

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 15, 2001

David J. Larrow, P.E.
Holmes & Narver
6501 Americas Parkway NE Suite 700
Albuquerque, NM 87110

**Re: Engineers Certification -Phillips Expansion of NW Parking Lot (B18/D001B)
Engineers Stamp dated 8/28/2000
Engineers Certification Dated 1/12/2001**

Dear Mr. Larrow:

Based upon the information provided in your submittal dated 1/12/2001, the Engineering Certification for the above referenced project is approved.

Thank you for the as-built drawing. If I can be of further assistance, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Senior Civil Engineer, Hydrology
Public Works Dept./C.O.A.

C: file

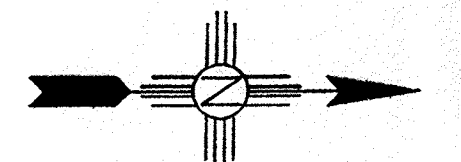
- ENGINEER'S
CERTIFICATION
- I HEREBY CERTIFY THAT THE FINAL
CONSTRUCTION IS IN SUBSTANTIAL
COMPLIANCE WITH THE APPROVED
DRAINAGE PLAN. THE FINISHED GRADE
ELEVATIONS MATCH THE DESIGN
ELEVATIONS UNLESS OTHERWISE NOTED.
- REGISTERED PROFESSIONAL
ENGINEER
NO. 1053
STATE OF TEXAS
JULY 1990

NEW

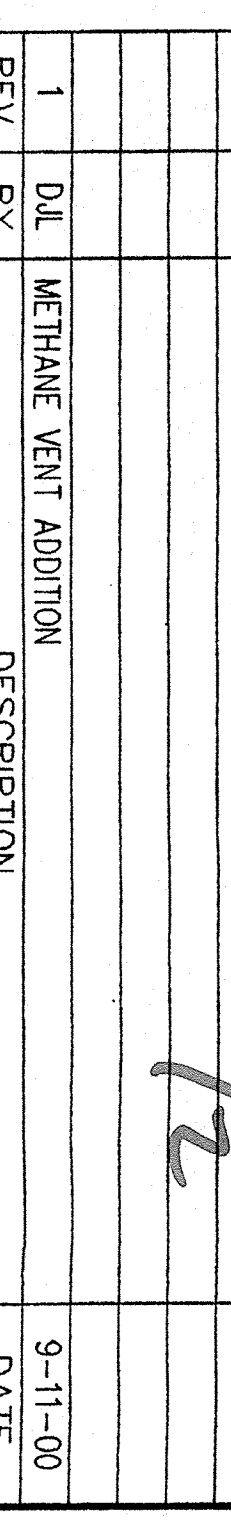
- TC TOP OF CURB
FL FLOW LINE OF CUL
TA TOP OF ASPHALT
p HANDCUT SIGN
p METHANE GAS VENT

<u>REF. #</u>	<u>DWG. NO.</u>	<u>TITLE</u>
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SEQ. NO.
1
2
3
4
5



B18A1B

[illegible]

GENERAL NOTES

1. THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, INCLUDING ALL AMENDMENTS AND STANDARD DRAWINGS, ARE THE TECHNICAL SPECIFICATIONS AND STANDARD DRAWINGS GOVERNING THE PROJECT. THE SAME AS IF FULLY WRITTEN HEREIN AND SHALL GOVERN THE WORK FOR THIS PROJECT.

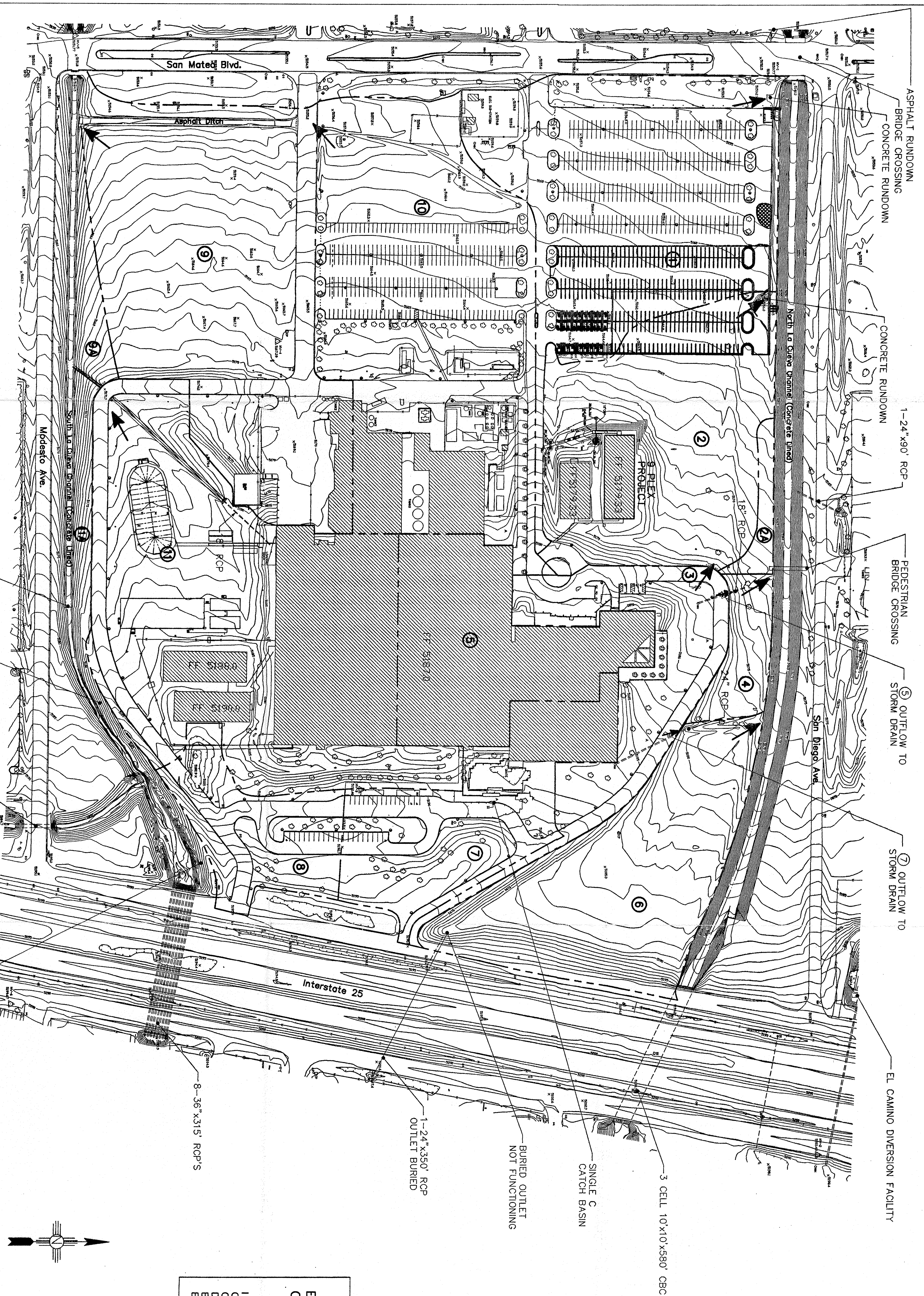
PARKING REQUIREMENTS

EXISTING MANUFACTURING 243,666 SF / 1000 = 244
EXISTING ADMINISTRATIVE OFFICES 61,128 SF / 200 = 306
TOTAL REQUIRED PARKING 550
PARKING SPACES PROVIDED = 935 (INCLUDES 35 HANDICAP SPACES INCLUDING 4 VAN SPACES)

LEGEND

- DRAINAGE BOUNDARY
- ⑪ DRAINAGE BOUNDARY NUMBER
- DRAINAGE BASIN OUTFALL
- ==SD== STORM DRAIN
- MH MANHOLE
- DI INLET
- ▨ BUILDING
- 5172' --- CONTOUR
- FF --- FINISHED FLOOR
- X 2180 --- FENCE
- SPOT ELEVATION

ENGINEER'S CERTIFICATION
I HEREBY CERTIFY THAT THE FINAL CONSTRUCTION IS IN SUBSTANTIAL COMPLIANCE WITH THE FINISHED GRADE ELEVATIONS MATCH THE DESIGN ELEVATIONS UNLESS OTHERWISE NOTED.



CIVIL GRADING AND DRAINAGE PLAN

1" = 100'-0"

EXISTING DRAINAGE CONDITIONS			EXISTING DRAINAGE CONDITIONS			DEVELOPED DRAINAGE CONDITIONS		
ZONE	TREATMENT	VOL. 360	ZONE	TREATMENT	VOL. 360	ZONE	TREATMENT	VOL. 360
DRAINAGE AREA 1	1,286 Acres C	1.61	7	1,281 Acres B	0.42	DRAINAGE AREA 1	0.117 Acres C	0.100
	4,862 Acres D	28.84		1,647 Acres D	12.69		6,031 Acres D	30.67
DRAINAGE AREA 2	4,461 Acres C	0.62	8	0,751 Acres B	0.22	DRAINAGE AREA 2	3,892 Acres C	0.72
	0,713 Acres D	18.97		0,313 Acres C	6.37		1,282 Acres D	19.87
				0,665 Acres D				
2A	0,303 Acres C	0.03	9	5,498 Acres C	0.98	TOTAL	5,174 Acres	
				1,389 Acres D	28.95			
3	0,765 Acres B	0.39	9A	0,520 Acres D	0.10			
	0,516 Acres C	10.83			2.61			
	1,407 Acres D							
4	0,676 Acres C	0.07	10	1,950 Acres C	1.38			
				5,940 Acres D	36.55			
5	3,181 Acres D	0.63	11	0,857 Acres B				
				3,916 Acres C	1.21			
				3,689 Acres D	34.26			
6	3,989 Acres C	0.48	11a	0,683 Acres C	0.07			
	0,243 Acres D	14.98			2.36			
				52,101 Acres				

EROSION CONTROL PLAN

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHT-OF-WAY, PUBLIC AND/OR PRIVATE LAND DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED ON ANY ADJOINING AREAS.

CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING A "TOP SOIL DISTURBANCE PERMIT", PROTECTING ADJACENT PROPERTY FROM SEDIMENT (SEE ABOVE NOTE) AND REPAIRING ANY DAMAGE PROMPTLY.

EXISTING SITE CONDITIONS

THE EXISTING SITE IS APPROXIMATELY 70% DEVELOPED WITH EXISTING LAND UTILITIES. THE NORTHERN PORTION OF THE SITE DRAINS TO THE NORTH LA CUEVA CHANNEL THROUGH A NUMBER OF RUNDOWNS. THE SOUTHERN PORTION OF THE SITE DRAINS TO THE SOUTH LA CUEVA CHANNEL THROUGH AN ASPHALT LINED CHANNEL AND A CONCRETE LINED CHANNEL.

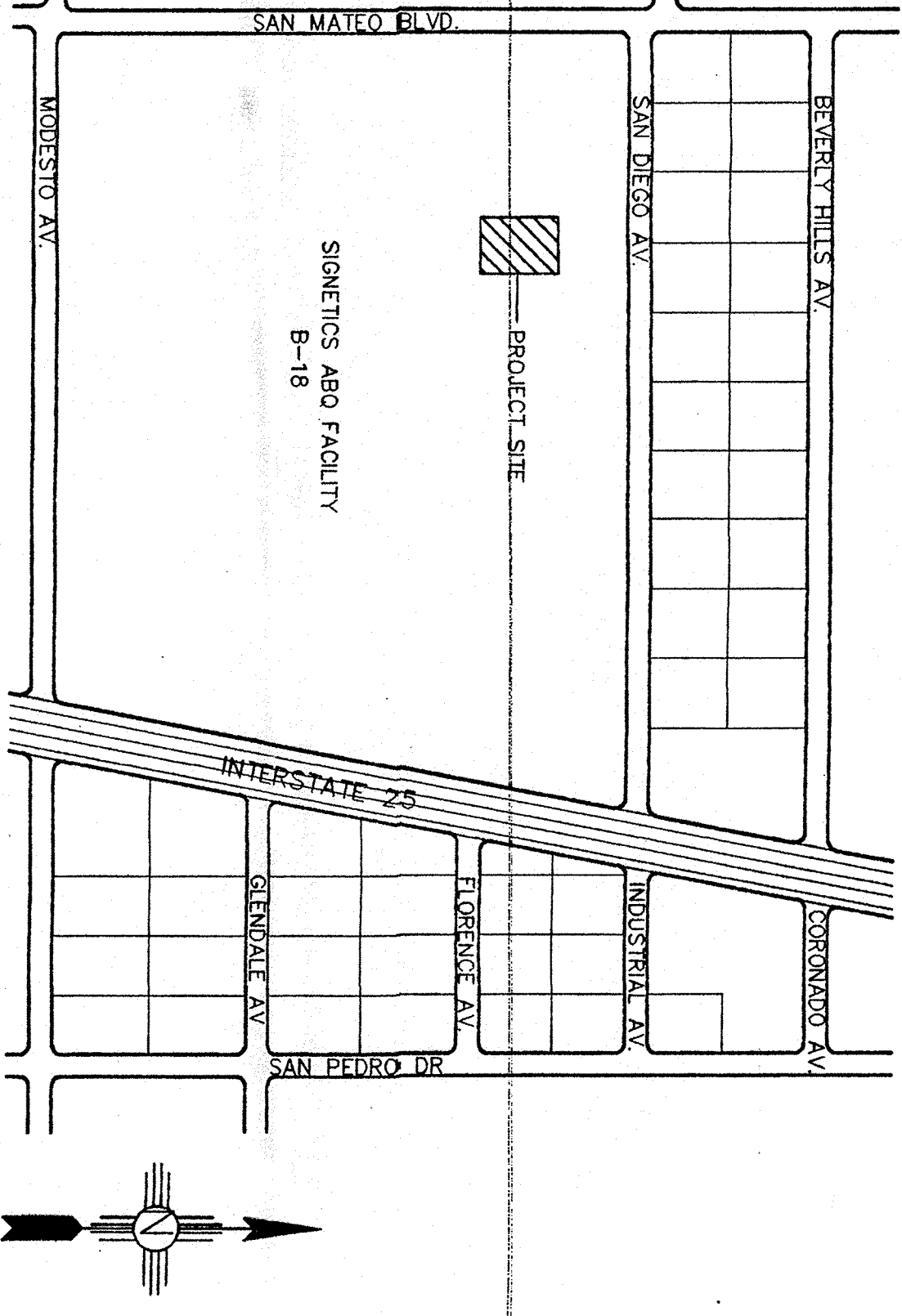
PROPOSED SITE DRAINAGE PATTERN

THE PROPOSED PARKING LOT SITE DRAINAGE PATTERN FOLLOWS THE EXISTING PATTERN. THE DEVELOPED FLOW FOR DRAINAGE AREA 1 HAS BEEN INCREASED FROM 0100=28.84 CFS TO 0100=30.67 CFS AND THE DEVELOPED FLOW FOR DRAINAGE AREA 2 HAS BEEN INCREASED FROM 18.97 CFS TO 19.87 CFS.

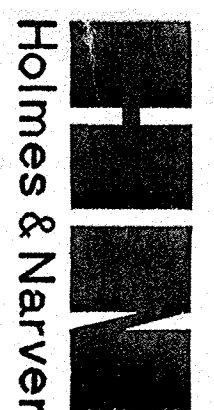
LEGAL DESCRIPTION

SIGNETICS ABO FACILITY, SP-80-399

VICINITY MAP B-18



B18-D1B



REV.	BY	DESCRIPTION	DATE

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ENGINEER: JLN/BJH/AD	APPROVED BY: JLN/BJH/AD	ENGINEER: PHILIPS	TITLE: CIVIL OVERALL SITE GRADING AND DRAINAGE PLAN
OTHER: PHILIPS	DESIGNATION: C1.04	DATE: 9/10/04	DRAWING NUMBER: C1.04
PLANT SERVICES DEPARTMENT	REF. NO. CBX702	SCALE: 1"=100'	SHEET: 2 OF 5