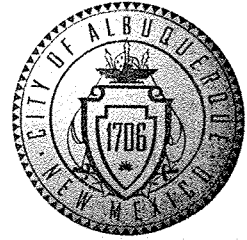


CITY OF ALBUQUERQUE



August 21, 2008

John MacKenzie, P.E.
Mark Goodwin & Associates, P.A.
P.O. Box 90606
Albuquerque, NM 87199

**Re: Farm Credit Bureau, 5651 Balloon Fiesta Parkway NE,
Request of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 08/28/07 (B-18/D004B1)
Certification dated 8/018/08**

Mr. MacKenzie,

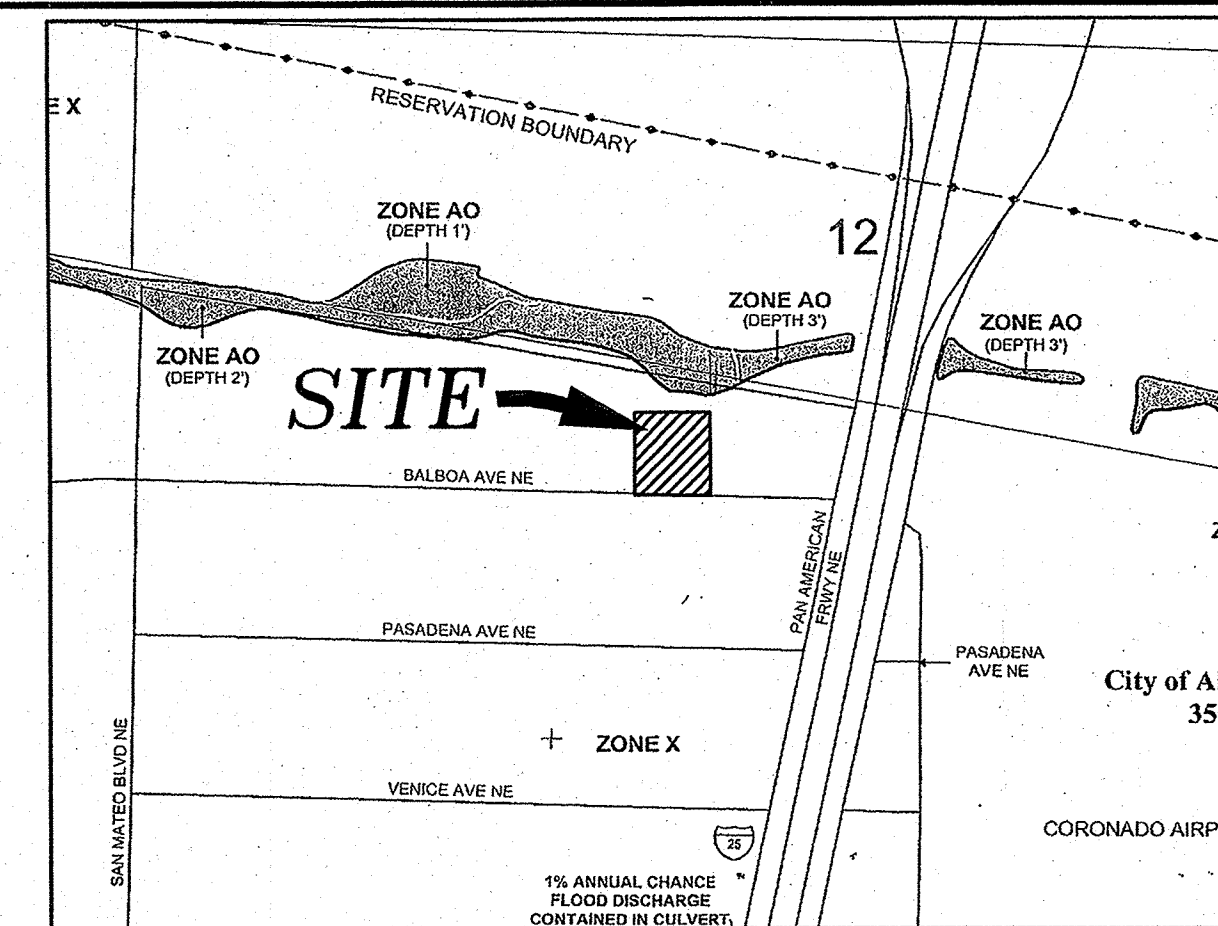
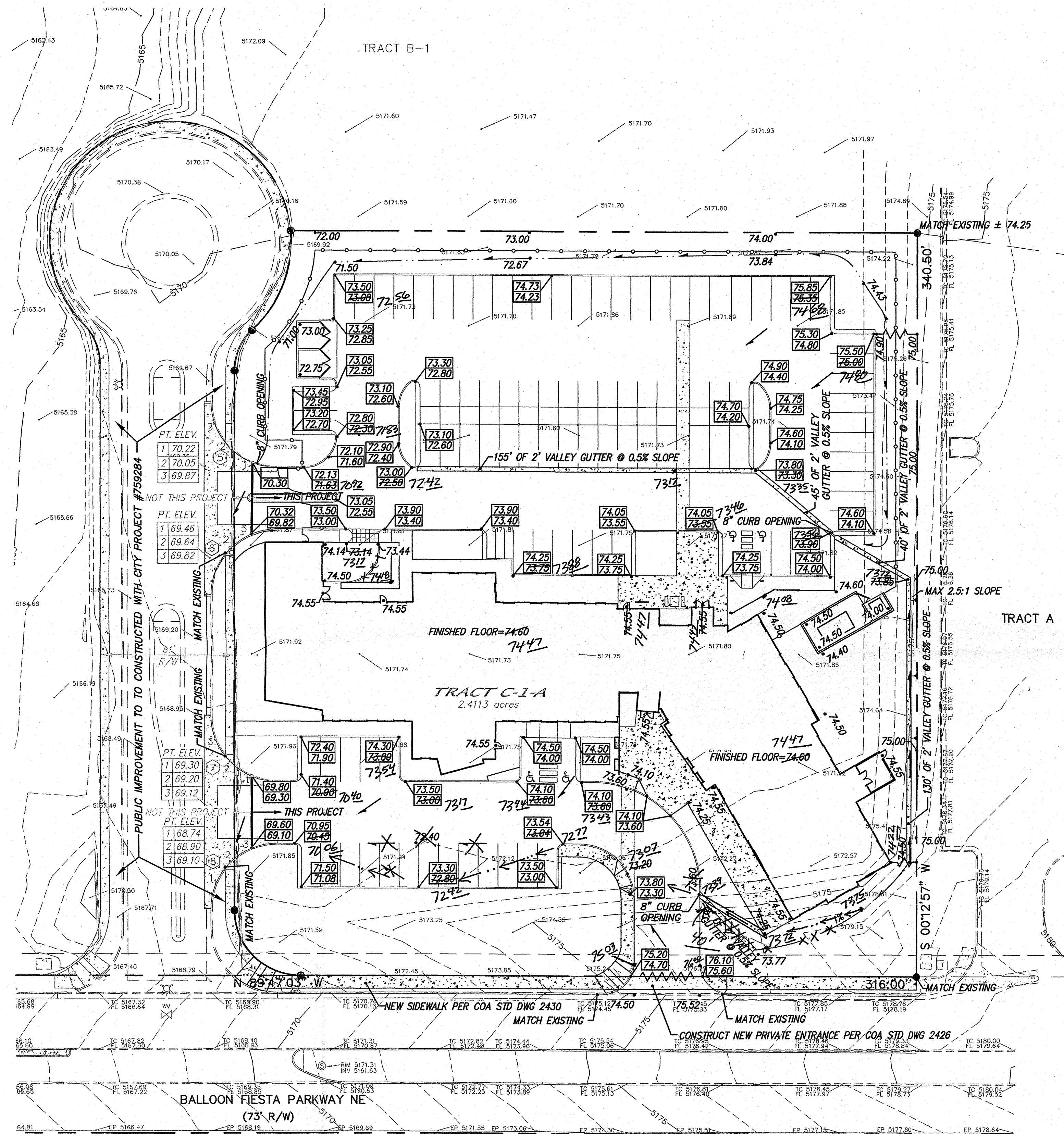
Based upon the information provided in your submittal received 4/19/08, the above referenced certification is approved for release of Permanent Certification of Occupancy by hydrology.

If you have any questions, you can contact me at 924-3982.

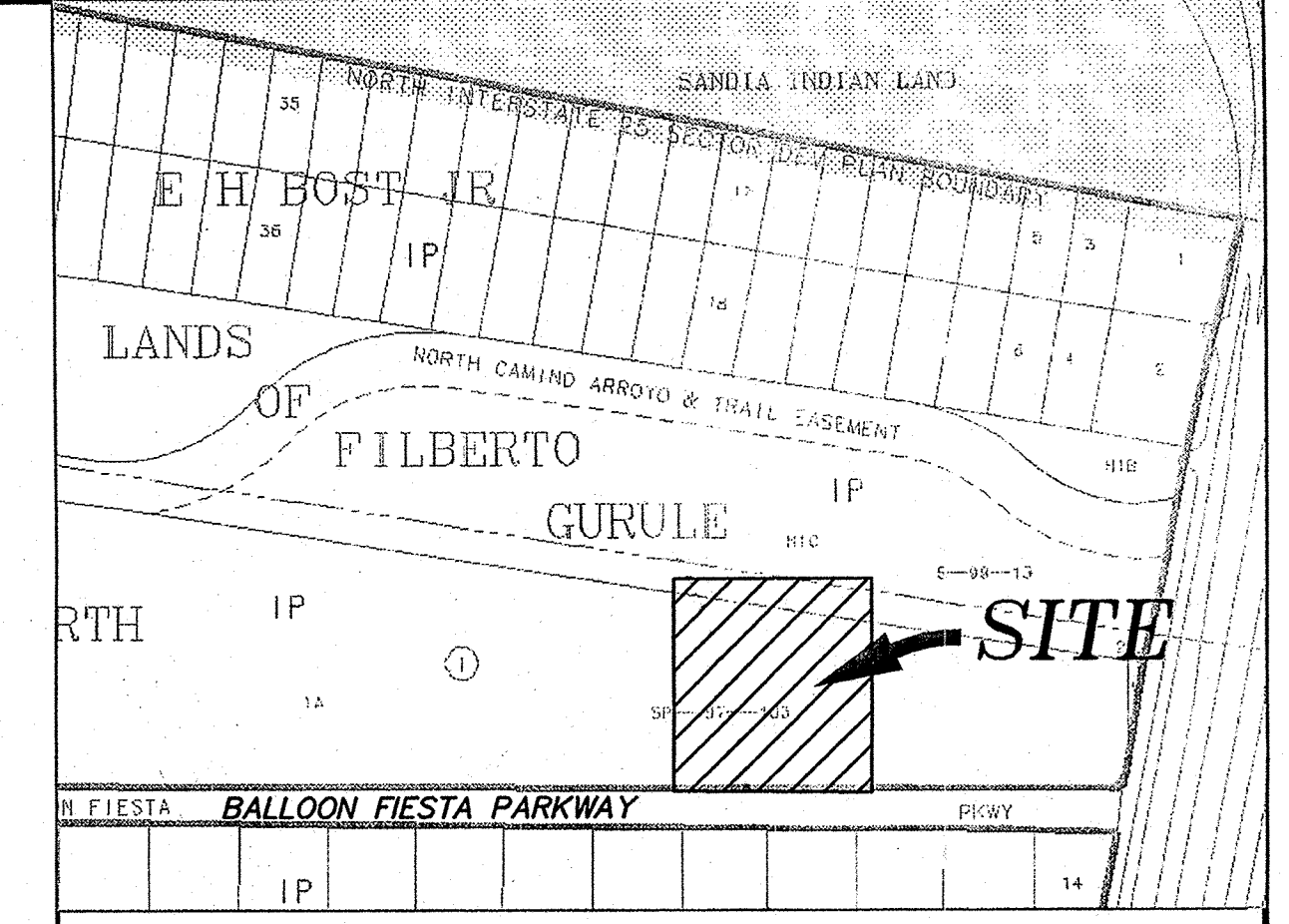
Sincerely,

Timothy E. Sims
Plan Checker, Hydrology
Development and Building Services

C: C.O. Clerk—Katrina Sigala
File



FIRM PANEL NO. 129 OF 825



VICINITY MAP ZONE MAP: C-17-Z

T B M (TEMPORARY BENCHMARK)
ACS MONUMENT "125-11" HAVING AN ELEVATION OF 5206.94 (NAVD 1929).

LEGAL DESCRIPTION:
TRACT C-1-A OF NORTH GATEWAY PLAT.

LEGEND	
	EX. SPOT
	EX. CURB & GUTTER
	EX. EASEMENT
	EX. OVERHEAD POWER LINE
	EX. FOUND REBAR WITH CAP "LS 5978"
	EX. SET BATHEY MARKER "LS 14271"
	EX. SANITARY SEWER MANHOLE
	EX. SANITARY SEWER LINE
	EX. WATER VALVE
	EX. FIRE HYDRANT
	PROPERTY LINE
	NEW SPOTS
	1/2-Built Elevation
	NEW WATER BREAK
	NEW BUILDING
	NEW CURB
	NEW VALLEY GUTTER
	NEW BUILDING

CURVE DATA - DESCRIBES EDGE OF PAVEMENT

5	$\Delta = 90^{\circ}00'00''$ R = 30.00' L = 47.12' T = 30.00'	6	$\Delta = 90^{\circ}00'00''$ R = 30.00' L = 47.12' T = 30.00'	7	$\Delta = 90^{\circ}00'00''$ R = 30.00' L = 47.12' T = 30.00'
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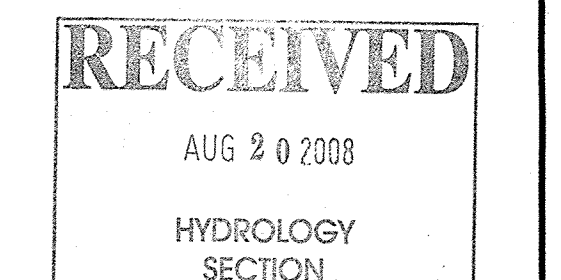
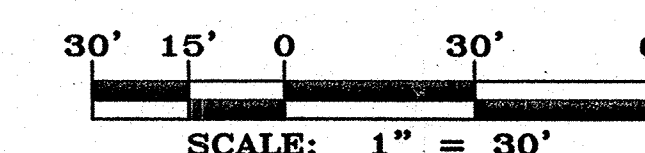
8	$\Delta = 90^{\circ}00'00''$ R = 30.00' L = 47.12' T = 30.00'
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DRAINAGE CERTIFICATION

I, John M. MacKenzie, NMPE 11619, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/28/07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILL PITCHER, JR., NMPS 14271, OF THE FIRM Cartesian Surveys, Inc. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/14/08, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

John M. MacKenzie 8-18-08
JOHN M. MACKENZIE, NMPE 11619 DATE



FARM CREDIT BUREAU
GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: CAR	Checked: DMG	Sheet 1 of 1
Scale: 1" = 30'	Date: 04/30/07	Job: A6096	