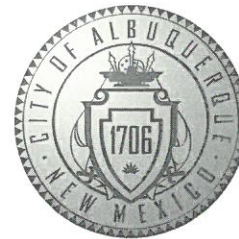


CITY OF ALBUQUERQUE



October 29, 2018

Genny Donart, P.E.
Isaacson & Arfman, PA
128 Monroe Street NE
Albuquerque, NM 87108

Re: Broadstone Northpoint Apartments
9100 San Mateo NE- Building 17
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 06-21-2016 (B18-D001C)
Certification dated 10 -23 -18

Dear Ms. Donart,

Based upon the information provided in your submittal received 10-23-2018, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please or me at (505)924-3675.

Sincerely,

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

MM via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Broadstone Northpoint Apts **Building Permit #:** 2016-00608 **Hydrology File #:** B18D001C
DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: A Portion of Tract 1, North I-25 Corporate Center

City Address: Northwest Corner of San Mateo & Modesto NE

Applicant: Isaacson & Arfman, PA **Contact:** Genny Donart

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 **Fax#:** _____ **E-mail:** gennyd@iacivil.com

Other Contact: ORB Architects **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:

_____ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY **BLDG 17**

TYPE OF SUBMITTAL:

☒ **ENGINEER** ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

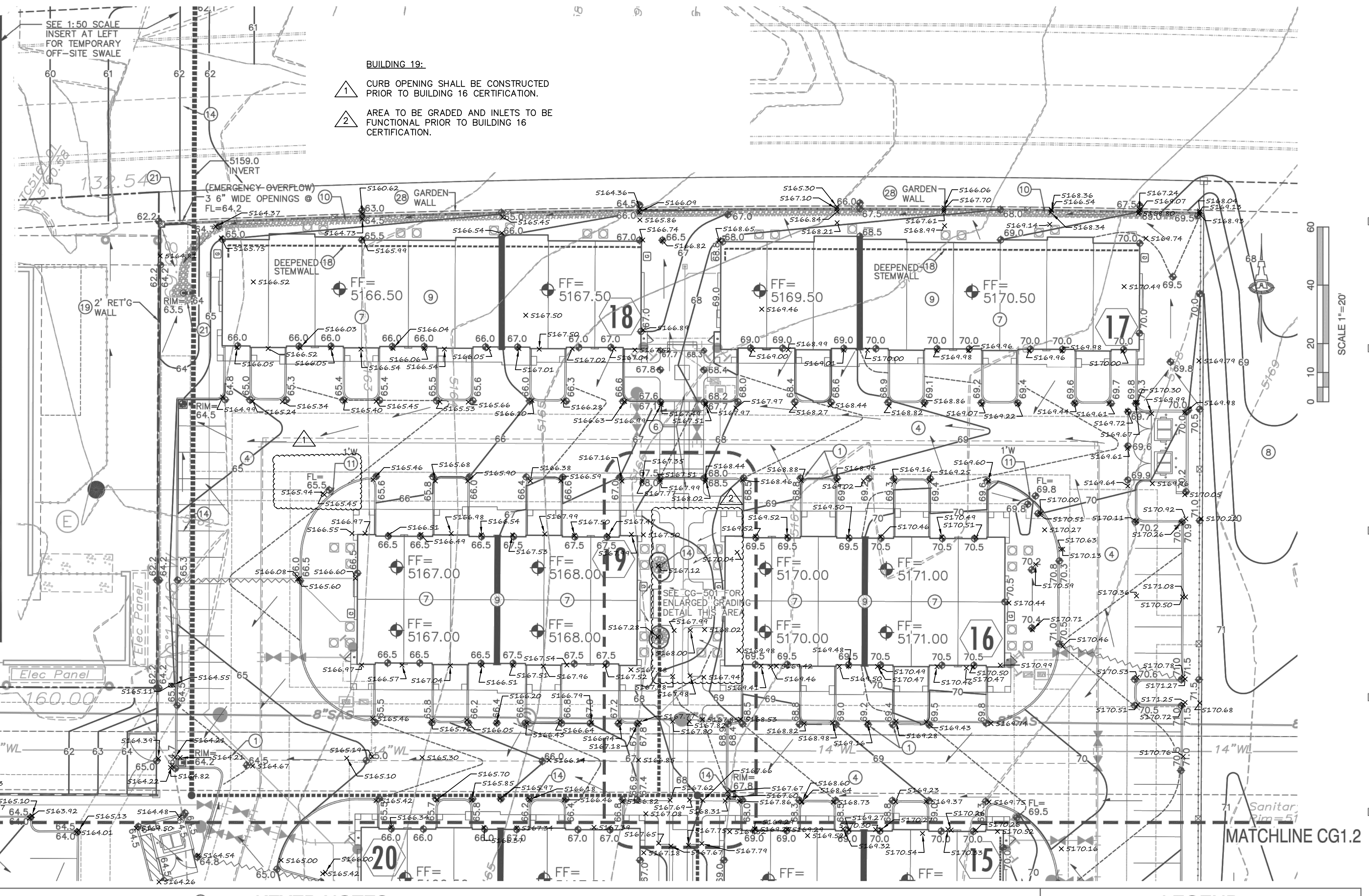
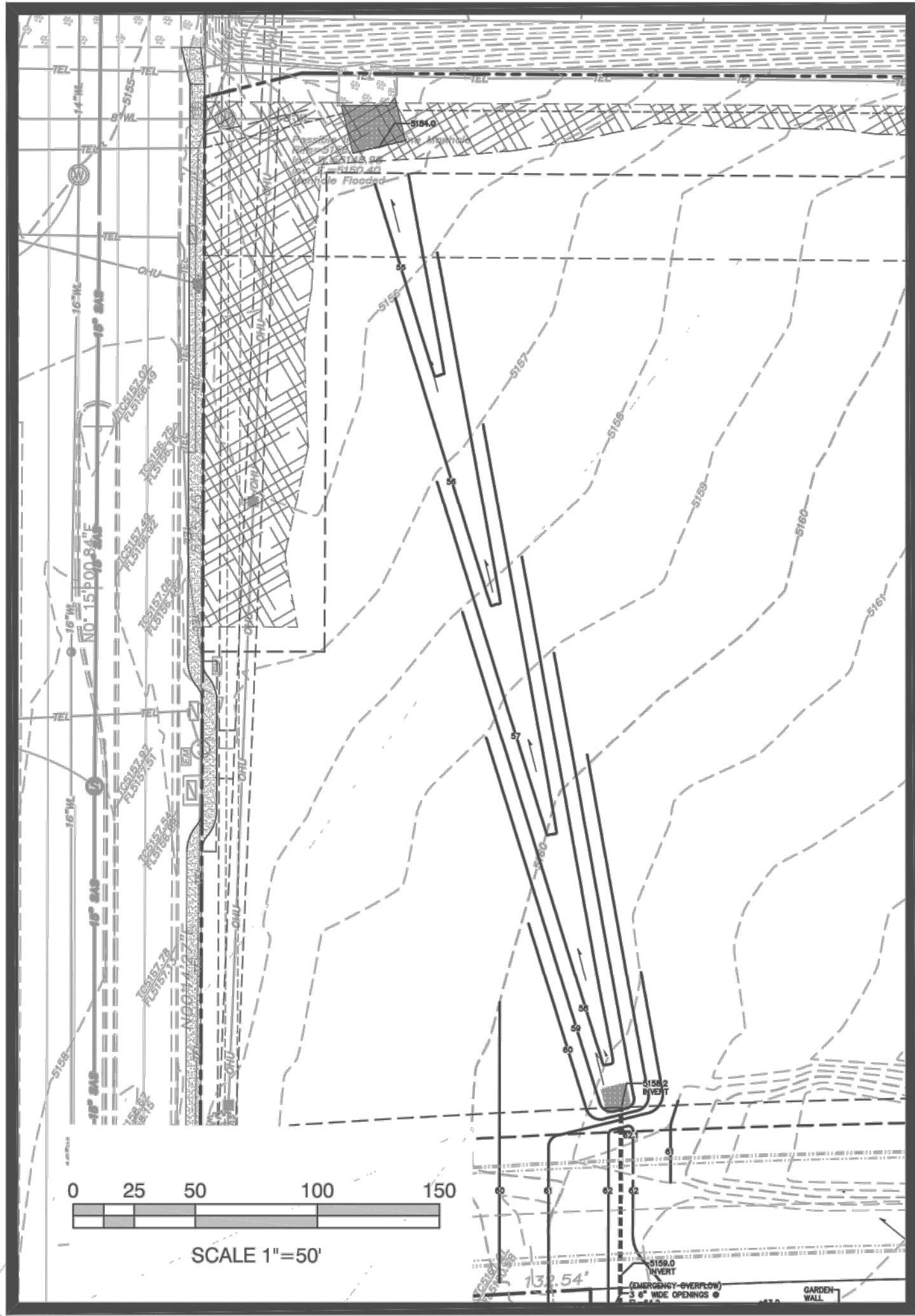
IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DATE SUBMITTED: October 22, 2018 **By:** Genny Donart

COA STAFF:

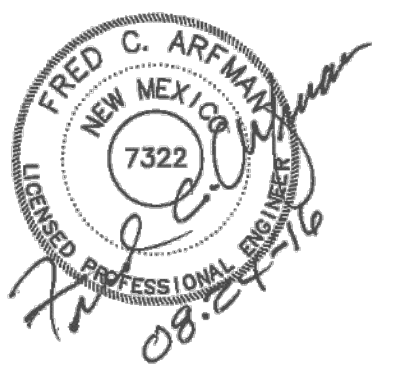
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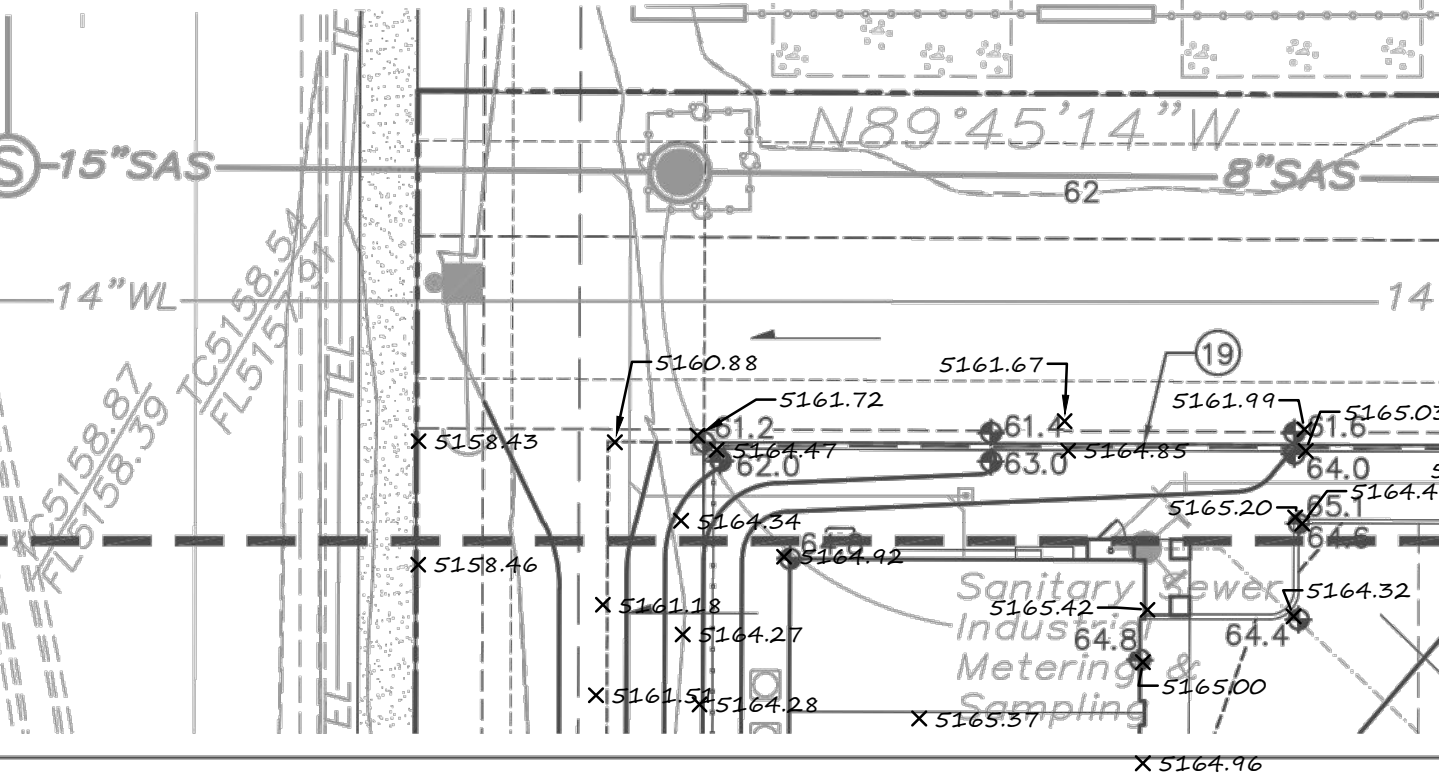


BROADSTONE NORTHPOINT
NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



TITAN
DEVELOPMENT
ALLIANCE
RESIDENTIAL COMPANY



THESE NOTES ARE REFERENCED ON SHEETS CG1.1, CG1.2, CG1.3 AND CG1.4. NOT ALL NOTES ARE USED ON EACH SHEET.

- SPOT ELEVATIONS WITHIN GUTTER AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
- SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN R.O.W. INCLUDING NEW ACCESS DRIVES WITH CONCRETE VALLEY GUTTER, HANDICAP RAMPS, PUBLIC SIDEWALKS, ETC. GRADES SHOWN FOR INFORMATION ONLY.
- SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION OF PUBLIC STORM SEWER SYSTEM WITHIN PUBLIC DRAINAGE EASEMENT THIS AREA.
- CONSTRUCT PAVING, CURBS, WALKS AT ELEVATIONS SHOWN. SEE PAVING PLAN, PAVING DETAILS AND ARCHITECTURAL SITE DETAILS FOR ADDITIONAL INFORMATION. NOTE THAT PAVEMENT SLOPES AND CROSS-SLOPES VARY THROUGHOUT TO ACHIEVE GRADES NECESSARY FOR ADA COMPLIANT PEDESTRIAN ACCESS; POSITIVE DRAINAGE; STREET STORMWATER CAPACITIES; PIPE COVERAGE; ETC. CONSTRUCT TO ELEVATIONS SHOWN.
- SLOPES WITHIN HANDICAP PARKING AREAS TO BE ADA COMPLIANT. MAX. SLOPE = 2% IN ANY DIRECTION.
- CONSTRUCT ADA COMPLAINT ACCESS RAMP. 1:12 MAX. SLOPE, 2% MAX. CROSS-SLOPE.
- F.F. ELEVATION WITHIN UNITS WITH GARAGES REFERENCES TOP OF CONCRETE STEP AT BACK OF GARAGE. GRADE AT GARAGE DOOR SHOWN 6" BELOW F.F. TO ACCOMMODATE 4" STEP AND PAD SLOPE. TYPICAL.
- OFF-SITE GRADING THIS AREA TO PROVIDE FOR TEMPORARY DESILTATION PONDS AND BERMS AS REQUIRED TO ROUTE OFF-SITE FLOW AROUND DEVELOPMENT.
- BUILDING ROOF DISCHARGE TO BE RELEASED TO ALL SLOES. PROVIDE CONCRETE SPLASH BLOCK (O.E) AT DOWNSPOUT

LOCATIONS (TYPICAL).

- PROVIDE 3' WIDE FRACTURED FACE ROCK SWALE AT GRADES SHOWN. SEE CG5.1 FOR ADDITIONAL INFORMATION.
- PROVIDE OPENING IN CURB TO PASS FLOW (SEE PLAN FOR BOTTOM WIDTH). INSTALL 3'X3' ROCK EROSION PROTECTION (DEPRESS TO PREVENT BLOCKING OF FLOW) WITHIN LANDSCAPE AREA. SEE DETAIL SHEET CG5.1.
- CONSTRUCT 18" WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236. SEE DETAIL SHEET CG5.1 FOR ADDITIONAL CONSTRUCTION INFORMATION.
- INSTALL TWO 4" DIA. PVC PIPE DRAINS @ 2% SLOPE THROUGH SIDEWALK. GRADE LANDSCAPE TO DIRECT FLOW TO OPENING. SEE DETAIL SHEET CG5.1.
- CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG5.2 AND CG5.3 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
- NOT USED.
- POOL AREA GRADES SHOWN FOR GENERAL INFORMATION ONLY. POOL CONTRACTOR TO PROVIDE FINAL DESIGN GRADES / DECK DRAINS ETC.
- CONSTRUCT RETAINING STEMWALL TO ACHIEVE EXTERIOR GRADES SHOWN. SEE ARCHITECTURAL.
- CONSTRUCT DEEPENED STEMWALL THIS AREA TO ACHIEVE EXTERIOR GRADES SHOWN. SEE ARCHITECTURAL.
- CONSTRUCT SITE RETAINING WALL TO ACHIEVE GRADE DIFFERENCE THIS AREA. SEE ARCHITECTURAL PLAN FOR EXTENTS AND DETAILS. STRUCTURAL / WEEPHOLE DESIGN BY OTHERS.
- CONSTRUCT 6" STEP(S) PER PLAN. SEE ARCHITECTURAL.

KEYED NOTES

- EROSION CONTROL (MIN. 6" AVG. DIA. ANGULAR FACED ROCK) TO BE INSTALLED ON ALL SLOPES > 3:1 AND TO LIMITS SHOWN HATCHED. SEE GENERAL NOTES.
- COORDINATE LANDSCAPING FEATURE GRADES I.E. MOW CURBS, PLAYFIELD, PLAYGROUND, PUTTING GREEN, ETC. WITH LANDSCAPE ARCHITECT WHILE MAINTAINING CLEAR DRAINAGE PATHS SHOWN.
- CONSTRUCT CONCRETE ALLEY GUTTER AT FLOWLINE ELEVATIONS SHOWN. SEE PAVING PLAN.
- NOT USED
- CONSTRUCT ESTATE CURB THIS AREA TO PASS SHEETFLOW TO LANDSCAPING AND STORM DRAIN INLETS. SEE PAVING PLAN.
- CONSTRUCT STORM DRAIN OUTLET WITH END SECTION. SEE CG5.1 FOR DETAIL.
- CONSTRUCT STORM DRAIN PRIOR TO RETAINING WALL PLACEMENT.
- CONSTRUCT SITE GARDEN WALL TO ACHIEVE GRADE DIFFERENCE THIS AREA (MAX. 1.5' RETAINING). SEE ARCHITECTURAL PLAN FOR EXTENTS AND DETAILS.

PHASE / BUILDING NO				PHASE / BUILDING NO				PHASE / BUILDING NO			
CERTIFICATION				CERTIFICATION				CERTIFICATION			
DATE				DATE				DATE			
PH 1 / BLDGS 1 & 2				PH 1 / BLDG 7				BLDG 11			
10/24/17				05/22/18				10/17/18			
PH 1 / BLDGS 4, 20 & 24				BLDG 9				BLDG 18			
11/21/17				06/25/18				10/04/18			
PH 1 / BLDGS 3, 6, & 22				BLDG 8				BLDG 15			
07/19/18				07/10/11				10/11/18			
PH 1 / BLDG 19				BLDG 10				BLDG 16			
08/17/18				07/24/18				10/18/18			
BLDG 5				BLDGS 12, 13 & 14				BLDG 17			
04/10/18				08/17/18				10/23/18			

LEGEND

- 79 PROPOSED CONTOUR - 1' INCREMENT
- 75.5 PROPOSED CONTOUR - 0.5' INCREMENT
- 78.3 PROPOSED SPOT ELEVATION
- FF= 5171.00 FINISH FLOOR ELEVATION
- ROCK EROSION CONTROL
- PROPOSED STORM DRAIN (SEE CG-501) FLOWLINE ELEVATION
- INVERT ELEVATION
- RETAINING WALL
- GRADE BREAK / SLOPE TRANSITION
- DEEPENED/RETAINING BUILDING STEMWALL
- BUILDING NUMBER
- FINISH FLOOR GRADE TRANSITION

Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other project, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.

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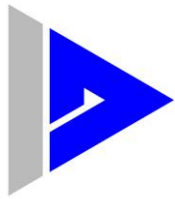
REVISIONS

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SECOND CITY SUBMITTAL

DATE: AUGUST 24, 2016 ORB # 15-212

CG1.1
GRADING AND DRAINAGE
PLAN - 1 OF 4



Date: October 23, 2018

Project: Broadstone Northpoint Apartments

Subject: Rolling TCL Certification: Building 17.

TRAFFIC CERTIFICATION

I, Genevieve L. Donart, PE, NMPE No. 15088, of the firm Isaacson & Arfman, P.A., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB approved plan dated June 21, 2016. The record information edited onto the original design document has been obtained by Russ Hugg NMPLS No. 9750 of the firm Surv-Tek, Inc. I further certify that I or someone under my direct supervision visited the project site on October 22, 2018 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

The image shows a handwritten signature, "Genevieve L. Donart", written in black ink. Overlaid on the signature is a circular professional engineer stamp. The stamp contains the text "GENEVIEVE L. DONART", "NEW MEXICO", "15088", and "LICENSED PROFESSIONAL ENGINEER". The date "10/23/18" is handwritten across the bottom of the stamp.

Genevieve L Donart, NMPE No. 15088