



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 16, 2002

Chris Weiss, P.E.
C.L. Weiss Engineering, Inc.
P.O. Box 97
Sandia Park, New Mexico 87047

RE: SAN MATEO BUSINESS PARK LOT 30-A (B-18/D6)
(5201 Venice NE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 10/30/2000
ENGINEERS CERTIFICATION DATED 9/3/2002

Dear Mr. Weiss:

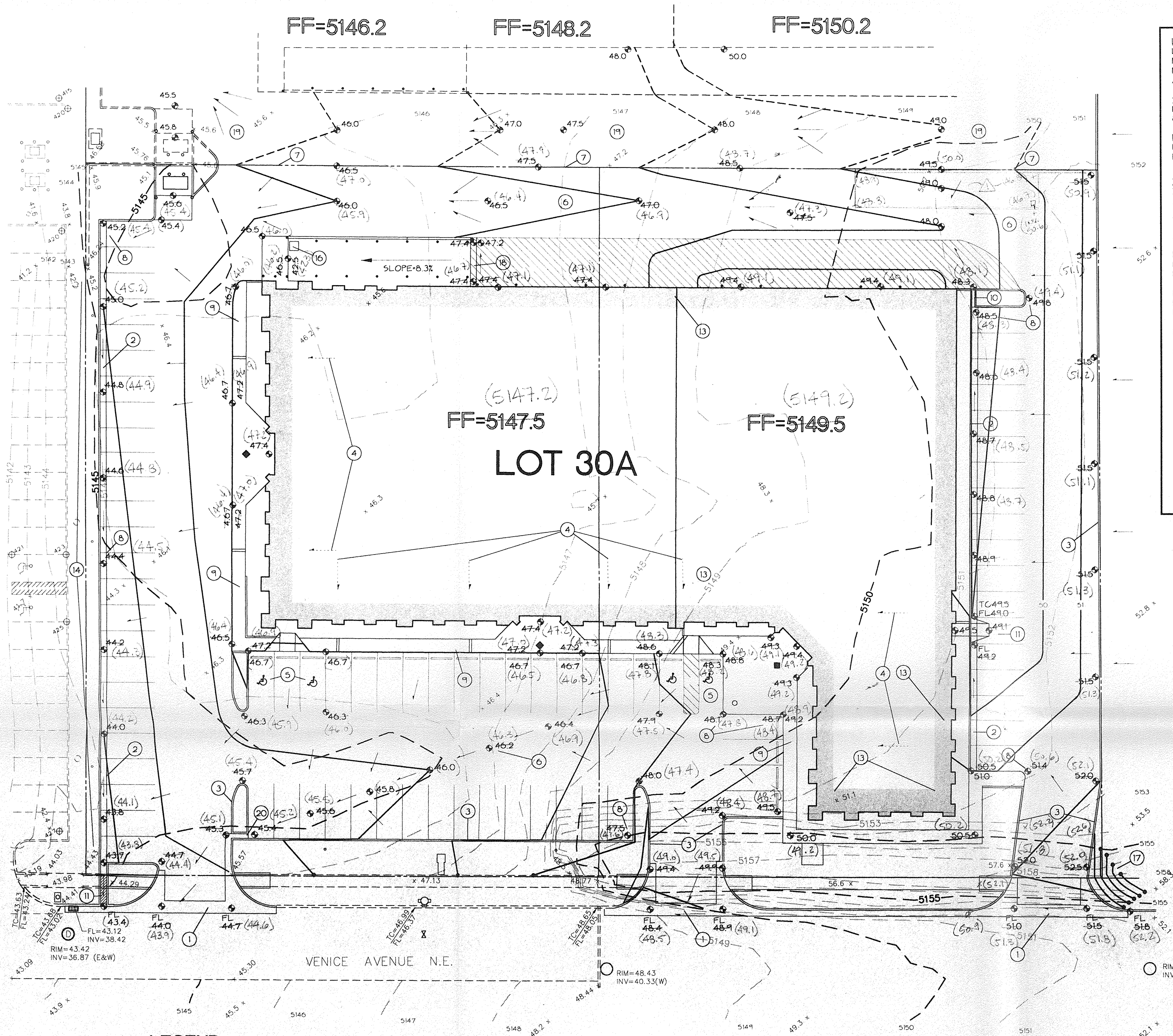
Based upon the information provided in your Engineers Certification submittal dated 9/6/2002, and based on the approved SO19 by the Storm Drainage Maintenance inspector, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

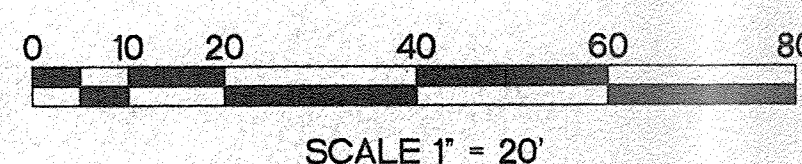
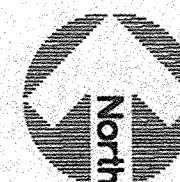
Teresa A. Martin
Hydrology Plan Checker
Development & Bldg. Services Division
BVM

C: Certificate of Occupancy Clerk, COA
drainage file
approval file



LEGEND

- SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED)
- PROPOSED PAVED DRIVE
- BUILDING (EXISTING, PROPOSED)
- PROPERTY LINE
- + 66.7 EXISTING SPOT ELEVATION
- 20 EXISTING CONTOUR
- 75.2 PROPOSED SPOT ELEVATION
- 30 PROPOSED CONTOUR
- SURFACE FLOW DIRECTION (EXISTING, PROPOSED, ROOF)
- LA LANDSCAPED AREA
- TGW TOP OF GRADE WALL (< 18" HIGH)
- TRW TOP OF RETAINING WALL (> 18" HIGH)
- TA TOP OF ASPHALT
- TC TOP OF CURB
- FL FLOW LINE
- FF FINISHED FLOOR
- R/W RIGHT OF WAY
- PL PROPERTY LINE
- PP POWER POLE
- ▲ ENTRY / EXIT LOCATION
- ▲ (75.2) AS-BUILT ELEVATION



LEGAL:
LOT NUMBERED 30A IN BLOCK
NUMBERED 3 OF TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES,
ALBUQUERQUE, NEW MEXICO.

SURVEYOR:
RUSS P. HUGG - SURV-TEK, INC.
897-3366

B.M.
BENCHMARK: VERTICAL DATUM IS
BASED UPON THE ALBUQUERQUE
CONTROL SURVEY MONUMENT "9-B17"
AND HAVING AN ELEVATION OF
5134.29 FEET (SLD 1929) LOCATED AT
THE STORM DRAIN INLET SOUTH OF
THE SOUTHWEST CORNER OF LOT
32A.

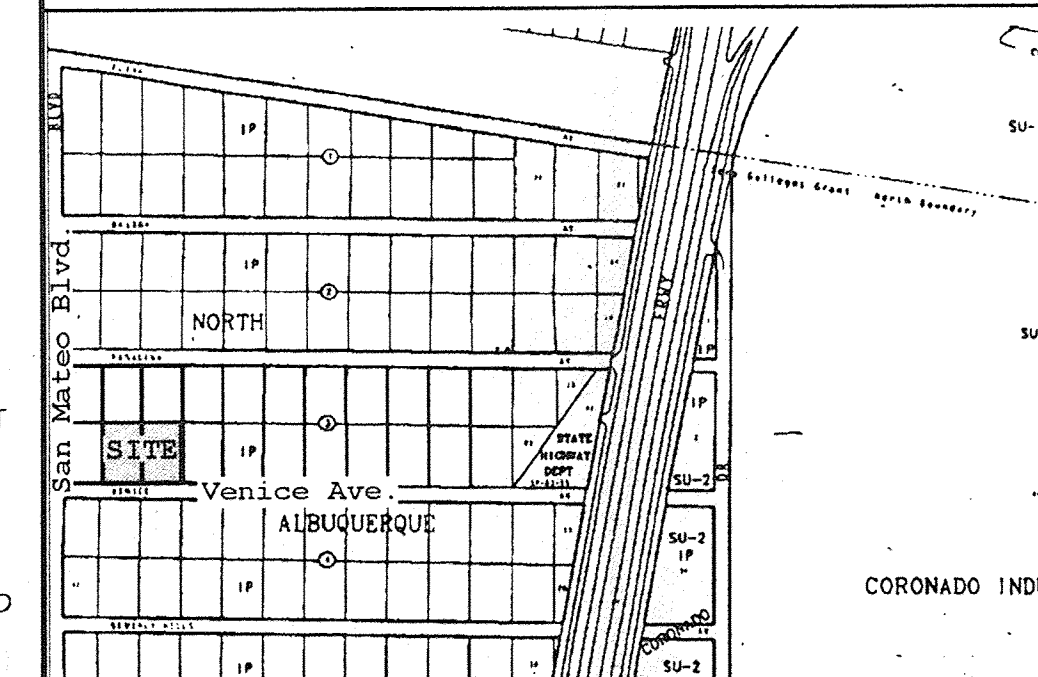
OFF-SITE DRAINAGE:
OFF-SITE FLOWS WILL CONTINUE TO
PASS ONTO THE PROPERTY. SEE
DRAINAGE REPORT AND GRADING
PLAN FOR ADDITIONAL INFORMATION.

FLOOD HAZARD:
PER THE BERNALILLO COUNTY FIRM
MAP #129 REVISED WITH LOMR DATED
SEPTEMBER 11, 1998, THE SITE IS NOT
LOCATED WITHIN A FLOOD ZONE.

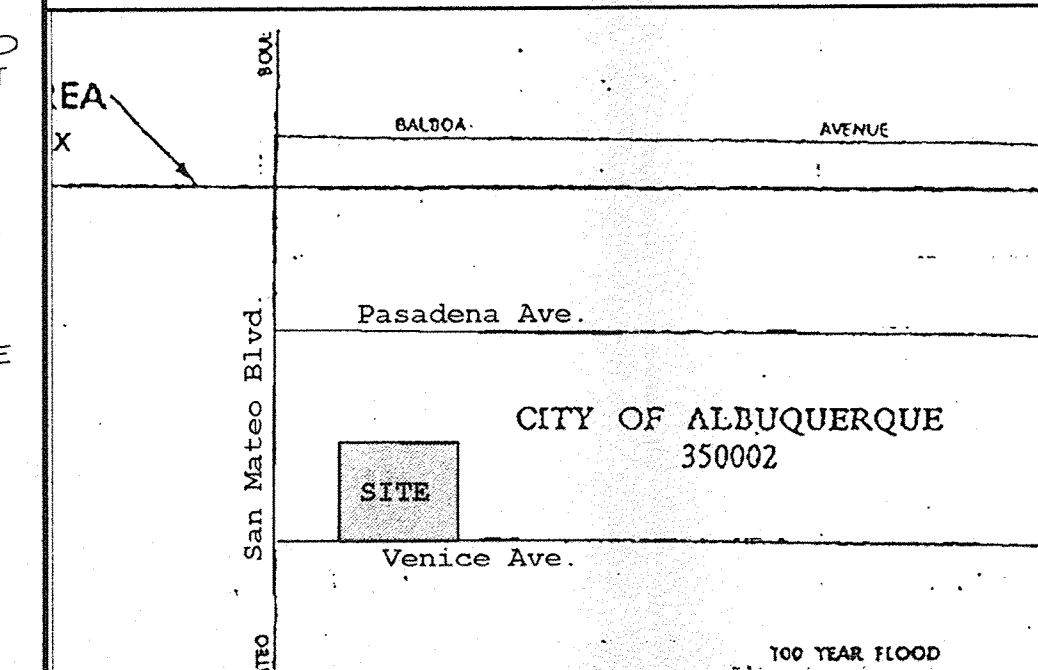
EROSION CONTROL:
THE CONTRACTOR IS RESPONSIBLE
FOR RETAINING ON-SITE ALL
SEDIMENT GENERATED DURING
CONSTRUCTION BY MEANS OF
TEMPORARY EARTH BERMS OR SILT
FENCES AT THE LOW POINTS ON THE
WEST AND NORTH PROPERTY LINES.

- 5151 -

VICINITY MAP #B-18



FIRM MAP #129 (LOMR - 9-11-1998)



KEYNOTES

1. CONSTRUCT SITE ENTRANCES / VALLEY GUTTERS / WATERBLOCKS AT ELEVATIONS SHOWN. PROVIDE HANDICAP ACCESS RAMP PER C.O.A. STANDARDS. SEE ARCHITECTURAL FOR DEMOLITION INFORMATION FOR THE REMOVAL OF EXISTING SITE ENTRANCE AT SOUTHWEST CORNER OF PROPERTY. SEE SEPARATE CONSTRUCTION DOCUMENTS (C.O.A. PROJECT 637181) FOR ADDITIONAL INFORMATION FOR VENICE AVE.
2. CONSTRUCT MEDIAN CONCRETE CURB AND GUTTER AT ALL CURB LOCATIONS WHICH CARRY CONCENTRATED FLOWS AND AS NOTED.
3. CONSTRUCT CONCRETE HEADER CURB AT ALL CURB LOCATIONS UNLESS NOTED.
4. ROOF FLOWS TO DRAIN IN DIRECTIONS INDICATED. ALL ROOF FLOWS TO BE RELEASED USING PIPES THROUGH WALKS DIRECTLY INTO ADJACENT ASPHALT PARKING AREAS. SEE ARCHITECTURAL FOR SPECIFIC ROOF DRAIN LOCATIONS.
5. HANDICAP PARKING AREA. SEE ARCHITECTURAL FOR ACCESSIBLE RAMP LOCATIONS AND ADDITIONAL INFORMATION.
6. PROVIDE SHALLOW SLOPE WITHIN ASPHALT PAVING TO DIRECT FLOWS AS SHOWN. MINIMUM SLOPE = 0.0100'.
7. HIGH POINT IN PAVEMENT THIS AREA AS SHOWN. CONTRACTOR TO ENSURE THAT FLOWS DO NOT CROSS PROPERTY LINE.
8. GENERAL NOTE: ALL SPOT ELEVATIONS WITHIN PAVEMENT AREA REPRESENT TOP OF PAVING UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS.
9. CONSTRUCT SIDEWALK THIS AREA. SEE ARCHITECTURAL FOR WIDTH, MATERIAL AND ADDITIONAL INFORMATION.
10. CONSTRUCT 1' WIDE 'U' SHAPED CONCRETE CHANNEL THIS AREA (SLOPE = 0.0100' / 100') TO ALLOW FLOWS TO PASS THROUGH PARKING ISLAND.
11. CONSTRUCT 2' WIDE CONCRETE SIDEWALK CULVERT WITH STEEL PLATE TOP PER C.O.A. STD. DWG. 2236 TO ALLOW FLOWS TO PASS TO VENICE AVE. NOTE: CONTRACTOR TO OBTAIN CONSTRUCTION PERMIT FOR CONSTRUCTION WITHIN C.O.A. RIGHT-OF-WAY. CONTRACTOR TO OBTAIN C.O.A. INSPECTION APPROVAL SIGNATURE ON A BLUELINE OF THE APPROVED DRAINAGE / GRADING PLAN PRIOR TO RELEASE OF CERTIFICATE OF OCCUPANCY.
12. NOT USED
13. CONSTRUCT RETAINING / EXTENDED STEMWALL AS REQUIRED TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
14. CONSTRUCT RETAINING WALL OR PROVIDE TRANSITION SLOPE (5:1 MAX. WITH EROSION PROTECTION) ALONG PROPERTY LINE AS REQUIRED TO ACHIEVE GRADE DIFFERENCE SHOWN.
15. INSTALL ACCESSIBLE RAMP THIS AREA AT GRADES SHOWN.
16. INSTALL SUMP INLET / SUMP PUMP TO DRAIN DOCK AREA. DISCHARGE TO ADJACENT PAVEMENT.
17. TRANSITION BERM ADJACENT TO VENICE BLVD. AT 2:1 SIDE SLOPE TO DAYLIGHT. INSTALL 6" JUTE FABRIC AND RESEED WITH NATIVE VEGETATION PER C.O.A. STANDARDS. IF WRITTEN APPROVAL TO GRADE ON ADJACENT PROPERTY CANNOT BE OBTAINED, CONSTRUCT TEMPORARY ON-SITE RETAINING WALL AS NECESSARY TO ACCOMMODATE GRADE DIFFERENCES SHOWN.
18. CONSTRUCT 2' HIGH CONCRETE WATER BLOCK AT DOCK ENTRANCE TO DIVERT FLOWS NORTH.
19. THIS SITE CURRENTLY UNDER CONSTRUCTION - SAME OWNER
20. CONSTRUCT 1' WIDE 'U' SHAPED CONCRETE CHANNEL THROUGH LANDSCAPED ISLANDS AT ELEVATIONS SHOWN TO ALLOW FLOWS TO PASS.

CALCULATIONS: San Mateo Business Park - Lot 30A - October 27, 2000				
Calculations are based on the Drainage Design Criteria for City of Albuquerque Section 22.3, DDM, Vol. 2, dated Jan. 1992.				
AREA OF SITE:		77208	SF	= 17722 Ac
ON SITE				
HISTORIC FLOWS:		DEVELOPED FLOWS:		EXCESS PRECIPITATION:
On-Site Historic Land Condition	On-Site Developed Land Condition	Prop. Zone	5	
Area a =	0 SF	Area a =	0 SF	Ea = 0.66
Area b =	77208 SF	Area b =	15442 SF	Eb = 0.92
Area c =	0 SF	Area c =	0 SF	Ec = 1.46
Area d =	0 SF	Area d =	61766 SF	Ed = 1.29
Total Area =	77208 SF	Total Area =	77208 SF	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)				
Weighted E =		E _{area} = E _a + E _b + E _c + E _d		
Historic E =		Developed E =		
On-Site E _{area} of Forest: 7.260" = E _a + E _b		On-Site E _{area} of Forest: 7.260" = E _a + E _b		
Historic E _{area} of Forest: 7.260" = E _a + E _b		On-Site E _{area} of Forest: 7.260" = E _a + E _b		
On-Site Peak Discharge Rate: Q _p = Q _p (area)(C _p) + Q _p (area)(C _p)				
For Precipitation Zone 3				
Q _p = 1.87		Q _p = 3.45		
Q _{sb} = 2.60		Q _{sb} = 5.02		
Historic Q _p = 4.6 CFS		Developed Q _p = 8.8 CFS		
The west half of the property (previously 1.31A) was analyzed by C.L. Weiss Engineering, Inc. as part of the original San Mateo Business Park submittal (see C.O.A. Hydrology project 61806). Based on this report, total developed flows from this basin included 1.031A of 4.0 cfs + additional off-site flows (basin 3A) of 3.2 cfs for a total flow of 7.2 cfs.				
This submittal combines Lot 30 (previously calculated as part of off-site basin 3A) and Lot 31A to create Lot 30A with developed peak 100-year discharge of 8.8 cfs (see above). The remaining portion of the original off-site basin will generate 1.8 cfs which will continue to pass through this property until the property to the east is developed.				
Therefore, the total discharge rate from Lot 30A to Venice Blvd is projected to be 8.0 cfs (on-site) + 1.8 cfs (off-site) = 9.8 cfs (on-site) + 1.8 cfs (on-site) = 11.6 cfs (on-site) (available grade capacity per original report) = OKAY				

SAN MATEO BUSINESS PARK - PHASE II AREAS OF MODIFICATION BETWEEN APPROVED DRAINAGE GRADING PLAN AND ACTUAL AS-BUILT

Do not with sump pump added this area. OKAY

Survey info. provided by ALS, Inc. August 2002

I, Christopher L. Weiss, P.E. hereby certify that the as-built information shown, is in substantial compliance with the approved drainage / grading plan with exceptions noted above.

CHRISTOPHER L. WEISS
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
#6653

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING EXCAVATION PERMIT FOR SIDEWALK CULVERT/DRAIN.
8. PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY (C.O.).

INSPECTION APPROVAL:

CONSTRUCTION SECTION

DATE

Revisions

THIS DESIGN, CALCULATIONS, AND CONCEPTS ARE OWNED BY AND REMAIN THE PROPERTY OF C.L. WEISS ENGINEERING, INC. AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE WRITTEN PERMISSION OF CHRISTOPHER L. WEISS, P.E. ©

SAN MATEO BUSINESS PARK - PHASE II

Mechenbier Construction

Scale: 1" = 20' Drawn By: DJB Checked By: CLW Job Number: Date: OCTOBER 2000

Drainage and
Grading Plan

SEP 06 2002

HYDROLOGY SECTION

C-1

SHEET 1 OF 1