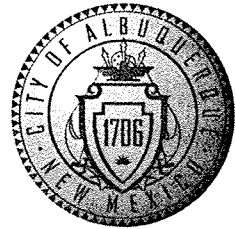


CITY OF ALBUQUERQUE



February 17, 2011

Genny Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Ingersoll Rand Trane Preliminary Grading and Drainage Plan
Engineer's Stamp dated -no stamp- (B18/D005)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 2-8-11, the above referenced plan is approved for Site Development for Building Permit and Platting action by the DRB.

When submitting for Building Permit:

- The offsite flows will have to be addressed differently than shown on this plan.
- Show grading for the turn-around and the surrounding area.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

3-18/0005

PROJECT TITLE: Ingersoll Ranch Tract ZONE MAP: B-4
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION:

CITY ADDRESS: 5501 San Diego Ave NE

ENGINEERING FIRM: I & A CONTACT: Frank Geny
 ADDRESS: _____ PHONE: 260-0018
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION CONTROL PLAN
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ OTHER (SPECIFY) _____

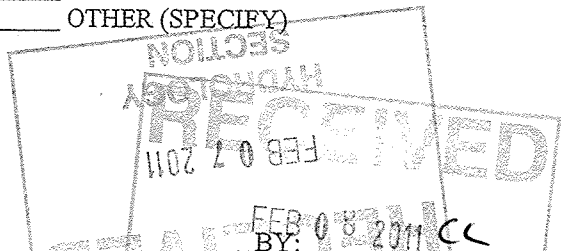
CHECK TYPE OF APPROVAL SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- ☒ S. DEV. PLAN FOR SUB'D APPROVAL
- ☒ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TEMP)
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- _____ YES
- ☒ NO
- _____ COPY PROVIDED

DATE SUBMITTED: 7

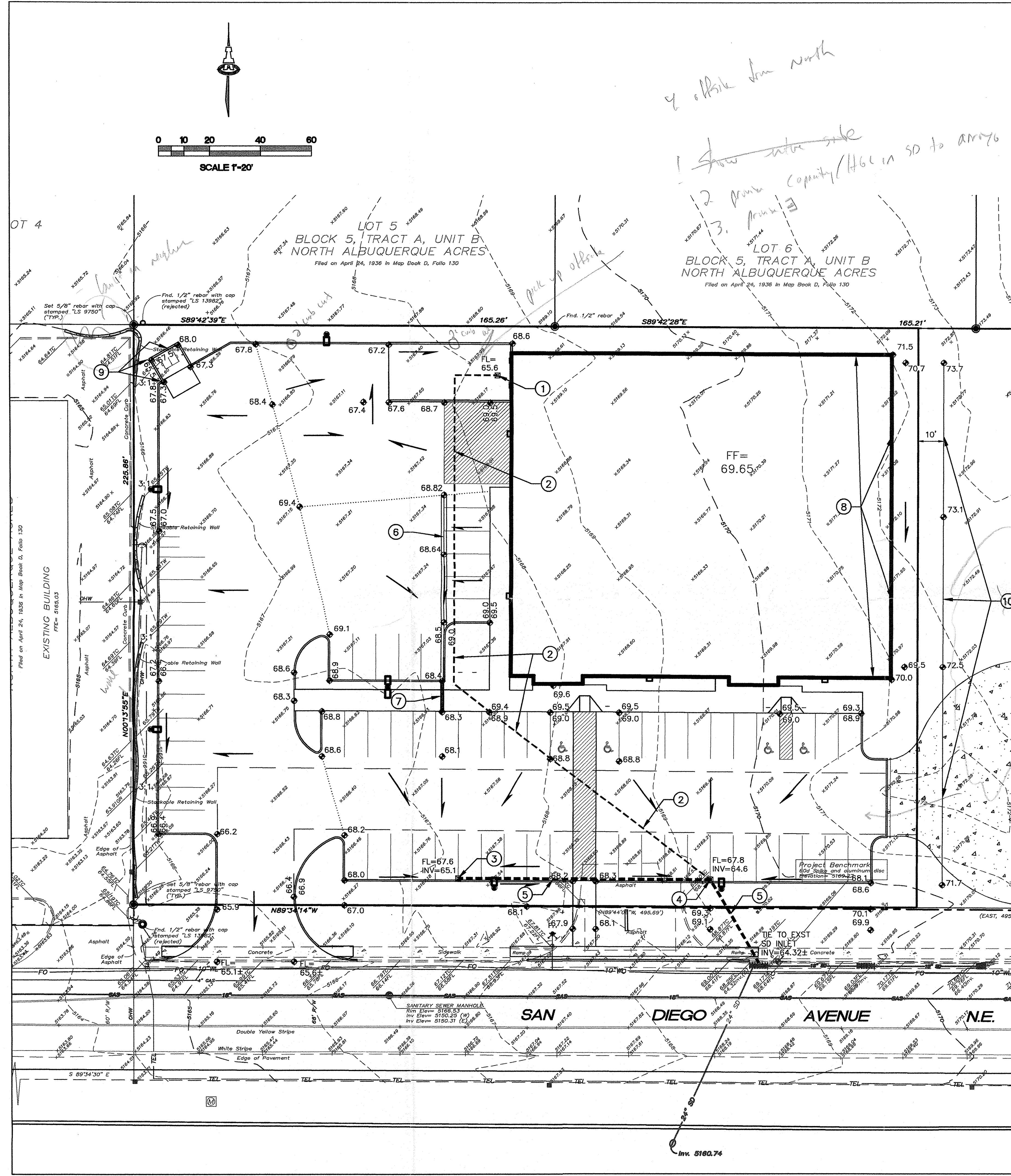


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

working on Feb 24th 5M analysis

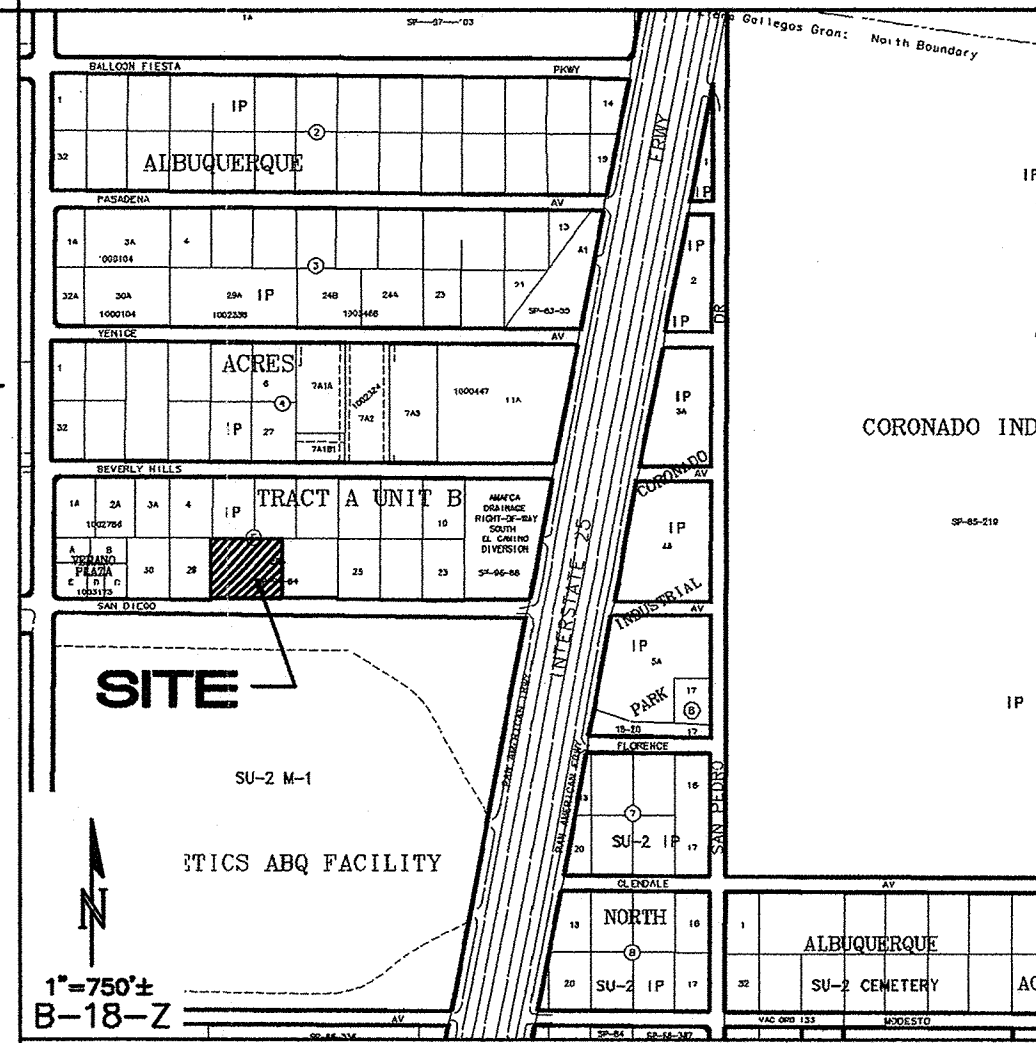
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GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND/OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH AND LEVEL.
- ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
- SLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK OR LANDLOK TRM 450 O.E.) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEEDED BASED ON ACTUAL OCCURRENCES.

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: A PORTION OF LOT 28-A, BLOCK 5, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES. (PROPOSED LOT 28-A-1)

SITE AREA: 1.5948 AC.

FLOOD ZONE: NO PORTION OF THIS SITE IS WITHIN THE 100-YEAR FLOODPLAIN AS DESIGNATED ON FEMA FIRM MAP #35001C0129G DATED SEPTEMBER 26, 2008.

ENGINEER: GENNY DONART
ISAACSON & ARFMAN, P.A.
128 MONROE STREET N.E.
ALBUQUERQUE, NM 87108
PHONE: (505) 268-8828

SURVEYOR: SURV-TEK, INC.
9384 VALLEY VIEW DR. NW
ALBUQUERQUE, NM 87114
PHONE: (505) 897-3366
ATTN: RUSS HUGG

BENCHMARK: ACS MONUMENT "1-25-11"
ELEV = 5609.62 (NAVD 88)

EXISTING CONDITIONS: THIS SITE WAS PREVIOUSLY DEVELOPED AS THE PRAXAIR PLANT, AN INDUSTRIAL FACILITY. IT HAD XXX IMPERVIOUS AREA, AND DISCHARGED XXX CFS, WITH SOME DRAINING TOWARDS THE EXISTING PROPERTY TO THE WEST, AND THE REMAINDER DRAINING TO SAN DIEGO AVE TO THE SOUTH. THE SITE SLOPES AT APPROXIMATELY 3% SLOPE DOWNHILL TO THE WEST, WITH VERY LITTLE NORTH-SOUTH SLOPE.

AN EXISTING STORM DRAIN INLET IN THE EASTERLY PORTION OF SAN DIEGO AVE CAPTURES FLOWS, AND DIRECTS THEM TO THE NORTH LA CUEVA ARROYO ON THE SOUTH SIDE OF THE STREET.

PROPOSED CONDITIONS: A NEW XXX SF COMMERCIAL BUILDING IS PROPOSED FOR THE SITE. THE ENTIRE SITE WILL GENERATE 7.6 CFS. 1.3 CFS WILL FREE DISCHARGE TO SAN DIEGO AVE, WITH 6.0 CFS CAPTURED IN STORM DRAINS, AND DIRECTED TO THE EXISTING INLET IN SAN DIEGO AVE.

A BERM ALONG THE EASTERN EDGE OF THE PROPERTY WILL RE-DIRECT OFFSITE FLOWS.

KEYED NOTES

- STORM INLET WITH SUMP PUMP FOR LOADING DOCK AREA.
- STORM DRAIN FORCE MAIN.
- NYLOPLAST DRAIN BASIN
- NYLOPLAST DRAIN BASIN WITH FORCE MAIN CONNECTION
- ADS N-12 WATERTIGHT HDPE @ 0.5% SLOPE.
- 2' WIDE CONCRETE VALLEY CUTTER @ 0.5% SLOPE.
- 1' SIDEWALK CULVERT
- RETAINING WALL INTEGRAL TO BUILDING.
- RETAINING WALL SURROUNDING GARBAGE ENCLOSURE
- BERM ON ADJACENT PROPERTY TO REDIRECT OFFSITE FLOWS

LEGEND

	EXISTING SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	FLOW ARROW
	FINISH FLOOR ELEVATION
	AREA DRAIN
	INVERT ELEVATION
	DRAIN LINE WITH SIZE

CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

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CONSULTANTS

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-268-8828 Fax: 505-268-2632
1742 CG-101.dwg Jan 19, 2011

PROFESSIONAL SEAL

PRELIMINARY
NOT FOR CONSTRUCTION

INGERSOLL RAND TRANE
PROPOSED NEW BUILDING
5501 SAN DIEGO AVENUE, N.E.
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 09225
DRAWING FILE: INGERSOLL-RAND-SP5
DRAWN BY: SMF
CHECK BY: CAV
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2011
DATE: JANUARY 21, 2011

SHEET TITLE
PRELIMINARY GRADING & DRAINAGE PLAN

SHEET NUMBER
CG-101