

PARKING DETAIL
NTS

10' SANITARY SEWER
EASEMENT

ADDITIONAL PUBLIC STREET
R.O.W. DEDICATED
TO THE CITY OF ALBUQUERQUE

JEFFERSON ST NE
VARIABLE PUBLIC RIGHT-OF-WAY

20' SANITARY SEWER
EASEMENT

15' EASEMENT GRANTED TO
PUBLIC SERVICE CO. &
THE MOUNTAIN STATES TELEPHONE
AND TELEGRAPH CO.

NOT APART OF
SITE. LOT IS
POTENTIALLY
BEING SOLD.

PROPOSED LOT LINE

TRACT 1-A-1-A OF HONEYWELL SITE
2008443 SQ. FEET ±
89.652 ACRES ±
APN: 101107654200340127

EASEMENT AREA NO. 1
LA CUEVA DRAINAGE EASEMENT
GRANTED TO A.M.A.F.C.A.

10' EASEMENT IN FAVOR OF
PUBLIC SERVICES CO. &
THE MOUNTAIN STATES TELEPHONE
AND TELEGRAPH CO.

10' PUBLIC SERVICE CO. &
MOUNTAIN STATES TEL. CO.
EASEMENT

7' EASEMENT IN FAVOR OF
PUBLIC SERVICES CO. &
THE MOUNTAIN STATES TELEPHONE
AND TELEGRAPH CO.

3"x10" GAS & ELECTRIC
EASEMENT

35x52 FT WATER METER
EASEMENT

EASEMENT IN FAVOR OF
PUBLIC SERVICES CO. &
THE MOUNTAIN STATES TELEPHONE
AND TELEGRAPH CO.

7' EASEMENT IN FAVOR OF
PUBLIC SERVICES CO. &
THE MOUNTAIN STATES TELEPHONE
AND TELEGRAPH CO.

10' PUBLIC SERVICE CO. &
MOUNTAIN STATES TEL. CO.
EASEMENT

10' EASEMENT GRANTED TO PUBLIC SERVICE CO. &
THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO.

TRUCK TURNING MOVEMENT

SEE ALL TRUCK TURNING MOVEMENT USING A
WB-65 ON SHEET 2.1

PUBLIC SIDEWALK NOTE

PUBLIC SIDEWALK OFF SAN MATEO BLVD WILL BE
CONSTRUCTED PRIOR TO PERMANENT CERTIFICATION
OF OCCUPANCY. WHEN CLOSER TO THAT, WE WILL
REVISIT APPLYING FOR SIDEWALK WAIVER.

GENERAL NOTES - SITE PLANS:

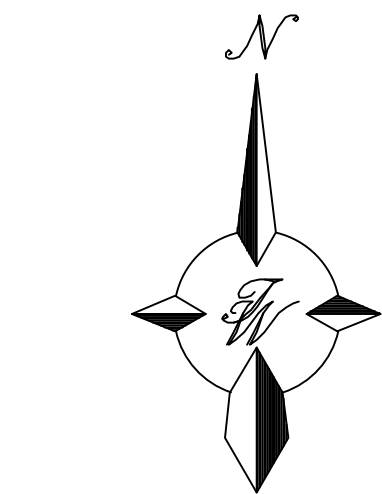
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
- WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
- GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
- GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
- PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 - 1/2" @ ALL EXIT DOORS
 - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 - 1 1/2" @ OVERHEAD DOORS
 - 1 1/2" @ PRE-FAB METAL WALL PANELS

NOTICE TO CONTRACTORS

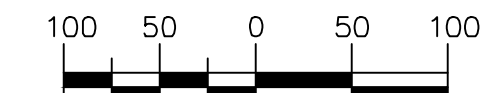
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- REFER TO SHEET S1.2, S1.3, S1.4, S1.5 FOR ENLARGED FOUNDATION PLAN FOR EACH TRUCK DOCK.

LEGEND

	ASPHALT PINNED CURB
	BOUNDARY LINE
	EASEMENT
	EXISTING BUILDING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	PROPOSED ASPHALT PAVEMENT
	LIGHT
	PARKING COUNT



GRAPHIC SCALE



SCALE: 1"=100'



VICINITY MAP

B-17

LEGAL DESCRIPTION:

TRACT 1-A-1-A PLAT OF TRACTS 1-A-1-A & 1-A-1-B
HONEYWELL SITE CONT 59.6960 AC

SITE DATA

PROPOSED USAGE:

EXISTING BUILDING AREA: 537,214 SF
PROPOSED LOT AREA: 1,668,330 SF (38.30 ACRES)
ZONING: NR-LM

WAREHOUSING WITH 10% OFFICE SPACE (504,694 SQ. FT.)
RECREATIONAL WITH GENERAL RETAIL (17,589 SQ. FT.)
RESTAURANT (14,931 SQ. FT.)

NOTE: WITHOUT THE PERMANENT CERTIFICATION OF OCCUPANCY, THE PROPOSED USAGE WITH THE HIGHER PARKING REQUIREMENT WAS USED FOR PARKING REQUIREMENT CALCULATION.

PARKING REQUIREMENTS:

WAREHOUSING W/ 10% OFFICE SPACE
PER IDO TABLE 5-5-1 FOR HEAVY MANUFACTURING
1 SPACE/ 5,000 SQ. FT. GFA FOR 454,224.6 SQ.FT. GFA= 90.85 SPACES
3.5 SPACES/ 1,000 SQ. FT. GFA FOR 50,469.4 SQ. FT. GFA= 176.65 SPACES
TOTAL PARKING REQUIRED= 268 SPACES
TOTAL PARKING PROVIDED= 474 SPACES

HC PARKING REQUIRED= 8 SPACES
HC PARKING PROVIDED= 32 SPACES
MOTORCYCLE PARKING REQUIRED= 5 SPACES
MOTORCYCLE PARKING PROVIDED= 36 SPACES

RECREATIONAL W/ GENERAL RETAIL
PER IDO TABLE 5-5-2 & TABLE 5-5-1
1 SPACE/ 2 BATTING SPACES FOR 15 BATTING SPACES= 8.5 SPACES
3.5 SPACES/ 1,000 SQ.FT. GFA FOR 820 SQ. FT. GFA= 3.5 SPACES
TOTAL PARKING REQUIRED= 12 SPACES
TOTAL PARKING PROVIDED= 13 SPACES

HC PARKING REQUIRED 1 SPACE
HC PARKING PROVIDED 1 SPACE
MOTORCYCLE SPACES REQUIRED 1 SPACE
MOTORCYCLE SPACES PROVIDED 2 SPACE

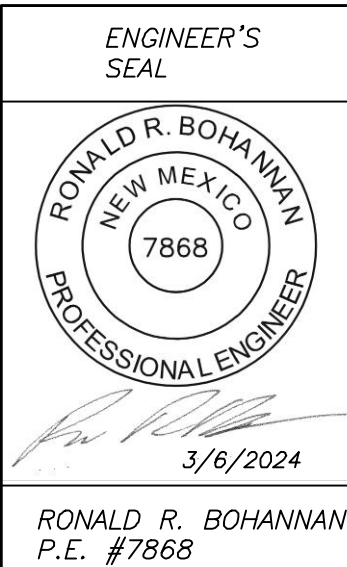
RESTAURANT PER IDO TABLE 5-5-1
5.6 SPACES/ 1,000 SQ. FT. GFA FOR 14,931 SQ. FT. GFA= 83.6 SPACES
TOTAL PARKING REQUIRED= 84 SPACE
TOTAL PARKING PROVIDED= 121 SPACES

HC PARKING REQUIRED= 4 SPACES
HC PARKING PROVIDED= 4 SPACES
MOTORCYCLE PARKING REQUIRED= 3 SPACES
MOTORCYCLE PARKING PROVIDED= 4 SPACES

TOTAL PARKING REQUIRED= 364 SPACES
TOTAL PARKING PROVIDED= 608 SPACES

KEYED NOTES

- | | |
|--|--|
| ① STANDARD ASPHALT PINNED CURB (TYP) | ⑦ EXISTING BIKE RACK |
| ② NEW ASPHALT PAVEMENT (TYP), SEE DETAIL SHEET C5.0 | ⑧ EXISTING PARKING STALL |
| ③ NEW 6' CONCRETE SIDEWALK, PER COA STD DW 2430, SEE DETAIL SHEET C5.0 | ⑨ PROPOSED ACCESSIBLE PARKING W/ SIGN PER ADA STANDARDS (TYP.) |
| ④ DOCK ENTRANCE (TYP) | ⑩ PROPOSED RESTRIPE PARKING STALL, SEE DETAIL THIS SHEET |
| ⑤ EXISTING ACCESSIBLE PARKING W/ SIGN PER ADA STANDARDS (TYP.) | ⑪ PROPOSED STRIPED PARKING LOT ISLAND |
| ⑥ EXISTING MOTORCYCLE SPACE W/SIGN | ⑫ MAIN ENTRANCE TO BUILDING |
| | ⑬ MODIFICATION TO CURB RETURN |



HONEYWELL
ALBUQUERQUE, NM

TRAFFIC CONTROL
LAYOUT

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrowestllc.com

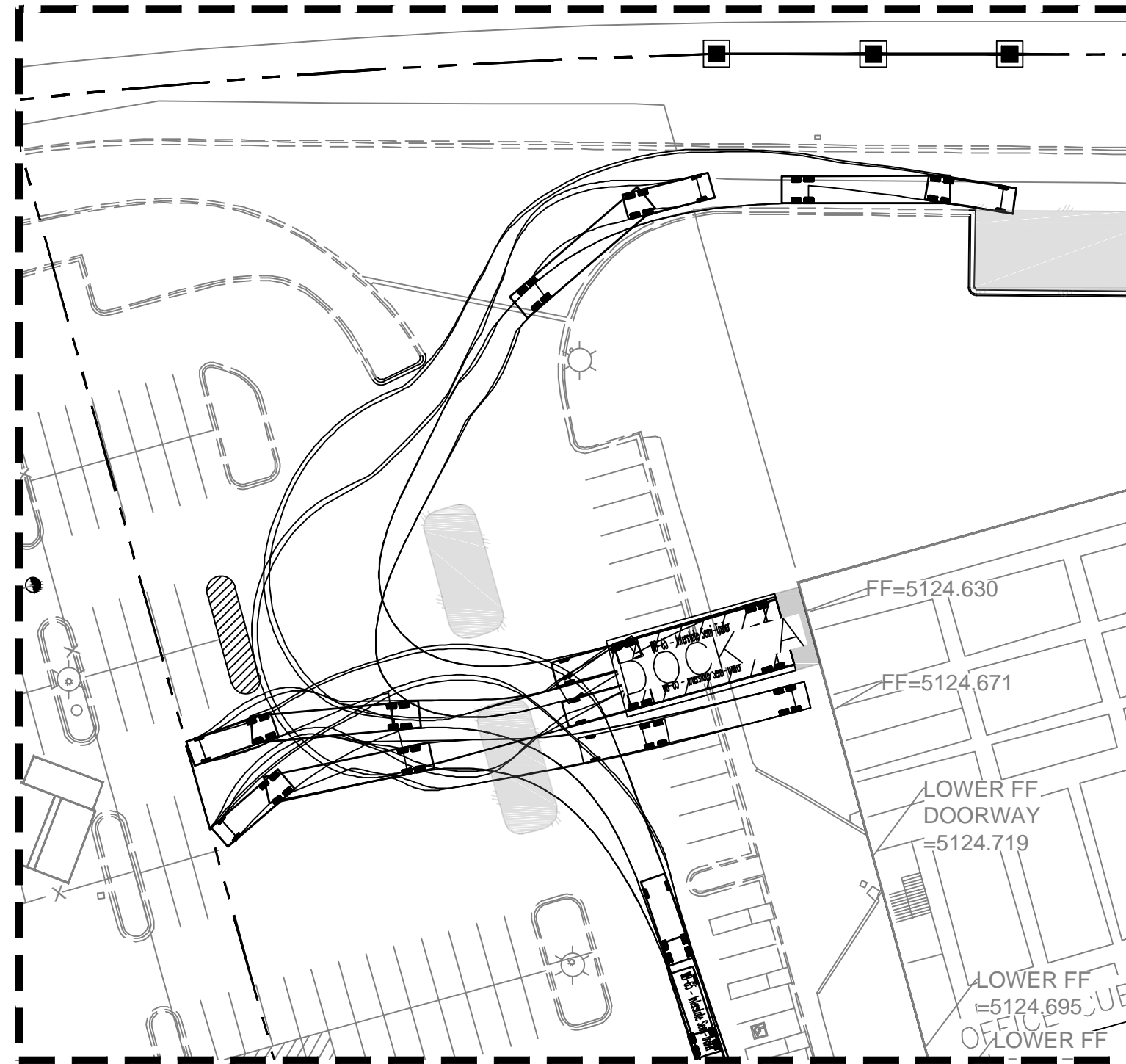
DRAWN BY
JL

DATE
3/6/2024

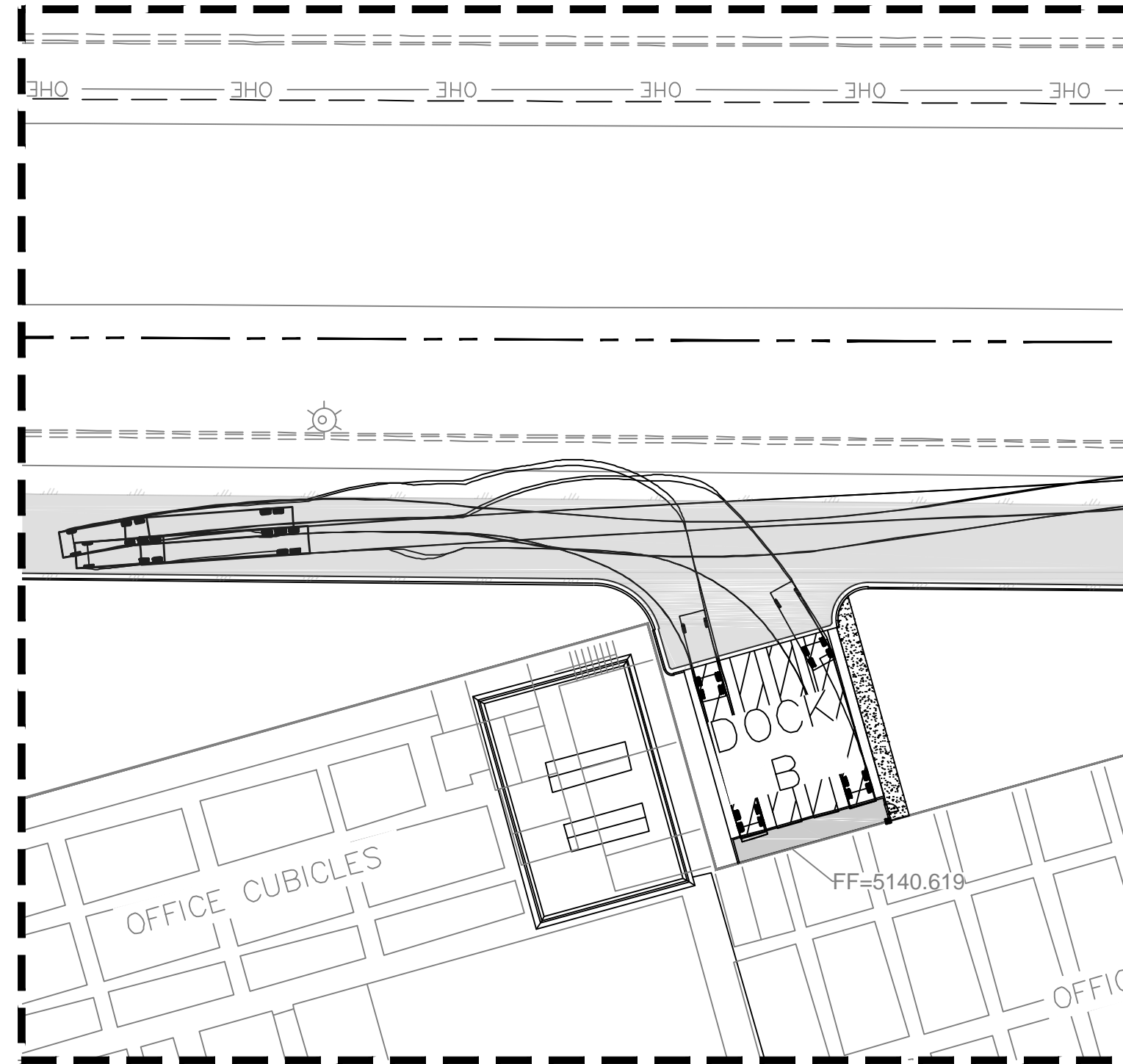
DRAWING

SHEET #
C2.0

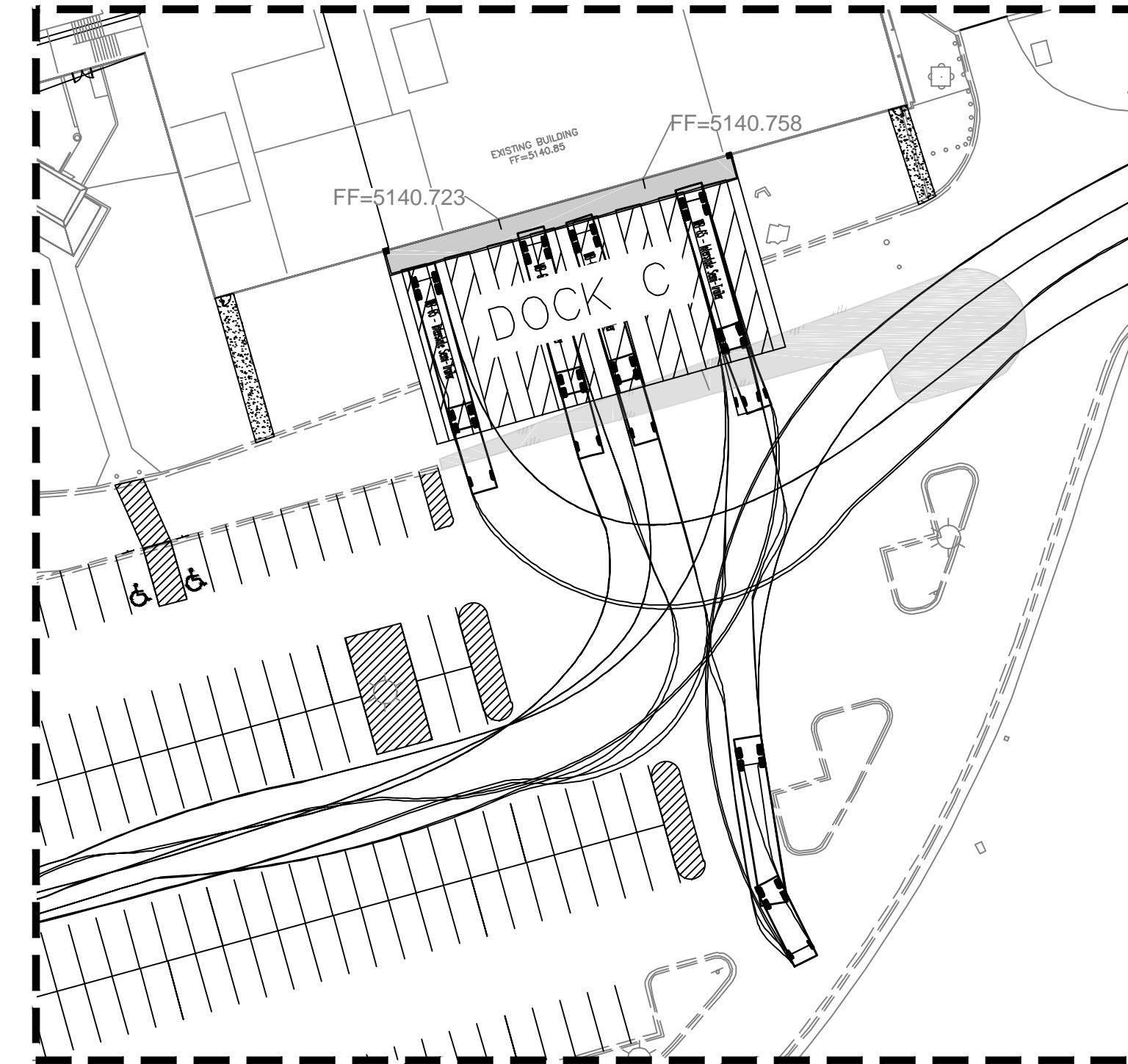
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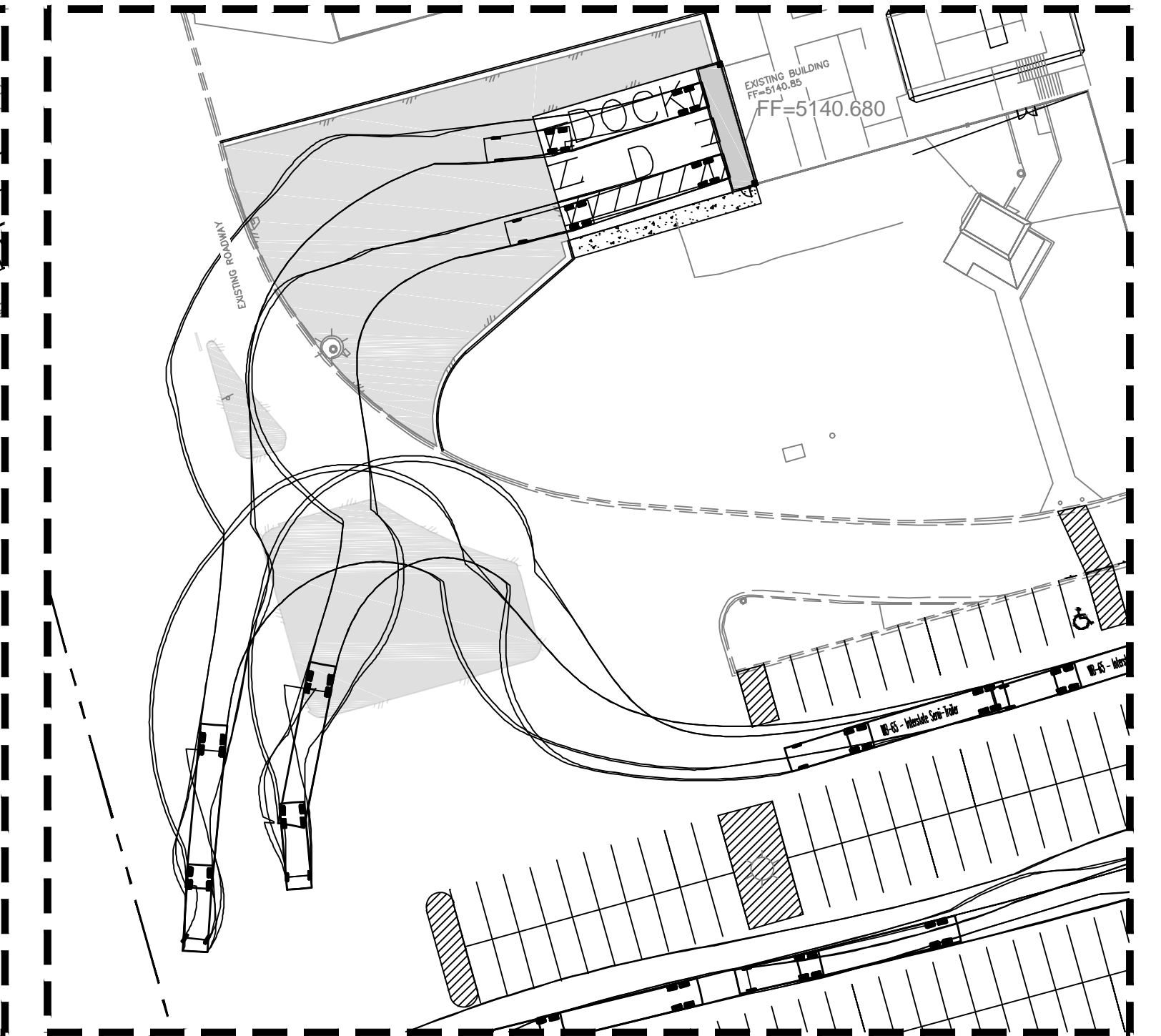
WB-65 TRUCK MOVEMENT: DOCK A
NTS



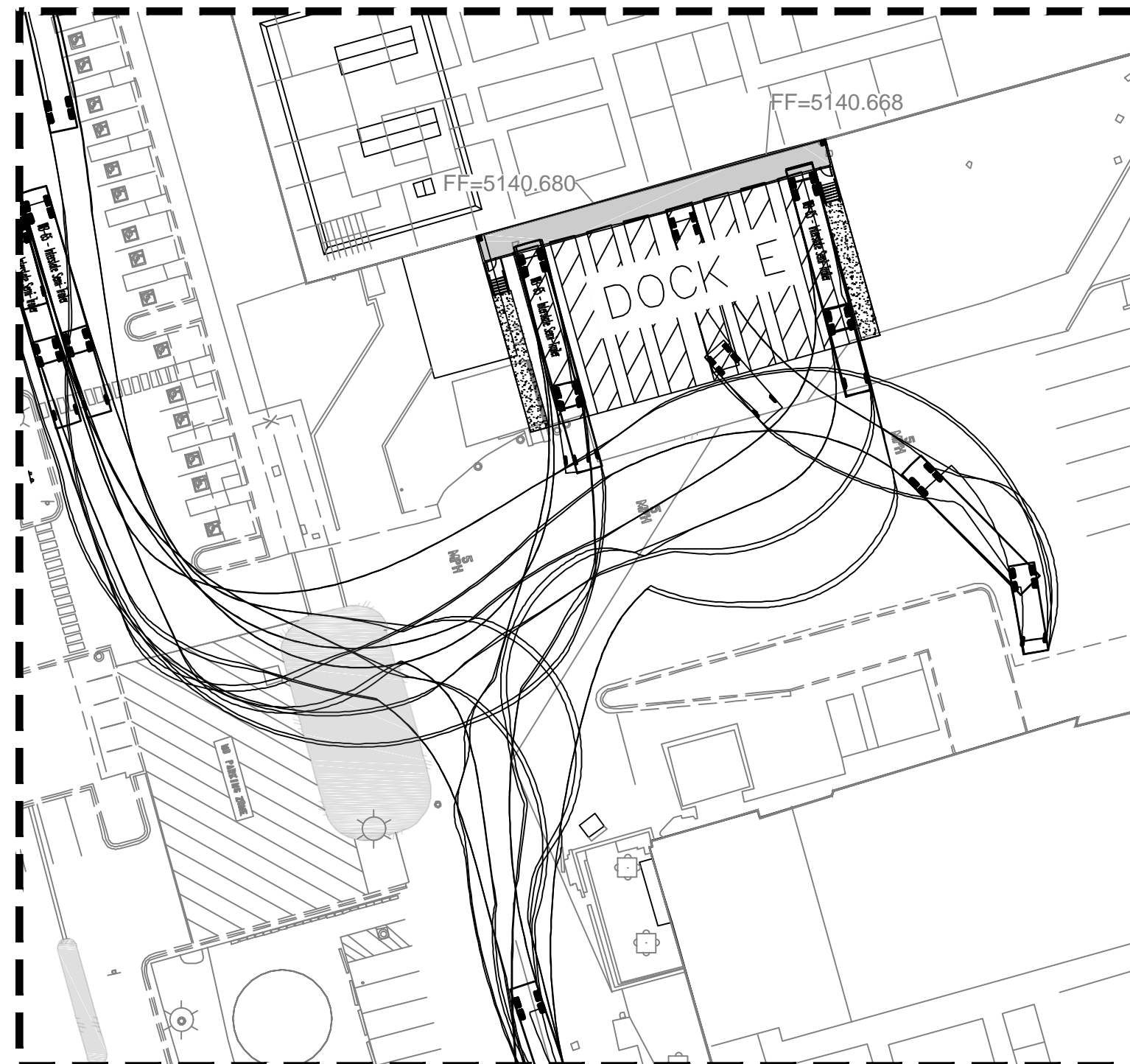
WB-65 TRUCK MOVEMENT: DOCK B
NTS



WB-65 TRUCK MOVEMENT: DOCK C
NTS



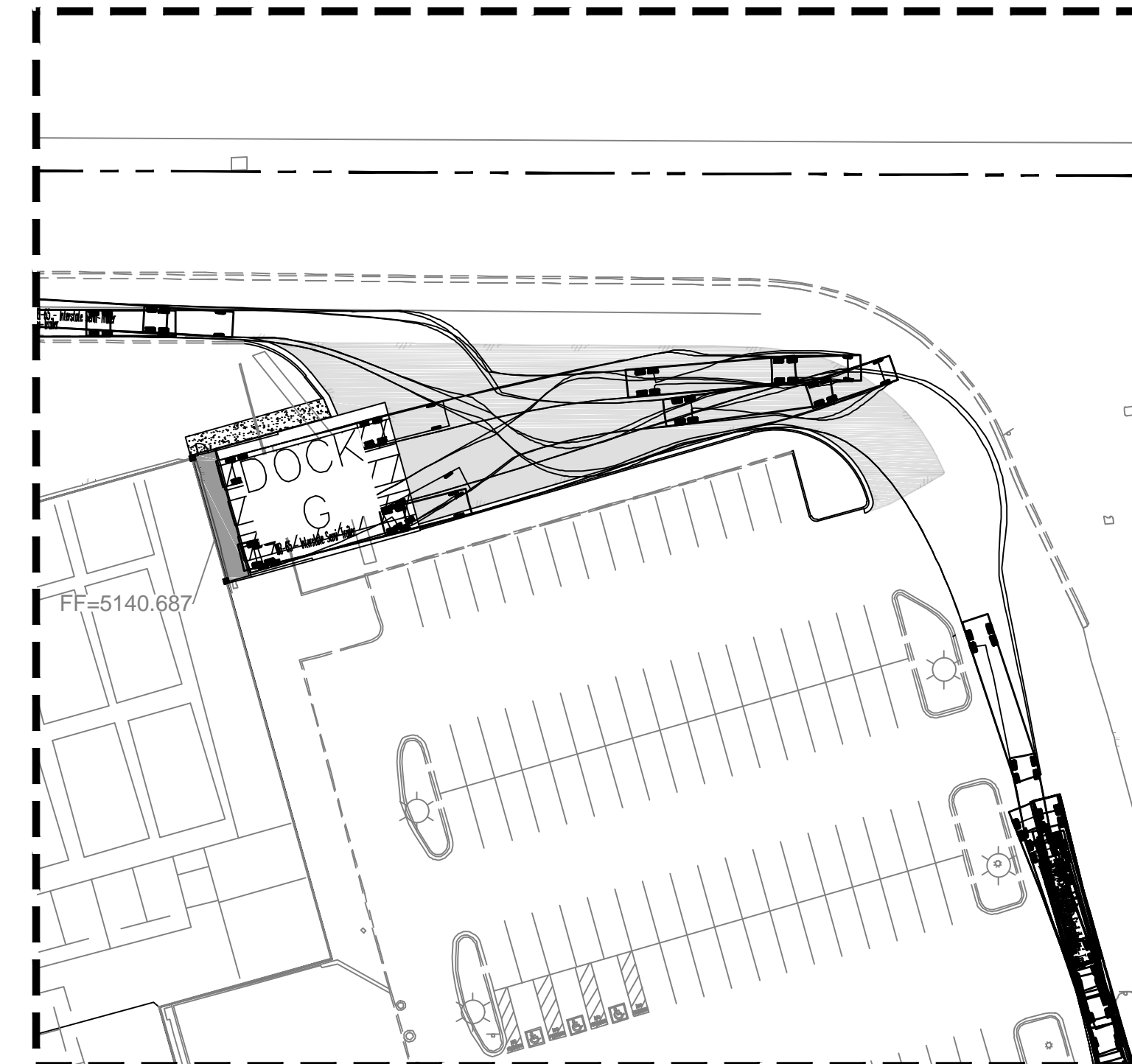
WB-65 TRUCK MOVEMENT: DOCK D
NTS



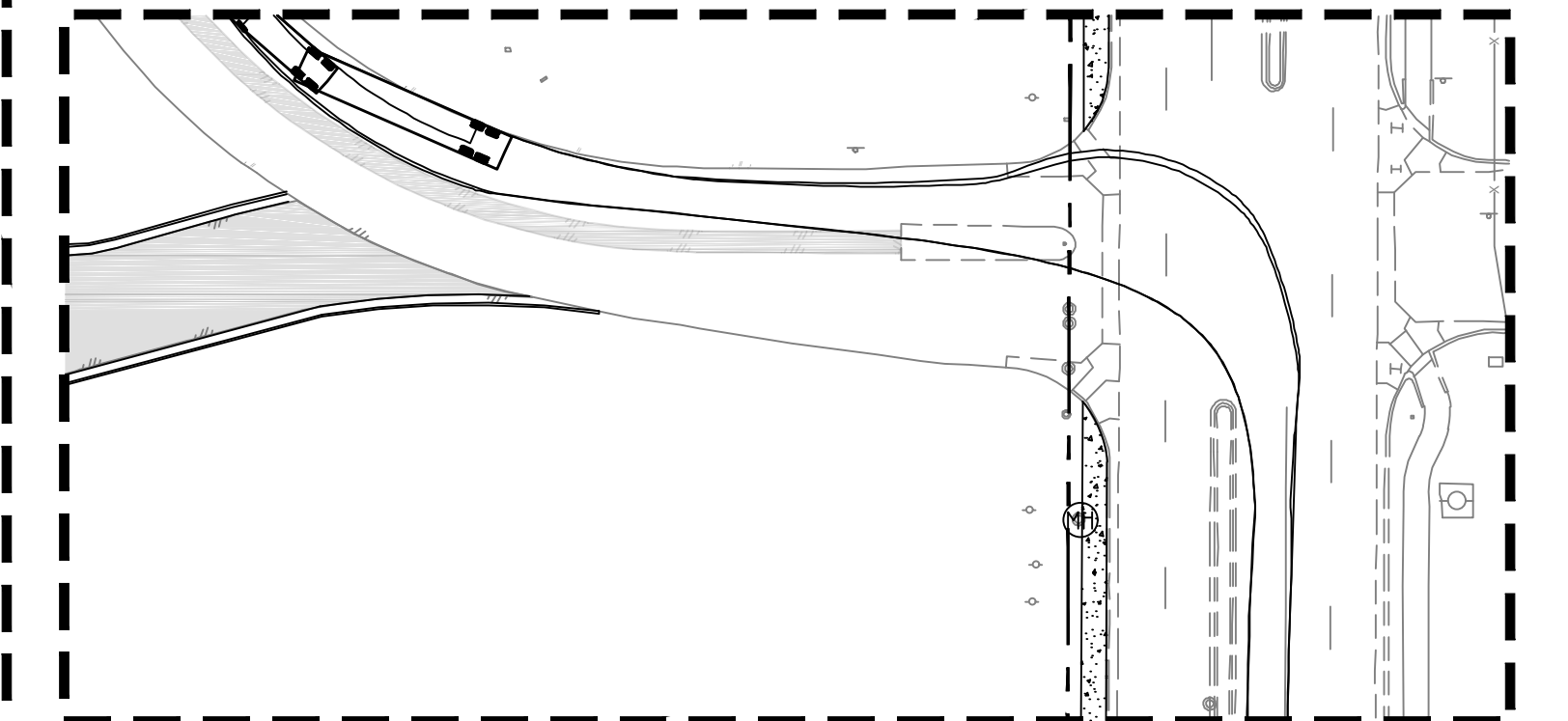
WB-65 TRUCK MOVEMENT: DOCK E
NTS



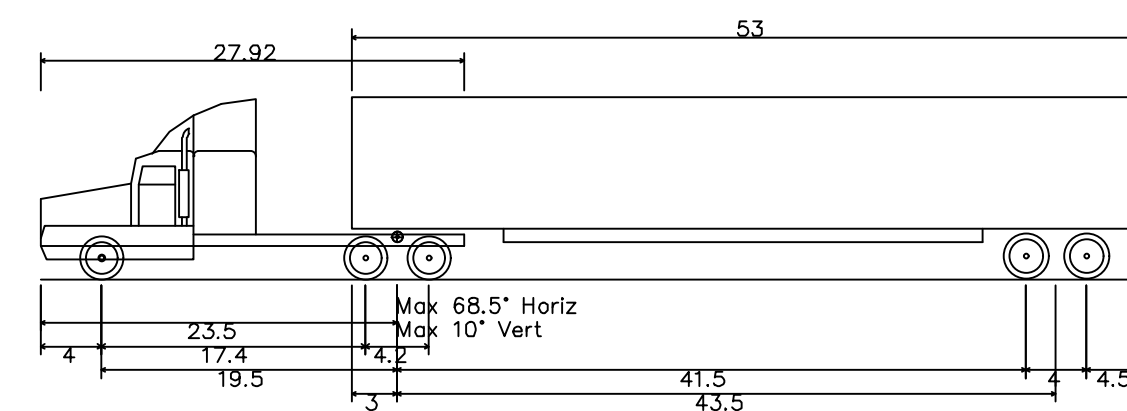
WB-65 TRUCK MOVEMENT: DOCK F
NTS



WB-65 TRUCK MOVEMENT: DOCK G
NTS



WB-65 TRUCK MOVEMENT: ENTERING NORTH ENTRANCE
NTS



WB-65 - Interstate Semi-Trailer
Overall Length 73.500ft
Overall Width 8.500ft
Overall Body Height 12.052ft
Min Body Ground Clearance 1.334ft
Max Track Width 8.500ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 28.40°

<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN NEW MEXICO 7868</p> <p>3/6/2024</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>HONEYWELL ALBUQUERQUE, NM</p>	<p>DRAWN BY JL</p>
	<p>TRUCK TURNING MOVEMENT</p>	<p>DATE 3/6/2024</p>
	<p>TIERRA WEST, LLC</p> <p>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com</p>	<p>SHEET # C2.1</p>
		<p>JOB # 2023090</p>