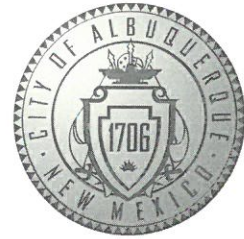


CITY OF ALBUQUERQUE



October 5, 2018

Genny Donart, P.E.
Isaacson & Arfman, PA
128 Monroe Street NE
Albuquerque, NM 87108

**Re: Broadstone Northpoint Apartments
9100 San Mateo NE- Building 18
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 06-21-2016 (B18-D001C)
Certification dated 08-17-18**

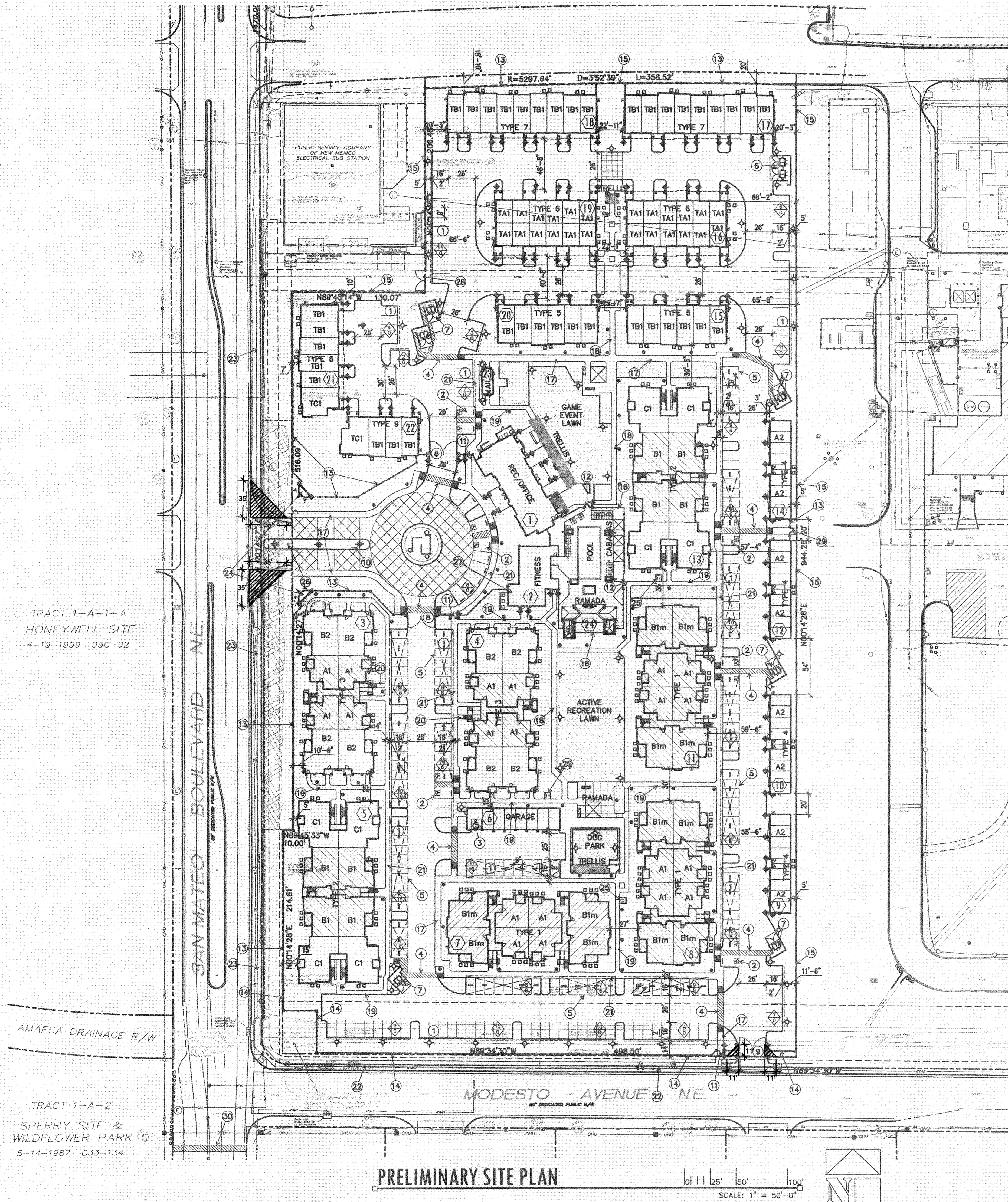
Dear Ms. Donart,
Based upon the information provided in your submittal received 10-05-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3675.

Sincerely,

Mojgan Maadandar,
Associate Engineer, Planning Dept.
Development Review Services

MM via: email
C: CO Clerk, File



DEVELOPMENT DATA

NET SITE AREA :
9.9924 ACRES (435,267 S.F.)

ZONING :
CURRENT: SU-2/SU-1 FOR HDR

BUILDING HEIGHT :
PROVIDED: 37 FEET

DENSITY :
PROPOSED: 22.42 DU/ACRE

SETBACKS PROVIDED :

	SIDE (N)	REAR (W)	SIDE (S)	FRONT (E)
BUILDINGS	15'	5'	67'	5'
PARKING	NA	5'	14'	38'

		UNIT MIX										UNITS/BLDG	NO. BLDGS	TOTAL UNITS
		A1	A2	B1	B1m	B2	B2.1	B2.2	C1	TA1	TB1	TC1		
LIVABLE	738	983	1,065	1,085	1,085	1,187	1,314	678	1,242	1,559				
STOR/GAR	23	247	21	21	40	21	30	290	501	501				
PAT/BAL	68	15	90	90	90	90	59	58	58	130				
BLDG TYPE 1	12												24	3
BLDG TYPE 2	12						8						20	2
BLDG TYPE 3	12					4	4						20	2
BLDG TYPE 4		2											2	4
BLDG TYPE 5													6	2
BLDG TYPE 6										12			12	2
BLDG TYPE 7													9	2
BLDG TYPE 8													5	1
BLDG TYPE 9													3	1
TOTAL	60	8	24	36	8	8	16	24	38	2			19	274

	SF REQ. PER DU	# OF DU'S	TOTAL SF REQUIRED	TOTAL SF PROVIDED
1 BEDROOM	400	92	36,800	
2 BEDROOM	500	114	57,000	
3 BEDROOM	600	18	10,800	
PROVIDED SITE OPEN SPACE				180,184
PROVIDED BALCONY PRIVATE OPEN SPACE				15,716
TOTAL (excess of 91,300 SF)	224	104,600	195,900	

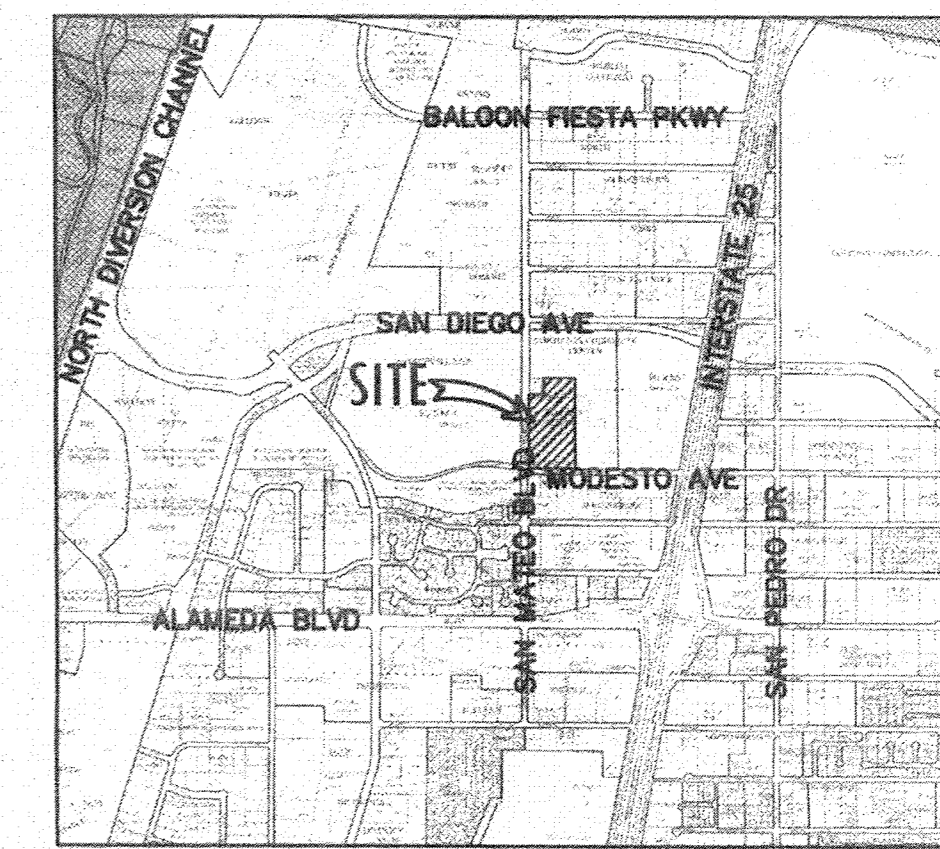
PARKING SPACE REQUIREMENTS		PARKING RATIO REQUIRED	PARKING SPACES
UNIT A1, A2, TA1 < 1,000 SF	92 - 1 BR / 1 BATH	1.5 / 1	138
UNIT B1, B2, TB1 > 1,000 SF	114 - 2 BR / 2 BATH	2 / 2	228
UNIT C1 < 1,000 SF	18 - 3 BR / 2 BATH	2 / 2	32
UNIT TC1 > 1,000 SF	2 - 3 BR / 3 BATH	2 / 3	6
PARKING SPACES REQUIRED TRANSIT REDUCTION (10%)			404
Total Parking Spaces Required			364
OPEN PARKING PROVIDED			120
CARPORT PARKING PROVIDED			122
GARAGE PARKING PROVIDED			143
TANDEM OPEN (Provided but NIC in parking codes)			46
Total Parking Provided			385
Accessible Parking Required			12
OPEN ACCESSIBLE PARKING PROVIDED			8
CARPORT ACCESSIBLE PARKING PROVIDED			4
GARAGE ACCESSIBLE PARKING PROVIDED			1
Total Accessible Parking Provided			13
Bicycle Parking Required (1 SPACE FOR EVERY 2 DWELLING UNITS)			112
GARAGE BICYCLE RACK			103
Total Bicycle Parking Provided			113

LEGEND

- DENOTES PROPERTY LINE
- ① BUILDING NUMBER
- TYPE 2. BUILDING TYPE
- ◇ NO. OF PARKING SPACES
- ◇ NO. OF COVERED SPACES
- ⊕ DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT

LIGHTING LEGEND

- ⊕ TYPE 'SA'. 18' TALL POLE LIGHT.
- ⊕ TYPE 'SB'. 12' TALL POLE LIGHT.
- ⊕ TYPE 'SC'. 8' TALL POST TOP LIGHT.
- TYPE 'SD'. 42" HIGH BOLLARD LIGHT.
- ⊕ TYPE 'SE'. CARPORT LIGHT.
- ⊕ TYPE 'SF'. WALL SCONCE AT 4'-6" B.O.F. ADA COMPLIANT.
- ⊕ TYPE 'SG'. FLUORESCENT UPLIGHT.



VICINITY MAP
NOT TO SCALE

KEYNOTES

- 9'x16' PARKING SPACE WITH 2' OVERHANG, TYPICAL. SEE DETAIL 01/A2.
- 11'x16' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG, SEE DETAIL 05/A2.
- ACCESSIBLE GARAGE SPACE.
- ACCESSIBLE DRIVEWAY CROSSING MARKING.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE, SEE DET 06/A2.
- DOUBLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 13/A2.
- SINGLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 07/A2.
- ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 28/A3.
- RESIDENT ONLY REMOTE CONTROL ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 28/A3.
- GATE CONTROL BOX AND SITE DIRECTORY MAP, SEE DETAIL 17/A3. PROVIDE KEY BOX FOR FIRE DEPARTMENT ACCESS.
- PEDESTRIAN ENTRY GATE, SEE DETAIL 23/A3.
- POOL GATE, SEE DETAIL 24/A3.
- WROUGHT IRON PERIMETER VIEW FENCE, SEE DETAIL 18 & 19/A3.
- CMU/WROUGHT IRON COMBO PERIMETER FENCE, SEE DETAIL 27/A3.
- CMU PERIMETER WALL, SEE DETAIL 16/A3.
- WROUGHT IRON POOL FENCE, SEE DETAIL 19/A3.
- 6' SIDEWALK CONNECTING TO EACH BUILDING AND TO PUBLIC WAYS.
- 5' SIDEWALK, MAIN INTERIOR CONNECTION.
- 4' SIDEWALK, TYPICAL ON SITE.
- 3'-6" SIDEWALK AT STAIR APPROACH, TYPICAL.
- 6' SIDEWALK, TYPICAL AT PARKING, SEE DETAIL 09/A2.
- 6' SIDEWALK DETACHED 4' FROM STREET CURB AT MODESTO AVE.
- 6' SIDEWALK DETACH 6' FROM STREET CURB AT SAN MATEO BLVD.
- MONUMENT SIGN, SEE DETAIL 29/A3.
- BICYCLE PARKING RACK FOR 6 BICYCLES, SEE DETAIL 30/A3.
- FLAG POLE.
- POOL EQUIPMENT AT FITNESS BLDG.
- EASEMENT ACCESS GATE.
- FUTURE PEDESTRIAN GATE CONNECTION TO FUTURE COMMERCIAL DEVELOPMENT TO THE EAST.
- POTENTIAL STREET CROSSING WITH ENHANCED PAVING TO BE COORDINATED WITH CITY OF ALBUQUERQUE PARKS AND RECREATION DEPARTMENT.

GENERAL NOTES

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PROJECT NUMBER: 1000310

Application Number: 15EP-40072

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 1/15/16 and the Findings and Conditions in the Official Notification of Decision are satisfied.

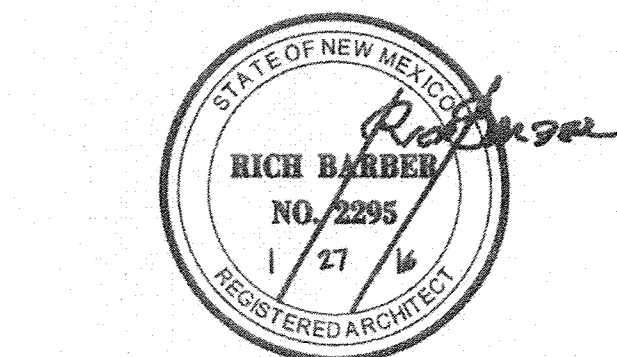
Is an Infrastructure List required? ☒ Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Reginald M. M... Traffic Engineering, Transportation Division ABCM/JA	4/6/16 Date
Chris... Parks and Recreation Department City Engineer	04/06/16 Date
Carl S. Dumont Solid Waste Management DRB Chairperson, Planning Department	4-6-16 Date
	8-31-16 Date
	2-1-16 Date
	8-31-16 Date

**BROADSTONE
NORTHPOINT**
NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico

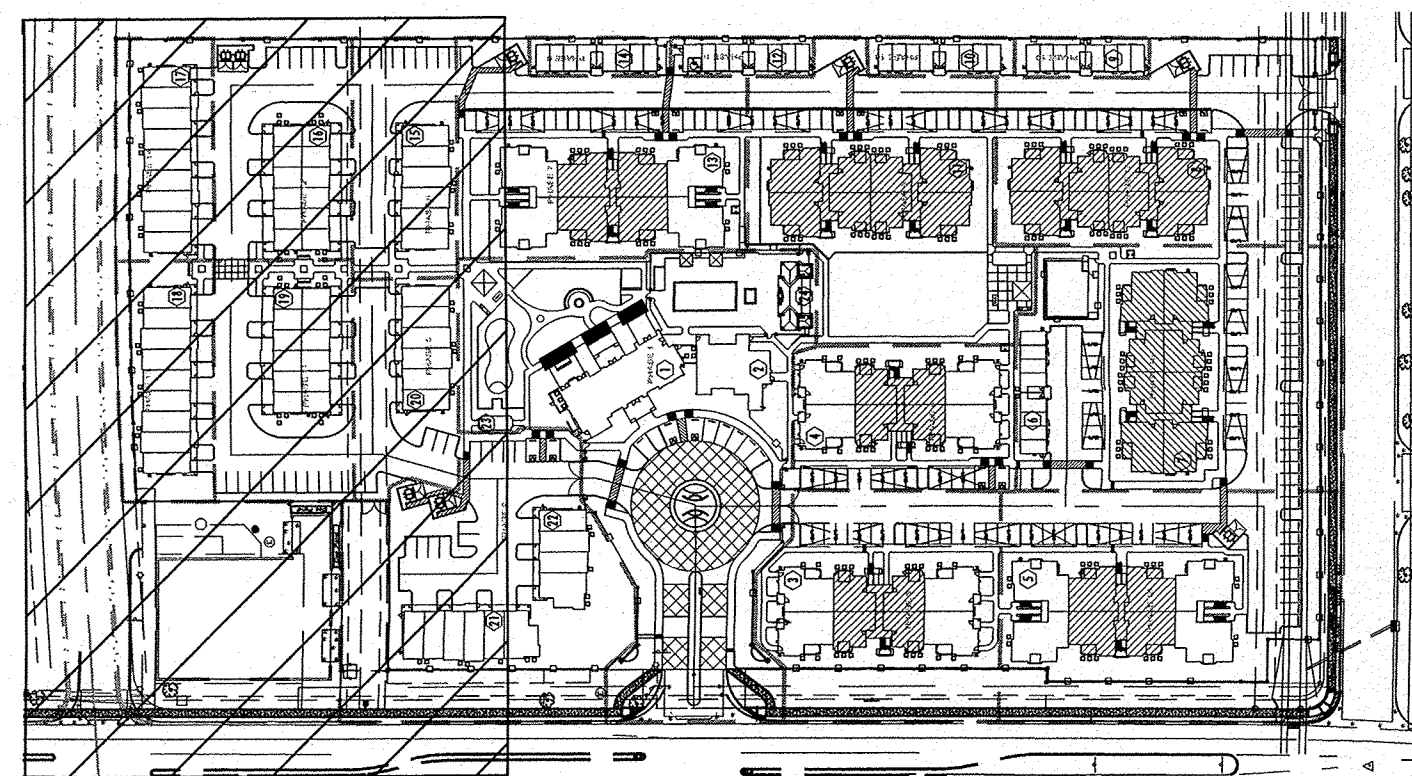
Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



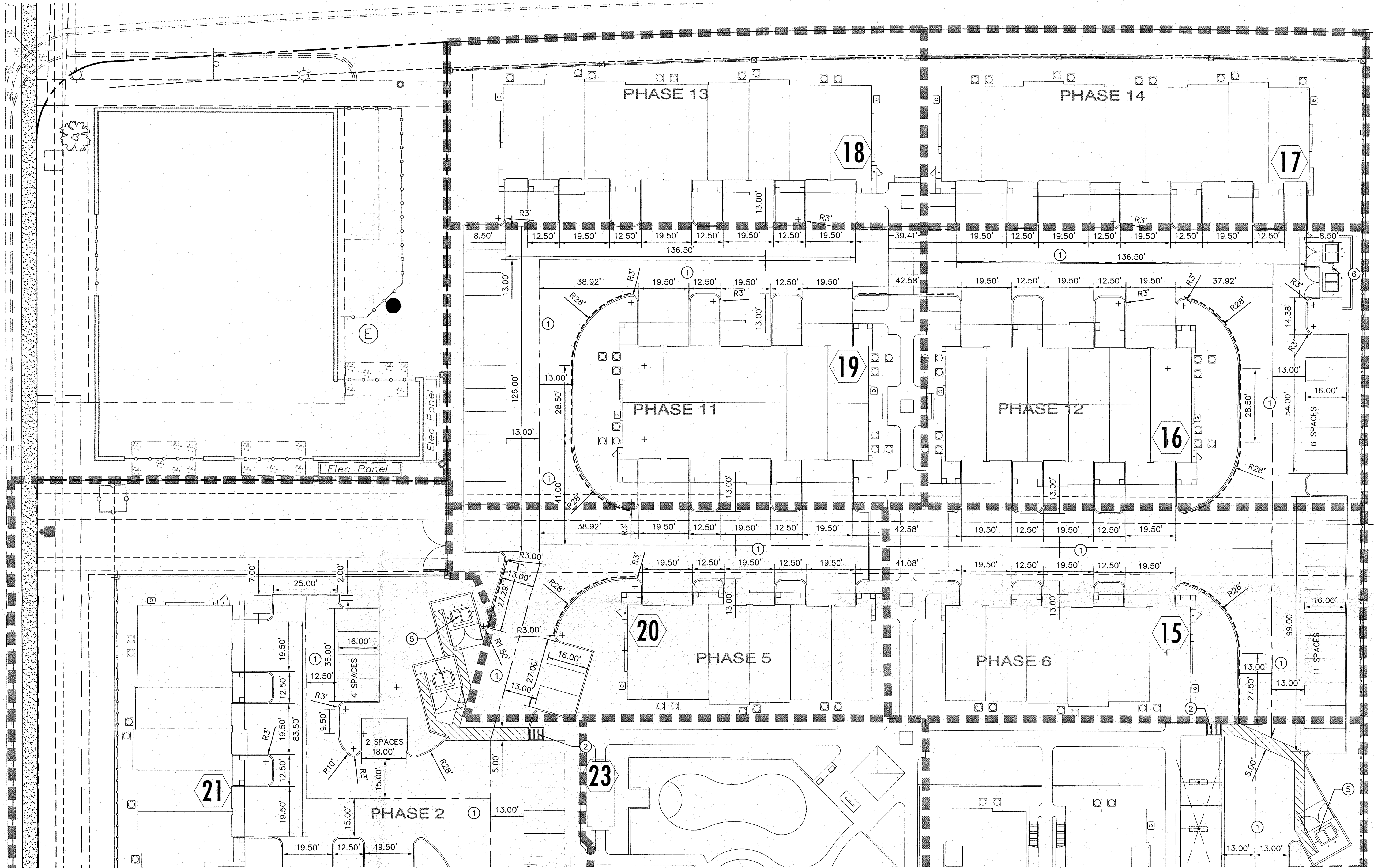
TITAN
DEVELOPMENT
ALLIANCE
RESIDENTIAL COMPANY

DATE: JANUARY 27, 2016 ORB # 15-212

A1 of 18
SITE PLAN
PRELIMINARY



TRAFFIC CONTROL SHEET KEY



LEGEND

- 4" WIDE PAINTED (BLUE) PARKING STRIPES, 3' ON CENTER.
- PAINT CURB RED & STENCIL WHITE TEXT "FIRE LANE NO PARKING", 4" HIGH LETTERS, 1/2" STROKE.

CENTERLINE CONTROL

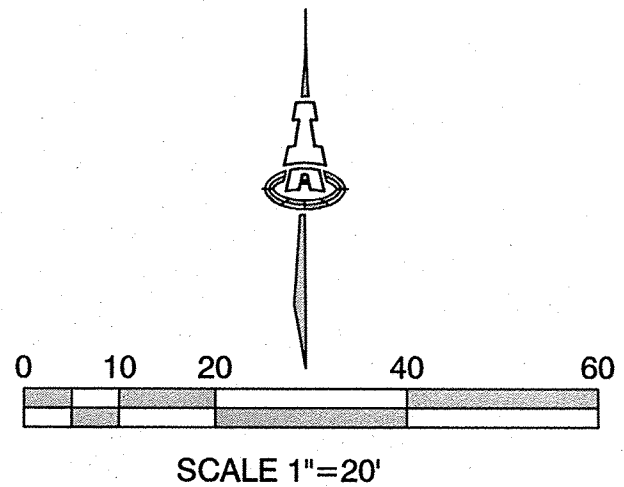
SEE SITE PAVING PLAN FOR CENTERLINE CONTROL COORDINATES AND BEARING-DISTANCES.

KEYED NOTES

- PAVED AREAS, SEE PAVING PLAN FOR LIMITS AND TYPE OF PAVING.
- ADA RAMP, SEE DETAIL ON ARCHITECTURAL PLANS.
- ACCESSIBLE PARKING SIGN, SEE DETAIL ON ARCHITECTURAL PLANS.
- ACCESSIBLE PARKING STALL, SEE DETAILS ON ARCHITECTURAL PLANS.
- SINGLE TRASH ENCLOSURE.
- DOUBLE TRASH ENCLOSURE.
- ADA ACCESSIBLE RAMP WITH TRUNCATED DOME MATS, SEE PUBLIC WORK ORDER DRAWINGS.

GENERAL NOTES

- BASIS OF BEARINGS: PLAT OF LOTS 1-4, SANTA MONICA PLACE; (BK. 2012C, PG. 0002; REC. 01-06-2012).
- COORDINATE PAIRS ARE NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE.
- SEE ARCHITECTURAL DETAIL SHEET, A1.20 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
- ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0" DEEP UNLESS OTHERWISE NOTED.
- ALL ACCESSIBLE PARKING STALLS ARE 11'-0" WIDE BY 18'-0" DEEP.
- ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
- REMOVE ALL UNUSED CURB CUTS WITHIN THE PUBLIC ROW AND REPLACE WITH COA STD CURB & GUTTER AND PCC SIDEWALKS AS SHOW ON THE PUBLIC WORK ORDER DRAWINGS.
- ALL IMPROVEMENTS SHOWN IN THE PUBLIC ROW TO BE CONSTRUCTED PER PUBLIC WORK ORDER DRAWINGS.
- ALL ONSITE SIDEWALKS ARE 4' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.

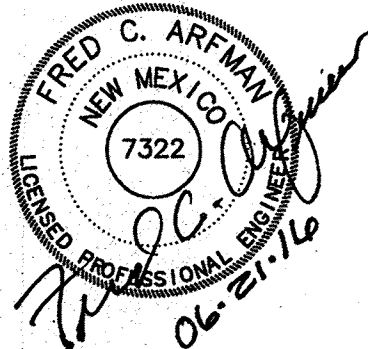


BROADSTONE NORTHPOINT

NWC SAN MATEO AND MODESTO NE
Albuquerque, New Mexico

Office of Rich Barber
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WorldHQ@ORBArch.com



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DEVELOPMENT

ALLIANCE
RESIDENTIAL COMPANY

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaact.com
2129 CP-102.dwg Jun 23, 2016

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REVISIONS

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FIRST CITY SUBMITTAL

DATE: JUNE 21, 2016 ORB # 15-212

CP1.2

NORTH TRAFFIC CONTROL PLAN