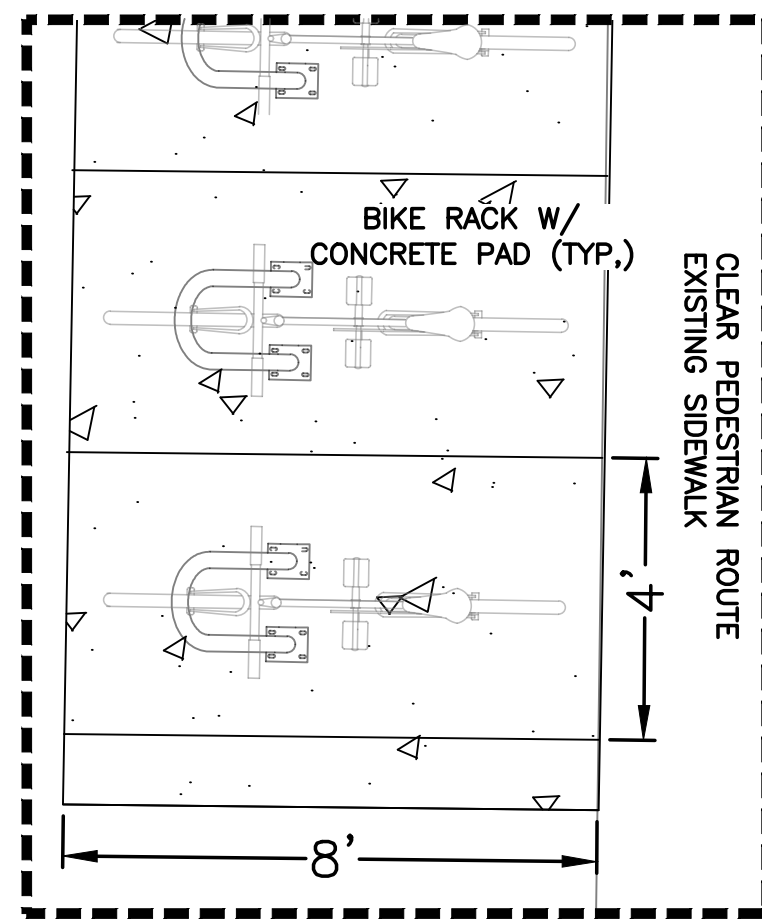


LOADING RAMP FOR SEMI-TRUCKS
NTS

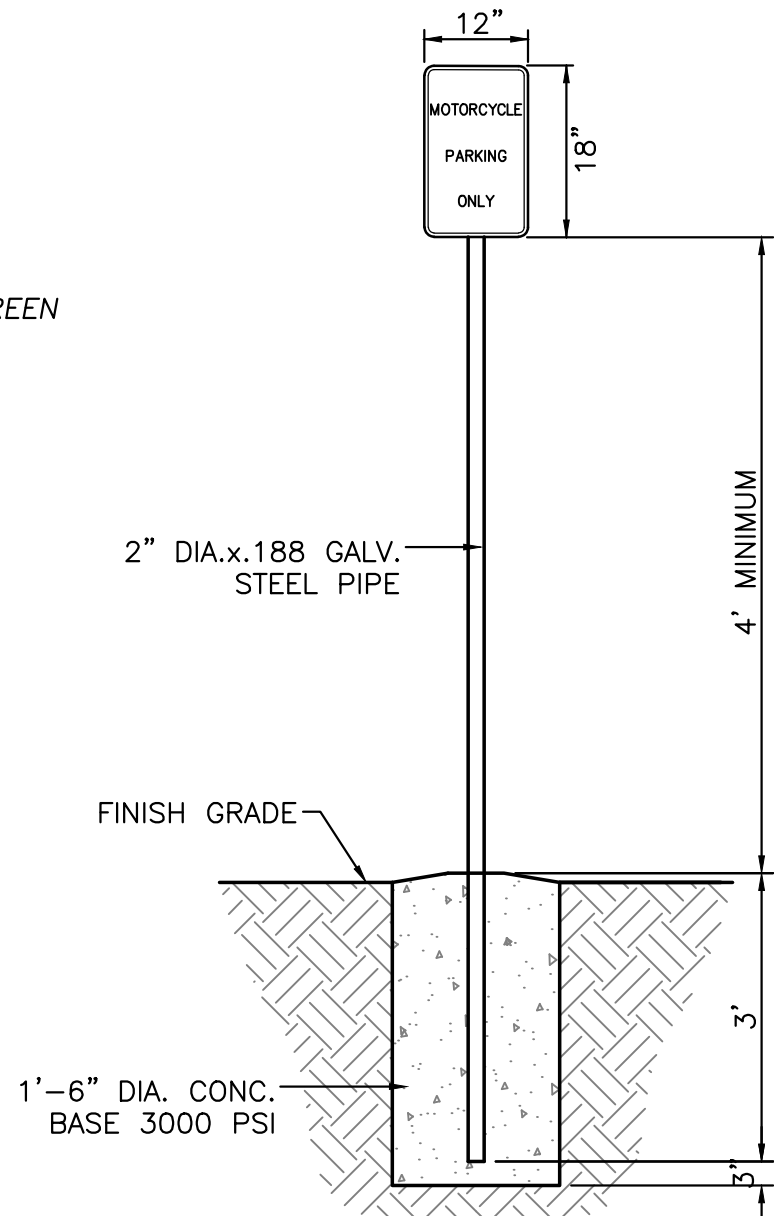
NOTE: CONTRACTOR TO VERIFY WITH OWNER PROVIDED SOILS REPORT.



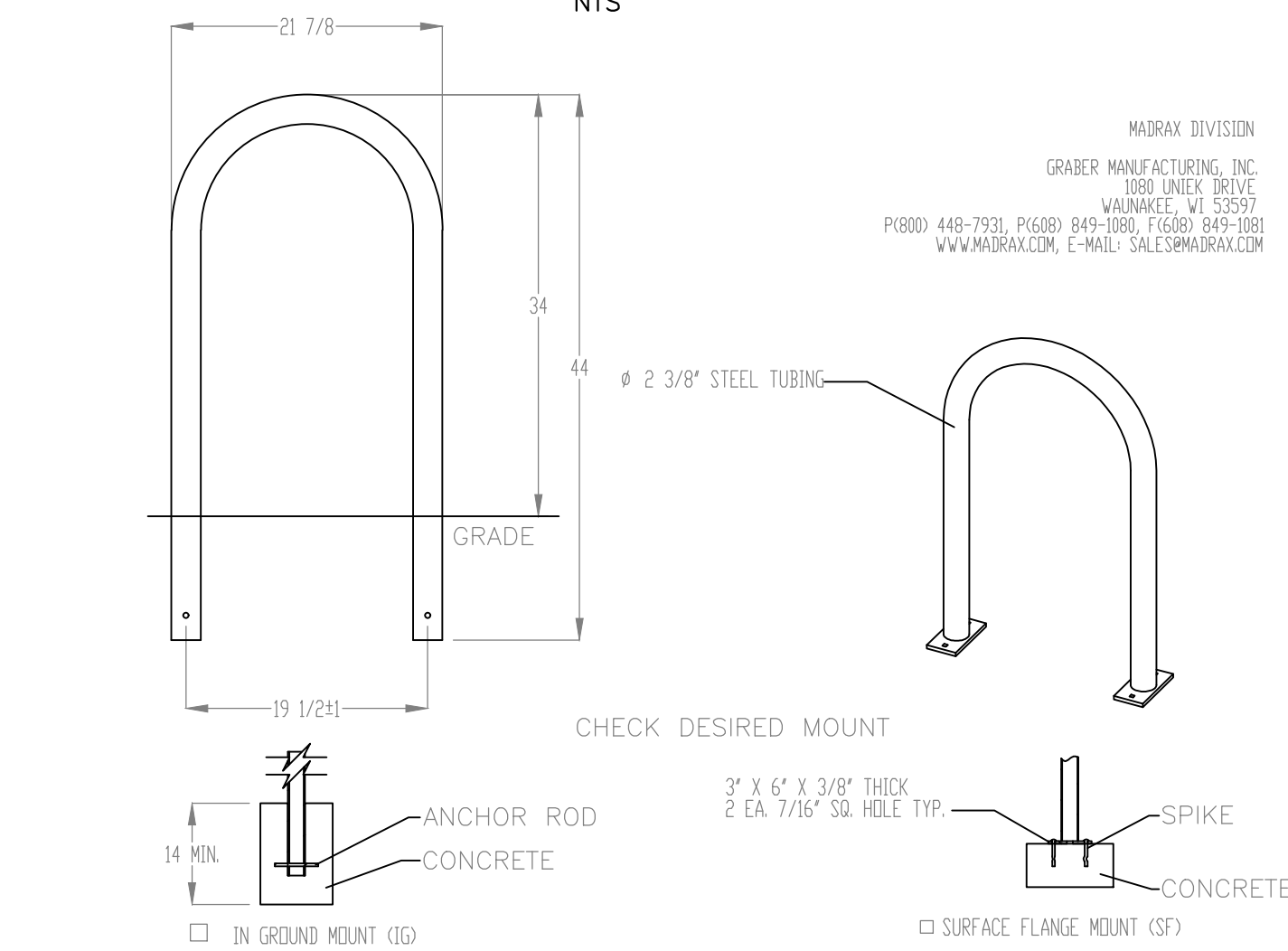
AUTOMOBILE DRIVEWAYS AND AREAS SUBJECT TO SEMI-TRUCKS
TYPICAL PAVING SECTION
NTS



PROPOSED BICYCLE RACK
W/ CONCRETE PAD DETAIL
NTS

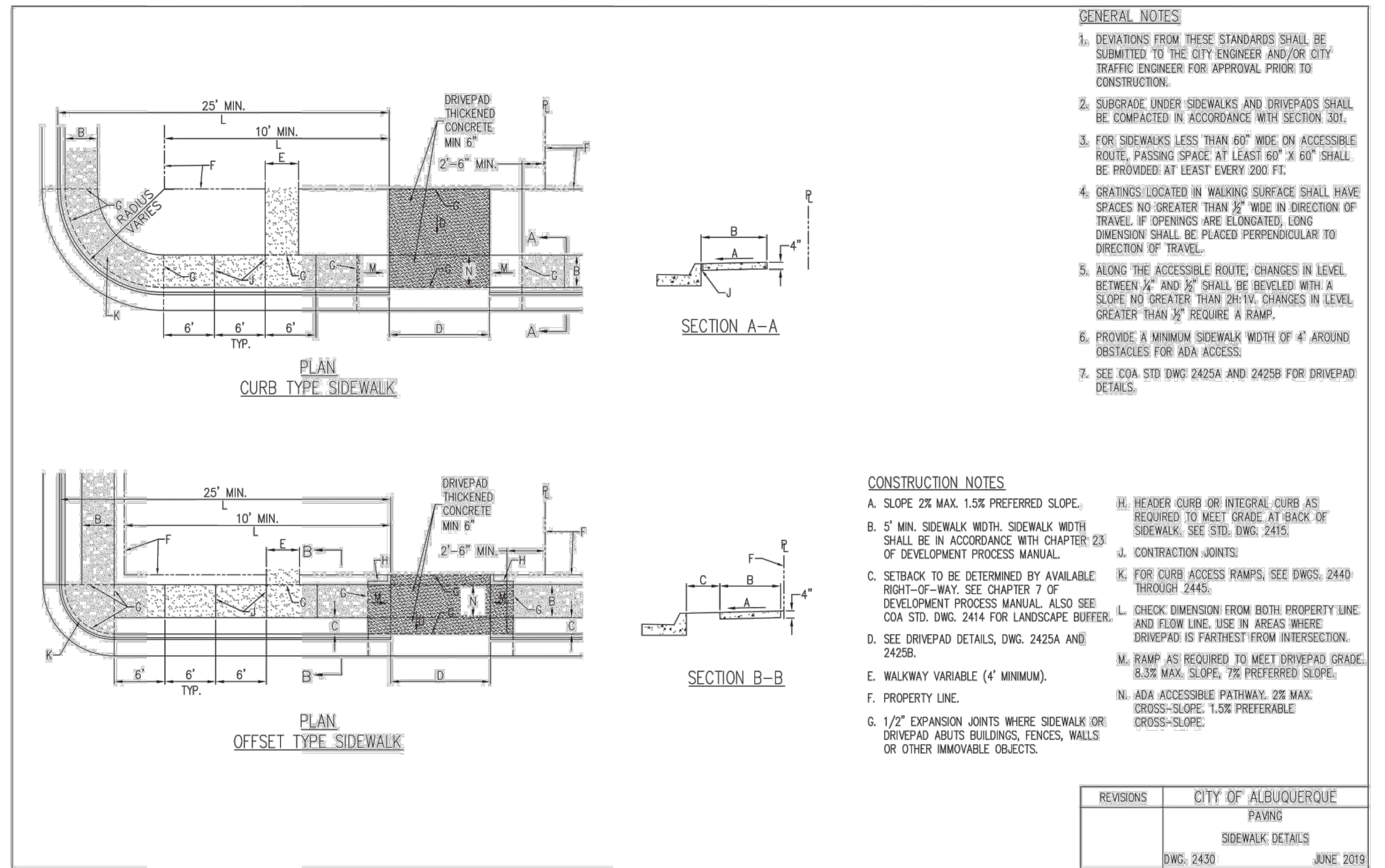


MOTORCYCLE PARKING SIGN
NTS



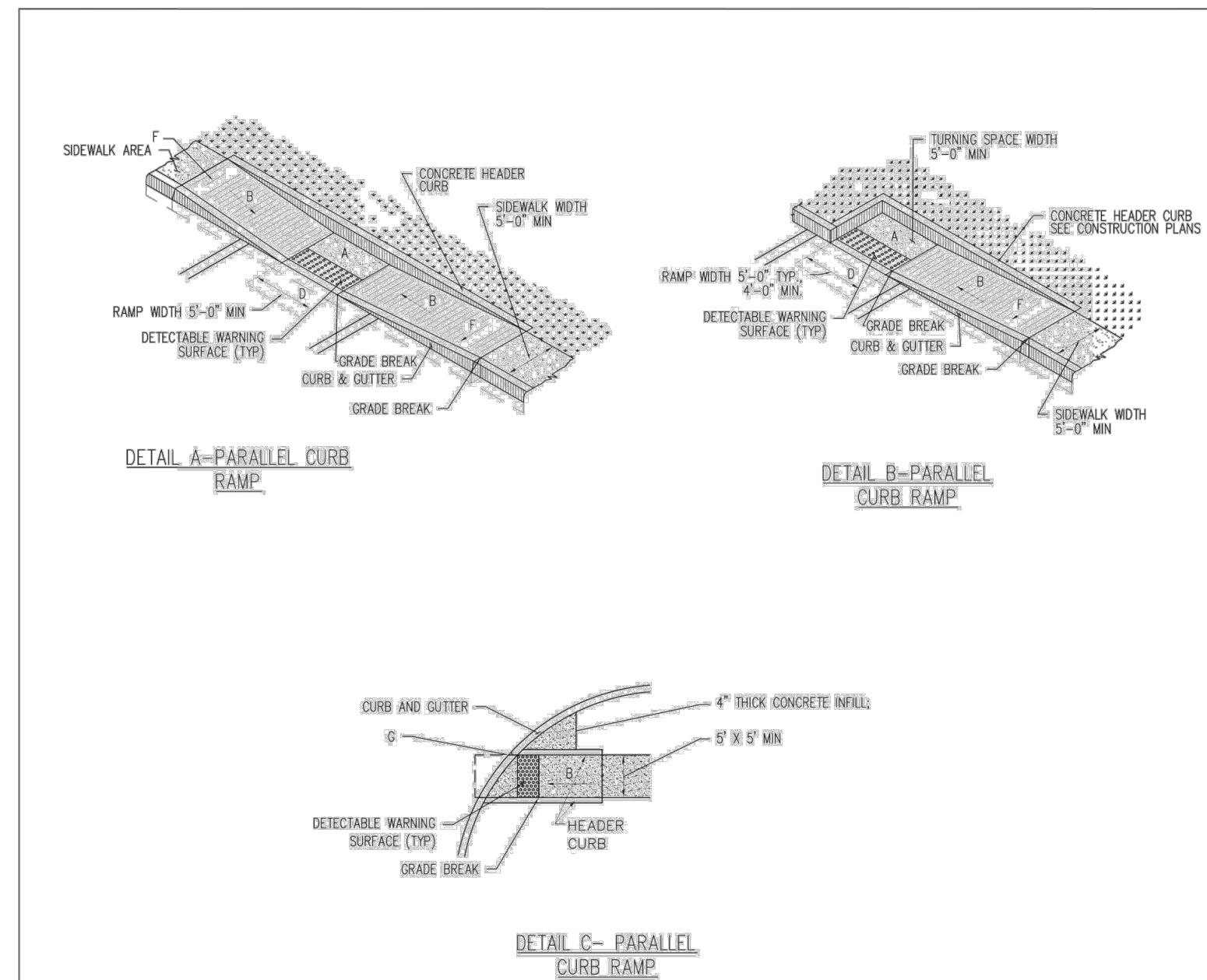
- PRODUCT: U238-1G(SF)
DESCRIPTION: 1" BIKE RACK
DATE: 10-4-18
ENG: SMC
- NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR/FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
 3. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
 3. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.
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BIKE RACK DETAIL
SCALE: NONE



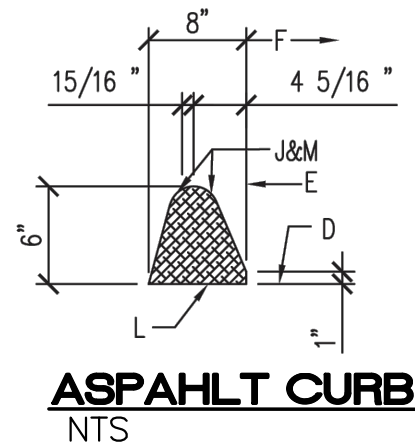
- GENERAL NOTES:
1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
 3. FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
 4. GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
 5. ALONG THE ACCESSIBLE ROUTE CHANGES IN LEVEL BETWEEN "A" AND "B" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 2" REQUIRE A RAMP.
 6. PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
 7. SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.
- CONSTRUCTION NOTES:
- A. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
 - B. 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
 - C. SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
 - D. SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
 - E. WALKWAY VARIABLE (4' MINIMUM).
 - F. PROPERTY LINE.
 - G. 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
 - H. HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
 - I. CONTRACTION JOINTS.
 - J. FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
 - K. CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
 - L. RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 6.5% MAX. SLOPE. 2% PREFERRED SLOPE.
 - M. ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	SIDEWALK DETAILS
	DWG. 2430 JUNE 2019



- GENERAL NOTES:
1. RUNNING SLOPE OF A CURB RAMP SHALL NOT EXCEED THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHANGING THE SLOPE FREQUENTLY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.
 2. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DETAIL.
- CONSTRUCTION NOTES:
- A. TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.5%). TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
 - B. 8.3% MAX. SLOPE OF RAMPS. 2% PREFERRED SLOPE OF RAMPS.
 - C. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
 - D. COUNTER SLOPE OF THE CUTTER OR STREET AT THE FOOT OF A CURB RAMP RUN OR TURNING SPACE SHALL BE 5% MAX.
 - E. FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX. MEASURED PARALLEL TO THE BACK OF THE CURB.
 - F. 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
 - G. PILET SHARP CURVES EXPOSED TO TRAFFIC TO 6" MAXIMUM RADIUS.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	PARALLEL AND DIAGONAL CURB RAMPS
	DWG. 2443 JUNE 2019



- D. EXISTING ASPHALT CONCRETE (AC) OR PORTLAND CEMENT CONCRETE (PCC) PAVEMENT.
- E. FACE OF CURB/FLOW LINE.
- F. TRAFFIC SIDE.
- J. 2" RADIUS.
- L. TACK COAT.
- M. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINE.

NOT FOR CONSTRUCTION

<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN</div> <div>NEW MEXICO</div> <div>PROFESSIONAL ENGINEER</div> <div>7868</div> <div>6-21-2024</div> <div>RONALD R. BOHANNAN</div> <div>P.E. #7868</div>	HONEYWELL ALBUQUERQUE, NM	DRAWN BY JL
	DETAIL SHEET	DATE 6-21-24
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # C5.0 JOB # 2023090