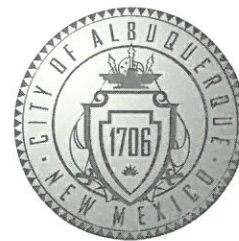


CITY OF ALBUQUERQUE



August 31, 2018

Genny Donart, P.E.
Isaacson & Arfman, PA
128 Monroe Street NE
Albuquerque, NM 87108

Re: Broadstone Northpoint Apartments
9100 San Mateo NE- Building 12, 13 & 14
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 06-21-2016 (B18-D001C)
Certification dated 08-17-18

Dear Ms. Donart,

Based upon the information provided in your submittal received 08-17-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Racquel Michel at (505) 924-3991 or me at (505)924-3675.

Sincerely,

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

MM via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

2016-00648

2016-00647

Project Title: Broadstone Northpoint Apts **Building Permit #:** 2016-00646 **Hydrology File #:** B18D001C

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: A Portion of Tract 1, North I-25 Corporate Center

City Address: Northwest Corner of San Mateo & Modesto NE

Applicant: Isaacson & Arfman, PA **Contact:** Genny Donart

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 **Fax#:** _____ **E-mail:** gennyd@iacivil.com

Other Contact: ORB Architects **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:

_____ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY **BLDGS 12, 13, & 14**

TYPE OF SUBMITTAL:

☒ **ENGINEER** ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL

_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DATE SUBMITTED: August 17, 2018 **By:** Genny Donart

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: IWE - Industrial Water Engineering **Building Permit #:** 2017-37921 **Hydrology File #:** C16D006LL
DRB#: 1011391 **EPC#:** **Work Order#:**
Legal Description: LOT 2 AND LOT 3 OF ALAMEDA BUSINESS PARK, ZONE ATLAS PAGE: C-16-Z
City Address: 8701 Alameda Park Drive NE, Albuquerque, NM 87113

Applicant: Dekker/Perich/Sabatini **Contact:** Tavis Browne
Address: 7601 Jefferson St NE, Albuquerque, NM 87109
Phone#: 505-761-9700 **Fax#:** 505-761-4222 **E-mail:** tavisb@dpsdesign.org
Other Contact: Dekker/Perich/Sabatini **Contact:** Chris Gunning
Address: 7601 Jefferson St NE, Albuquerque, NM 87109
Phone#: 505-761-9700 **Fax#:** 505-761-4222 **E-mail:** chrisg@dpsdesign.org

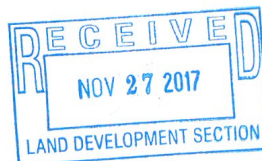
Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____



TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
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☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
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☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
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☒ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

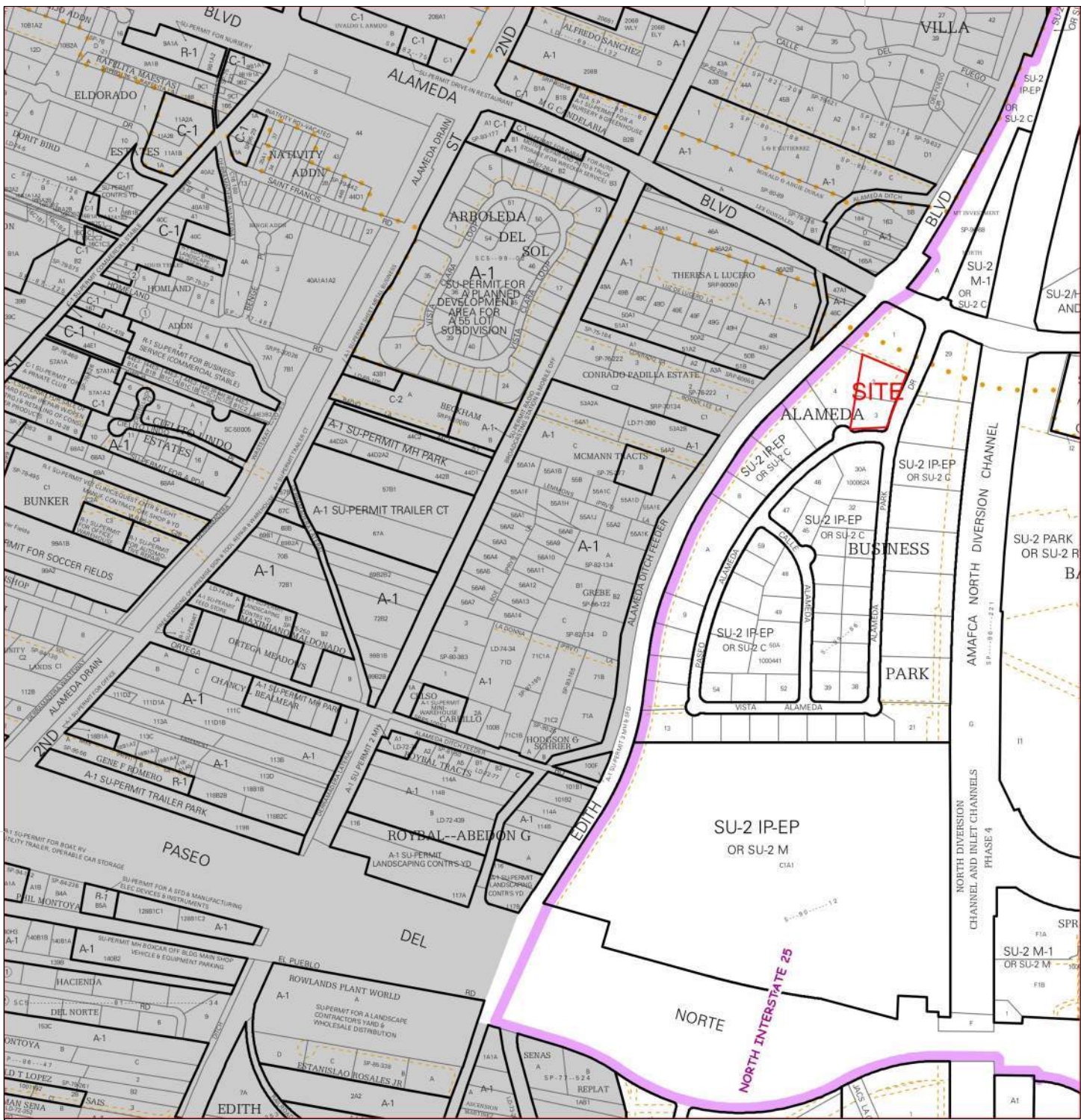
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 11/22/2017 **By:** Tavis Browne

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____



VICINITY MAP
1" = 750'-0"



NORTH
A2 SITE PLAN
1" = 20'-0"

GENERAL SHEET NOTES

1. PARKING AREA SHALL BE DESIGNED AND BUILT TO CURRENT DPM STANDARDS AND CITY OF ALBUQUERQUE ZONING CODE.
2. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
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8. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
9. LIGHTING SHALL NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT OF WAY.

SITE ANALYSIS AND DATA

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LOT NUMBERED TWO (2) OF ALAMEDA BUSINESS PARK, (A REPLAT OF TRACT B-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 29, 1999, IN BOOK 99C, PAGE 167, AS DOC. NO. 1999085494.

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ZONING
SU-2 C
TOTAL ACREAGE
Lot 2: 9806 ACRES or 42.716 SF
Lot 3: 7870 ACRES or 34,282 SF

BUILDING USE
OFFICE and WAREHOUSE

TOTAL BUILDING AREA
OFFICE: 7,981 SF
WAREHOUSE: 6,063 SF

PARKING REQUIREMENTS

OFF-STREET VEHICLE PARKING
OFFICE: 7,981 / 200 = 40 SPACES REQUIRED
WAREHOUSE: 6,063 / 2,000 = 3 SPACES REQUIRED
PARKING REQUIRED: 43 SPACES (INCLUDES 2 ACCESSIBLE SPACES, 1 BEING VAN)
PARKING PROVIDED: 52 SPACES (INCLUDES 3 ACCESSIBLE SPACES, 1 BEING VAN)
BICYCLE PARKING
REQUIRED: 1 PER 20 PARKING SPACES
52 SPACES / 20 = 3 SPACES REQUIRED
SPACES PROVIDED: 3
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52 SPACES / 25 = 3 SPACES REQUIRED
SPACES PROVIDED: 4

SHEET KEYED NOTES

- D1. DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB AND GUTTER.
D2. DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB.
D3. DEMOLISH AND EXPOSE OF EXISTING ASPHALT.
D4. DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB AS REQUIRED FOR NEW ACCESSIBLE RAMP.
E1. EXISTING CONCRETE CURB.
E2. EXISTING CONCRETE SIDEWALK.
E3. EXISTING CONCRETE APRON.
E4. EXISTING CONCRETE RAMP. PROVIDE DETECTABLE WARNING SURFACES PER DETAIL, SEE SHEET AS501.
E5. EXISTING ASPHALT TO REMAIN, SEE CIVIL.
E6. EXISTING CROSS ACCESS EASEMENT.

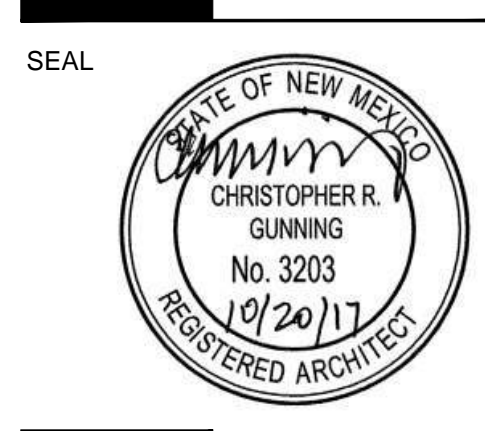
1. PROPERTY LINE.
2. LANDSCAPE AREA. SEE LANDSCAPE PLAN.
3. CONCRETE CURB FREE-STANDING. SEE SHEET AS501.
4. CONCRETE SIDEWALK. SEE E4/AS501, E5/AS501, E6/AS501.
5. ASPHALT PAVING. SEE CIVIL.
6. TRANSFORMER. SEE CIVIL UTILITY PLANS AND ELECTRICAL PLANS.
7. PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE.
8. PAINTED DASHED PARKING STRIPING (4" WIDE x 1' LONG), COLOR: WHITE.
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15. PAINTED DIRECTIONAL PAVEMENT ARROW, COLOR: WHITE. SEE SHEET AS501.
16. PAINTED SIGNAGE: (ONE WAY), COLOR: WHITE 12"H AND 2" WIDE MIN. LETTER SIZE.
17. 3/8" CHECKERED STEEL GRATE TRENCH COVER. TO SPAN FROM EXISTING SIDEWALK TO NEW SIDEWALK, PROVIDE INTERMEDIATE SUPPORT LEGS AS REQUIRED TO PREVENT DEFLECTION.
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LEGEND

- CONCRETE SIDEWALK
- CLEAR SIGHT TRIANGLE:
LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG



PROJECT

Industrial Water Engineering
8701 Alameda Park Drive NE
Albuquerque, NM 87113

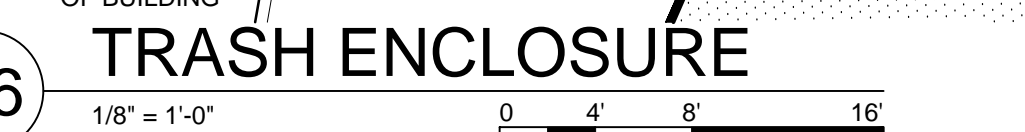
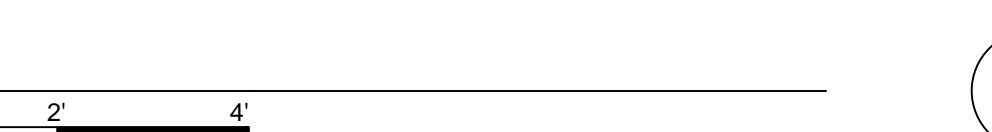
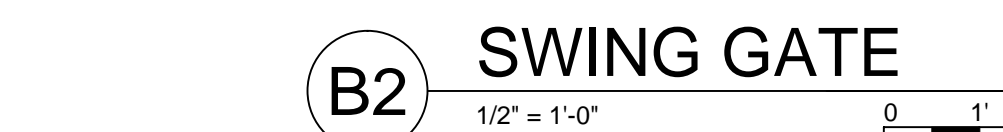
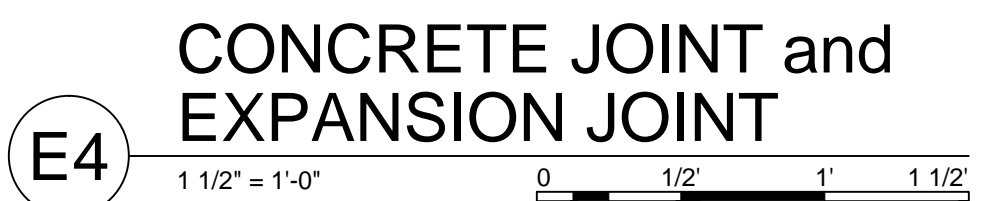
100%
CONSTRUCTION
DOCUMENTS

- REVISIONS
- △
 - △
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 - △
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DRAWN BY
REVIEWED BY
DATE 10/17/2017
PROJECT NO. 16-0113

DRAWING NAME
SITE PLAN

SHEET NO.
AS101



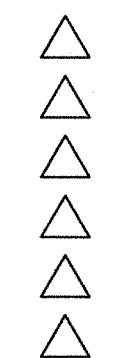
BOLLARD CONNECTION at
TRASH ENCLOSURE GATE

SEAL

PROJECT

Industrial Water Engineering
8701 Alameda Park Drive NE
Albuquerque, NM 87113DESIGN REVIEW
BOARD
SUBMITTAL

REVISIONS



DRAWN BY

REVIEWED BY

DATE

10/17/2017

PROJECT NO.

16-0113

DRAWING NAME

SITE PLAN

SHEET NO.

AS101

OF

GENERAL SHEET NOTES

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LEGEND

CONCRETE SIDEWALK

CLEAR SIGHT TRIANGLE:

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PROJECT NUMBER: 1011391
APPLICATION NUMBER: 17-DRB-70254

Is an Infrastructure List Required? () Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

Ragunel M. M. M. 10/25/17
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

Jon Entegrand 10/25/17
ABCWUA DATE

Sperry 10/25/17
PARKS AND RECREATION DEPARTMENT DATE

Renee Bruneau 10/25/17
CITY ENGINEER DATE

2017 10/25/17
SOLID WASTE MANAGEMENT DATE

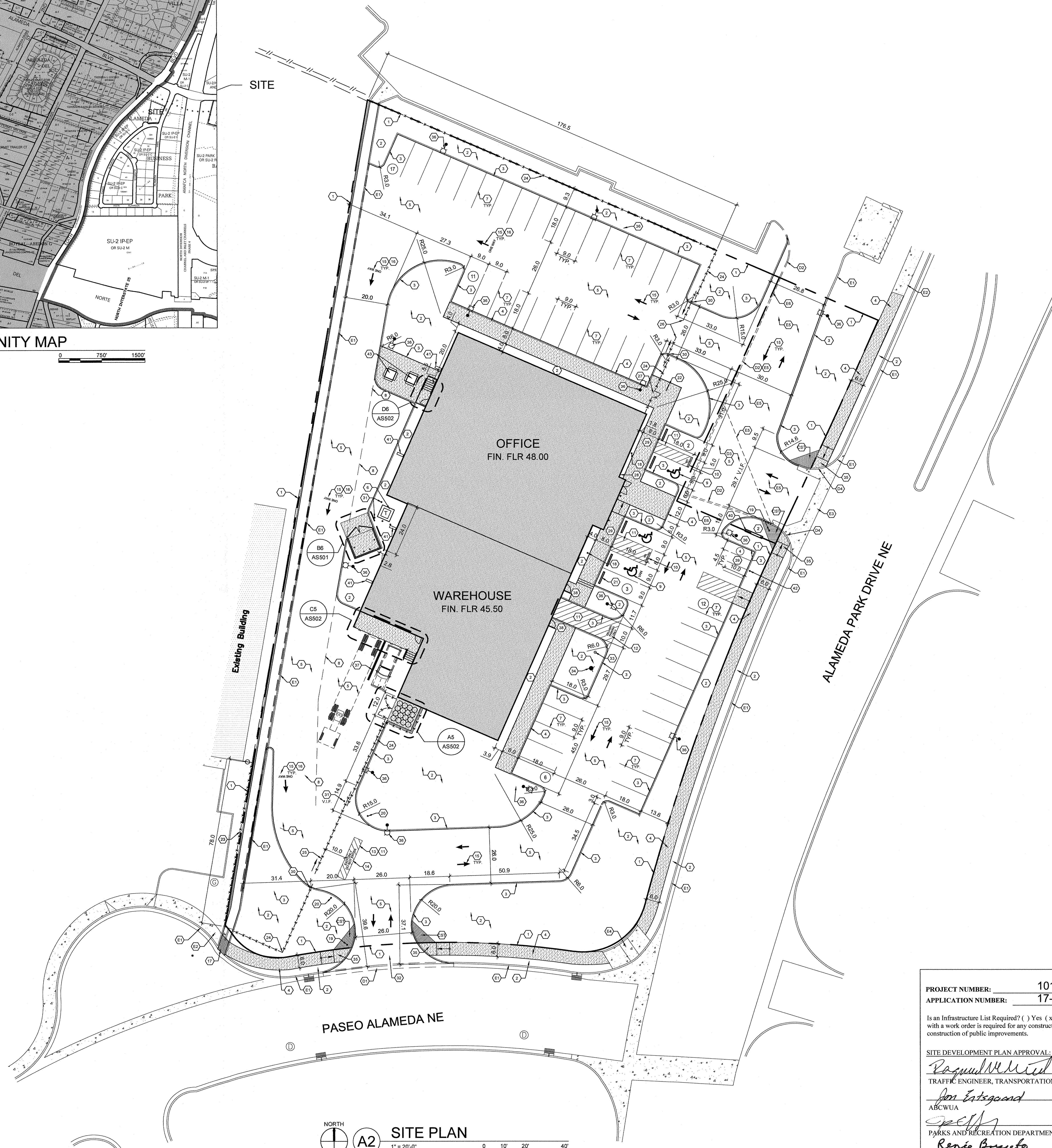
DRB 11/3/17
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE



VICINITY MAP

1" = 750'-0"

0 750' 1500'



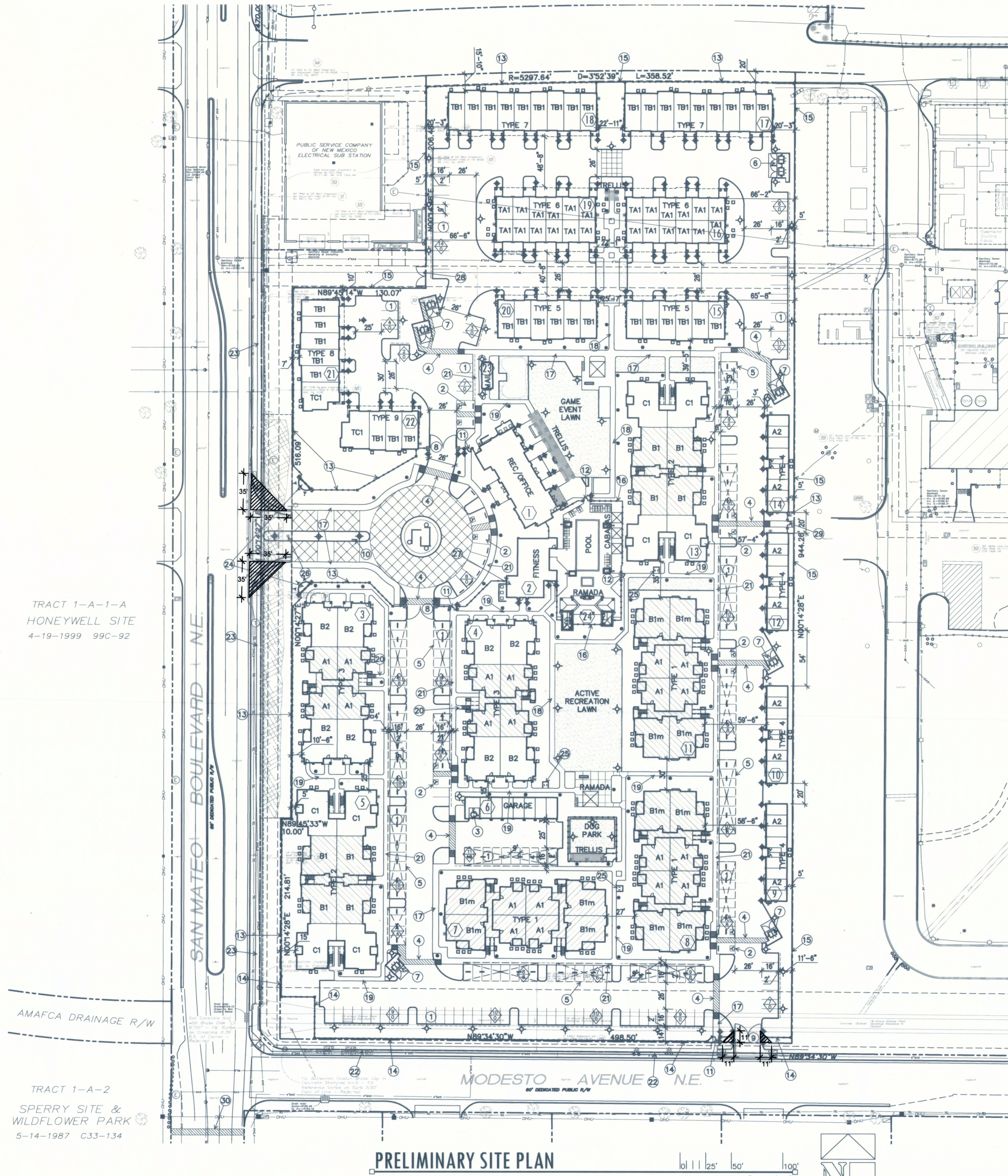
A2

SITE PLAN

1" = 20'-0"

0 10' 20' 40'

FILE: \\Orb\ORB Job Files\15-212_Titan_Northpoint\CAD Files\Preliminary\15212 A110 Site Plan.dwg USER: jga DATE: Jan, 27 2016 TIME: 03:48 pm



DEVELOPMENT DATA
NET SITE AREA :
9.9924 ACRES (435,267 S.F.)
ZONING :
CURRENT: SU-2/SU-1 FOR HDR
BUILDING HEIGHT :
PROVIDED: 37 FEET
DENSITY :
PROPOSED: 22.42 DU/ACRE
SETBACKS PROVIDED :

	SIDE (N)	REAR (W)	SIDE (S)	FRONT (E)
BUILDINGS	15'	5'	67'	5'
PARKING	NA	5'	14'	38'

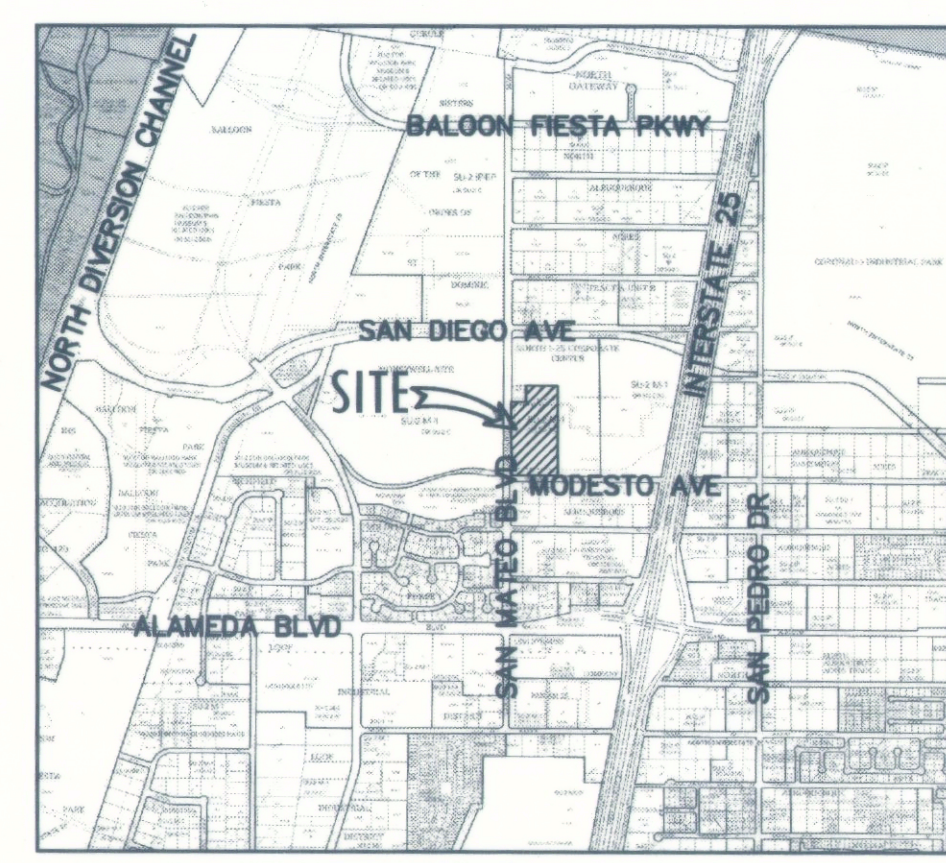
UNIT MIX		UNIT TYPE										UNITS/BLDG	NO. BLDGS	TOTAL UNITS
		A1	A2	B1	B1m	B2.1	B2.2	C1	TA1	TB1	TC1			
LIVABLE	738	983	1,105	1,095	1,088	1,197	1,314	879	1,242	1,559				
STOR/GAR	23	247	21	21	21	40	21	30	290	501	501			
PAT/BAL	68	15	90	90	90	90	59	56	56	130				
BLDG TYPE 1	12											24	3	72
BLDG TYPE 2	12											20	2	40
BLDG TYPE 3	12											20	2	40
BLDG TYPE 4		2										2	4	8
BLDG TYPE 5												6	2	12
BLDG TYPE 6												12	2	24
BLDG TYPE 7												9	2	18
BLDG TYPE 8												5	1	5
BLDG TYPE 9												3	1	3
TOTAL	60	8	24	36	8	8	16	24	38	2			19	224

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED				
	SF REQ. PER DU	# OF DU'S	TOTAL SF REQUIRED	TOTAL SF PROVIDED
1 BEDROOM	400	92	36,800	
2 BEDROOM	500	114	57,000	
3 BEDROOM	600	18	10,800	
PROVIDED SITE OPEN SPACE				180,184
PROVIDED BALCONY PRIVATE OPEN SPACE				15,716
TOTAL (excess of 91,300 SF)		224	104,600	195,900

PARKING SPACE REQUIREMENTS			PARKING RATIO REQUIRED	PARKING SPACES
UNIT	A1, A2, TA1 < 1,000 SF	92 - 1 BR / 1 BATH		
UNIT B1, B2, TB1 > 1,000 SF	114 - 2 BR / 2 BATH	2 / 2		228
UNIT C1 > 1,000 SF	16 - 3 BR / 2 BATH	2 / 2		32
UNIT TC1 > 1,000 SF	2 - 3 BR / 3 BATH	2 / 3		6
PARKING SPACES REQUIRED				
TRANSIT REDUCTION (10%)				404
Total Parking Spaces Required				364
OPEN PARKING PROVIDED				120
CARPORT PARKING PROVIDED				122
GARAGE PARKING PROVIDED				143
TANDEM OPEN (Provided but NIC in parking codes)				46
Total Parking Provided				385
Accessible Parking Required				
OPEN ACCESSIBLE PARKING PROVIDED				12
CARPORT ACCESSIBLE PARKING PROVIDED				8
GARAGE ACCESSIBLE PARKING PROVIDED				4
Total Accessible Parking Provided				13
Bicycle Parking Required				
(1 SPACE FOR EVERY 2 DWELLING UNITS)				112
BICYCLE RACK				103
Total Bicycle Parking Provided				113

LEGEND
--- DENOTES PROPERTY LINE
① BUILDING NUMBER
TYPE 2 BUILDING TYPE
◇ NO. OF PARKING SPACES
◇ NO. OF COVERED SPACES
◇ DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT

LIGHTING LEGEND
□ TYPE 'SA'. 18' TALL POLE LIGHT.
◇ TYPE 'SB'. 12' TALL POLE LIGHT.
◇ TYPE 'SC'. 8' TALL POST TOP LIGHT.
• TYPE 'SD'. 42" HIGH BOLLARD LIGHT.
• TYPE 'SE'. CARPORT LIGHT.
• TYPE 'SF'. WALL SCONCE AT +5'-6" B.O.F. ADA COMPLIANT.
† TYPE 'SG'. FLUORESCENT UPLIGHT.



VICINITY MAP
NOT TO SCALE

KEYNOTES ①

- 9'x16' PARKING SPACE WITH 2' OVERHANG, TYPICAL, SEE DETAIL 01/A2.
- 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG, SEE DETAIL 05/A2.
- ACCESSIBLE GARAGE SPACE.
- ACCESSIBLE DRIVEWAY CROSSING PARKING.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE, SEE DET 06/A2.
- DOUBLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 13/A2.
- SINGLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 07/A2.
- ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 28/A3.
- RESIDENT ONLY REMOTE CONTROL ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 28/A3.
- SEE DETAIL 17/A3. PROVIDE KEY BOX FOR FIRE DEPARTMENT ACCESS.
- PEDESTRIAN ENTRY GATE, SEE DETAIL 23/A3.
- POOL GATE, SEE DETAIL 24/A3.
- WROUGHT IRON PERIMETER VIEW FENCE, SEE DETAIL 18 & 19/A3.
- CMU/WROUGHT IRON COMBO PERIMETER FENCE, SEE DETAIL 27/A3.
- CMU PERIMETER WALL, SEE DETAIL 16/A3.
- WROUGHT IRON POOL FENCE, SEE DETAIL 19/A3.
- 6' SIDEWALK CONNECTING TO EACH BUILDING AND TO PUBLIC WAYS.
- 5' SIDEWALK, MAIN INTERIOR CONNECTION.
- 4' SIDEWALK, TYPICAL ON SITE.
- 3'-6" SIDEWALK AT STAIR APPROACH, TYPICAL.
- 6' SIDEWALK, TYPICAL AT PARKING, SEE DETAIL 09/A2.
- 6' SIDEWALK DETACHED 4' FROM STREET CURB AT MODESTO AVE.
- 6' SIDEWALK DETACH 6' FROM STREET CURB AT SAN MATEO BLVD.
- MONUMENT SIGN, SEE DETAIL 29/A3.
- BICYCLE PARKING RACK FOR 6 BICYCLES, SEE DETAIL 30/A3.
- FLAG POLE.
- POOL EQUIPMENT AT FITNESS BLDG.
- CEASEMENT ACCESS GATE.
- FUTURE PEDESTRIAN GATE CONNECTION TO FUTURE COMMERCIAL DEVELOPMENT TO THE EAST.
- POTENTIAL STREET CROSSING WITH ENHANCED PAVING TO BE COORDINATED WITH CITY OF ALBUQUERQUE PARKS AND RECREATION DEPARTMENT.

GENERAL NOTES

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PROJECT NUMBER: 1000310
Application Number: 15EP-40072

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 1/15/16 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ☒ Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Ronald Williams</i> Traffic Engineering, Transportation Division	4/6/16 Date
<i>Wendy Calver</i> ABCWA	04/06/16 Date
<i>Carl S. Demont</i> Parks and Recreation Department	4-6-16 Date
<i>John</i> City Engineer	8-31-16 Date
<i>John</i> Solid Waste Management	2-1-16 Date
<i>John</i> DRB Chairperson, Planning Department	8-31-16 Date

BROADSTONE NORTHPOINT
NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico

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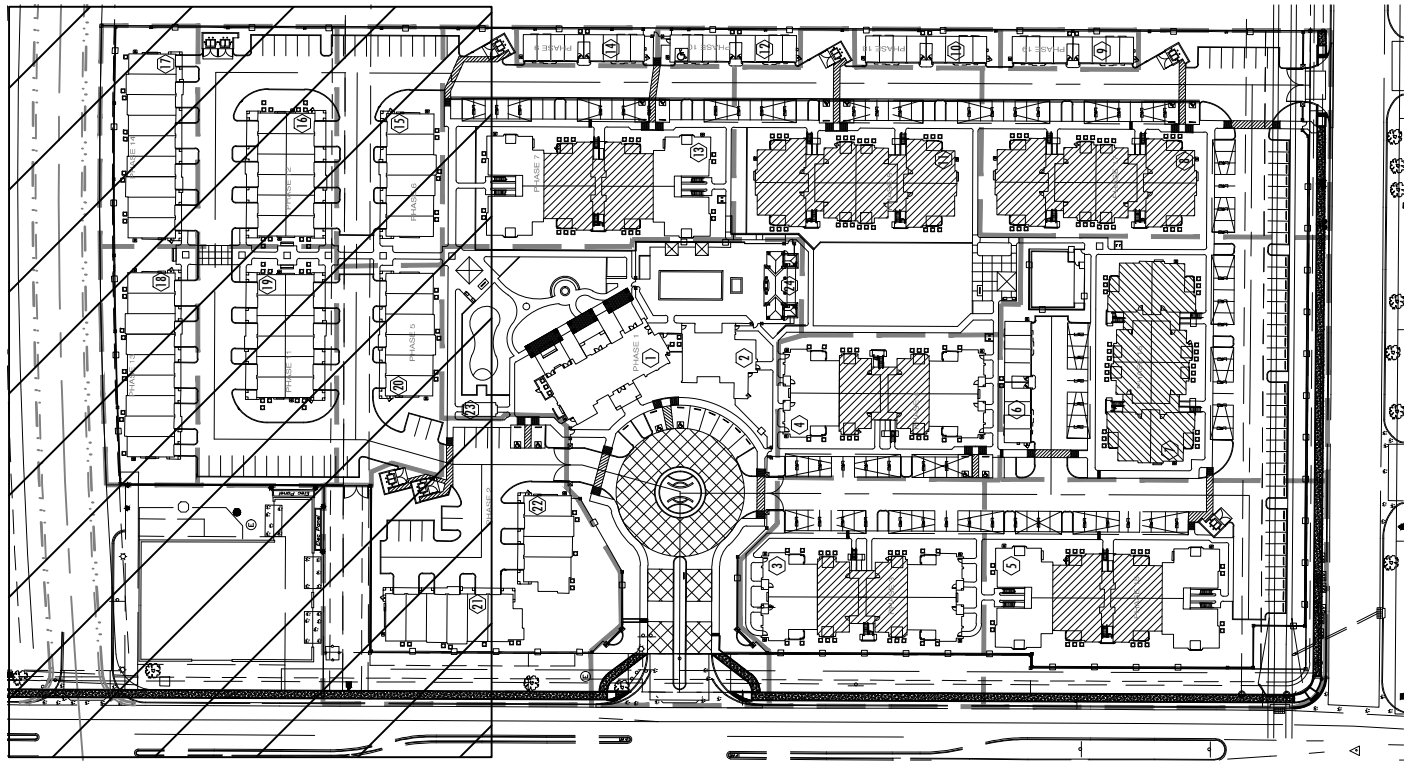
DATE: JANUARY 27, 2016 ORB # 15-212

A1 of 18

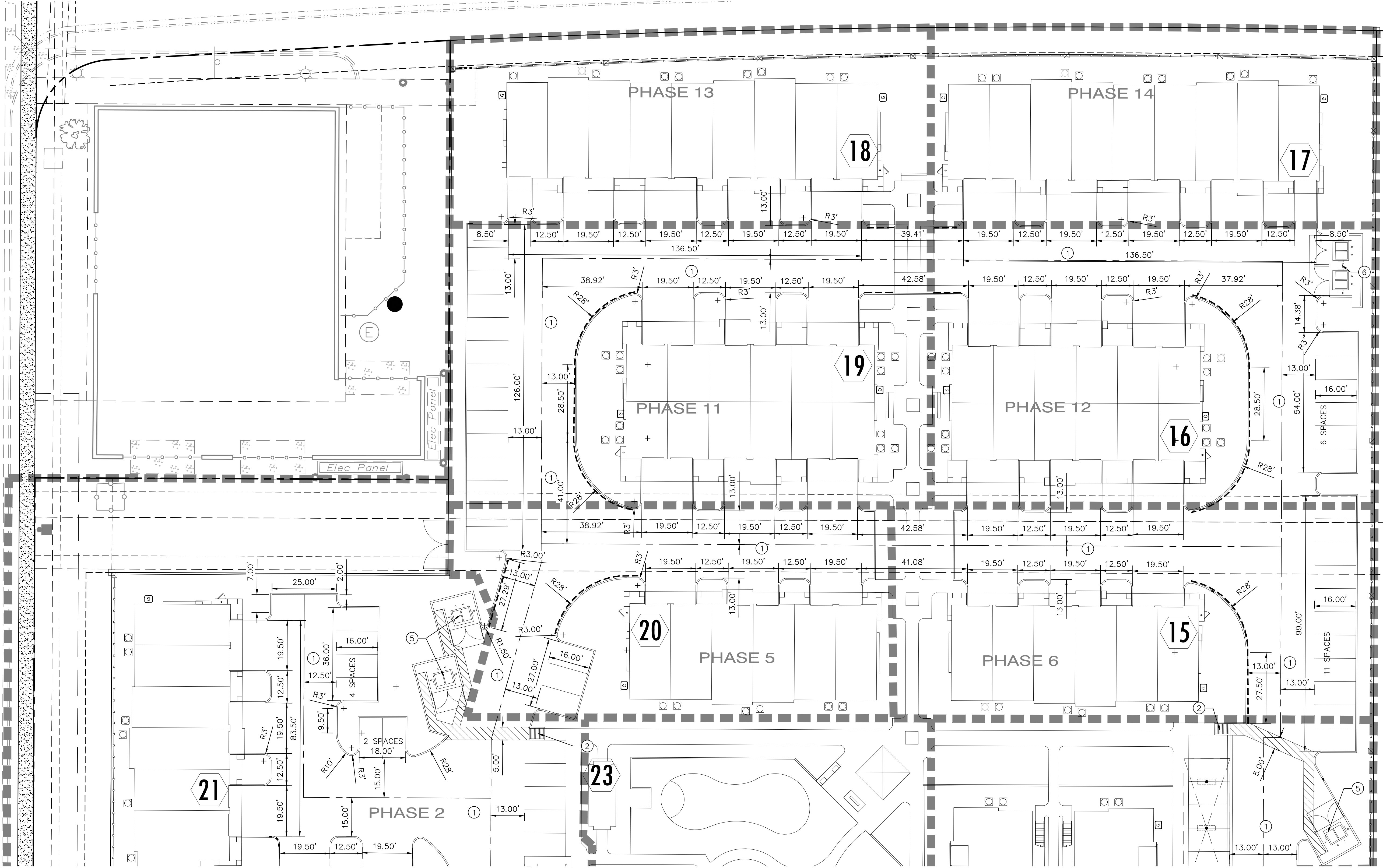
SITE PLAN
PRELIMINARY

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TRAFFIC CONTROL SHEET KEY



LEGEND

- 4" WIDE PAINTED (BLUE) PARKING STRIPES, 3" ON CENTER.
- PAINT CURB RED & STENCIL WHITE TEXT "FIRE LANE NO PARKING", 4" HIGH LETTERS, 1/2" STROKE.

CENTERLINE CONTROL

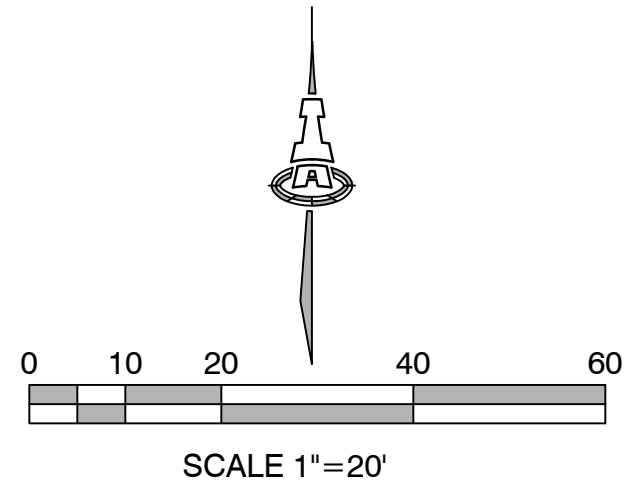
SEE SITE PAVING PLAN FOR CENTERLINE CONTROL COORDINATES AND BEARING-DISTANCES.

KEYED NOTES

- PAVED AREAS, SEE PAVING PLAN FOR LIMITS AND TYPE OF PAVING.
- ADA RAMP, SEE DETAIL ON ARCHITECTURAL PLANS.
- ACCESSIBLE PARKING SIGN, SEE DETAIL ON ARCHITECTURAL PLANS.
- ACCESSIBLE PARKING STALL, SEE DETAILS ON ARCHITECTURAL PLANS.
- SINGLE TRASH ENCLOSURE.
- DOUBLE TRASH ENCLOSURE.
- ADA ACCESSIBLE RAMP WITH TRUNCATED DOME MATS, SEE PUBLIC WORK ORDER DRAWINGS.

GENERAL NOTES

- BASIS OF BEARINGS: PLAT OF LOTS 1-4, SANTA MONICA PLACE; (BK. 2012C, PG. 0002; REC. 01-06-2012).
- COORDINATE PAIRS ARE NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE.
- SEE ARCHITECTURAL DETAIL SHEET, A1.20 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
- ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0" DEEP UNLESS OTHERWISE NOTED.
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BROADSTONE NORTHPOINT

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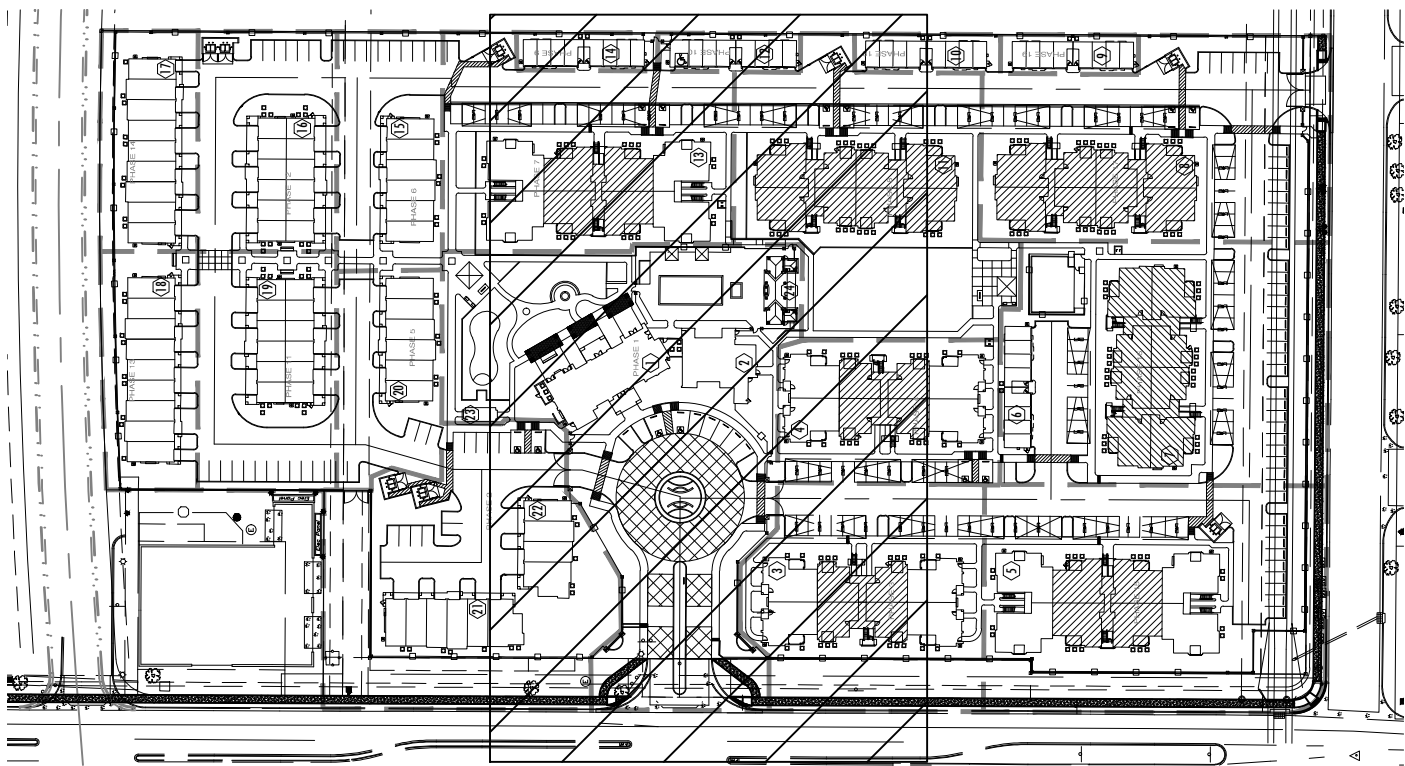
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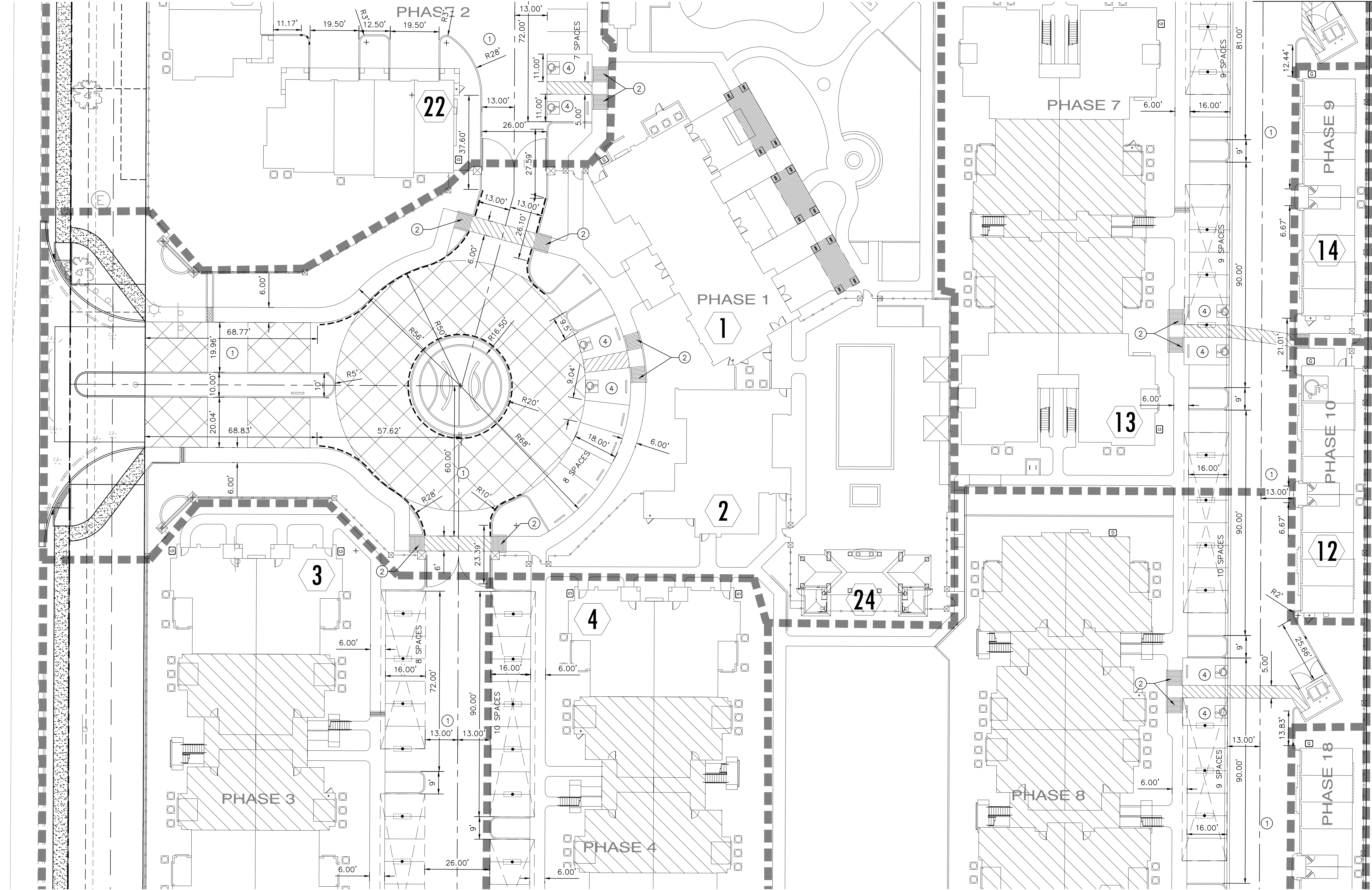
NORTH TRAFFIC CONTROL PLAN

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LEGEND

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CENTERLINE CONTROL

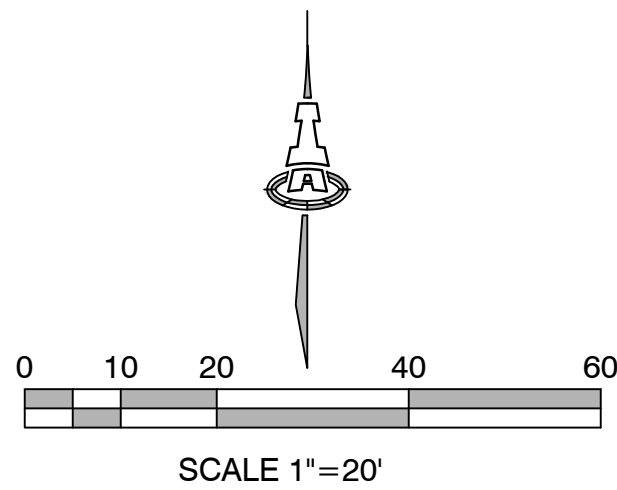
SEE SITE PAVING PLAN FOR CENTERLINE CONTROL COORDINATES AND BEARING-DISTANCES.

KEYED NOTES

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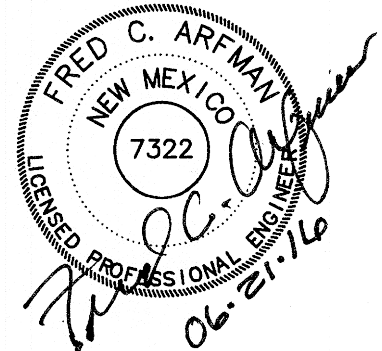


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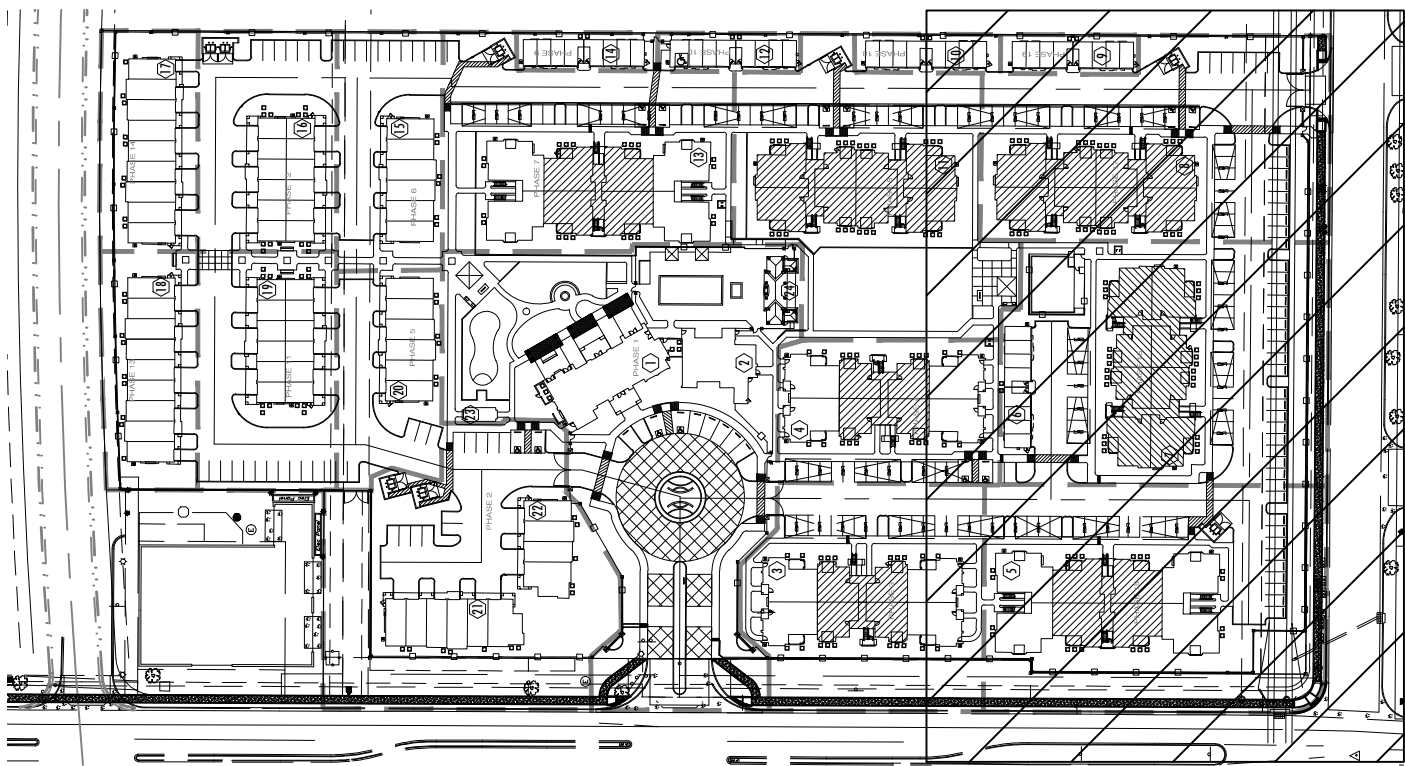
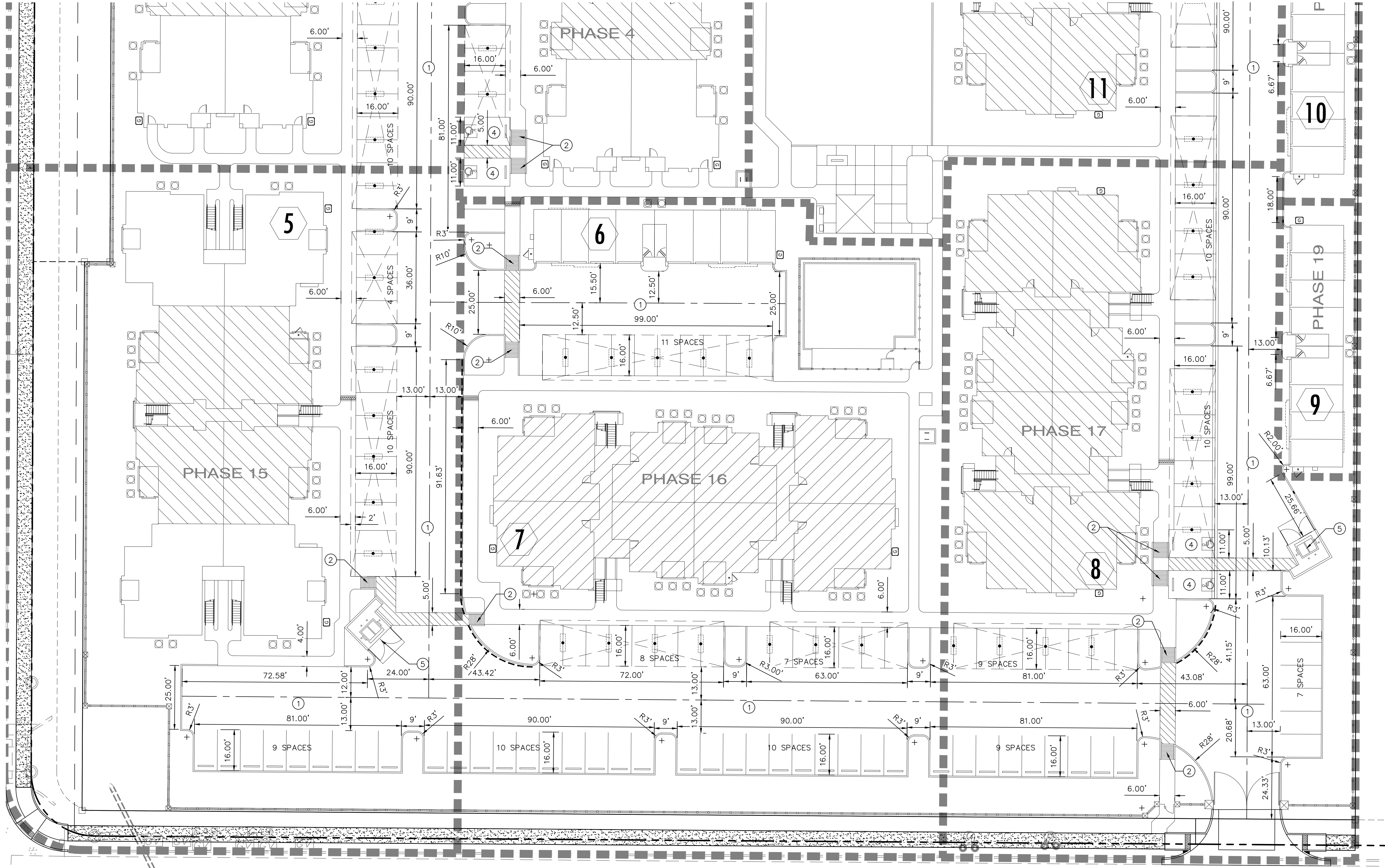
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MIDDLE TRAFFIC CONTROL PLAN

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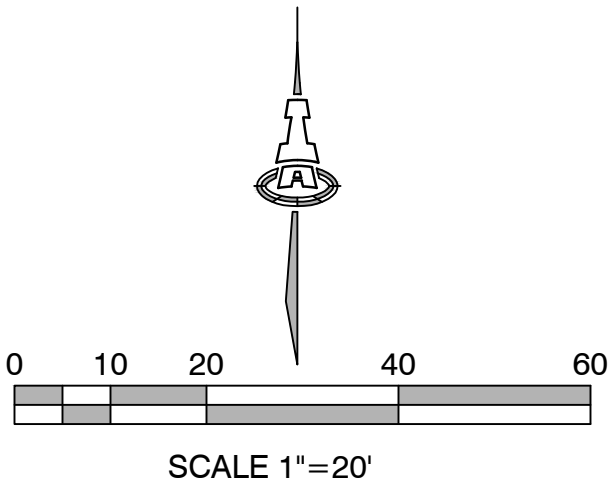
SEE SITE PAVING PLAN FOR CENTERLINE CONTROL COORDINATES AND BEARING-DISTANCES.

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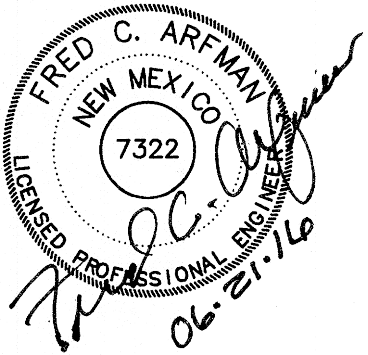
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SOUTH TRAFFIC CONTROL PLAN