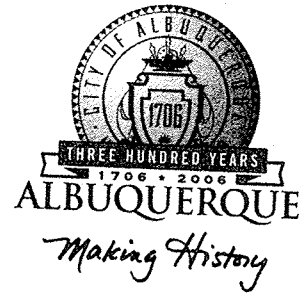


CITY OF ALBUQUERQUE



August 18, 2004

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Venice Business Center Lot 7A1B, Grading and Drainage Plan
Engineer's Stamp dated 7-23-04 (B18-D7B)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 7-26-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

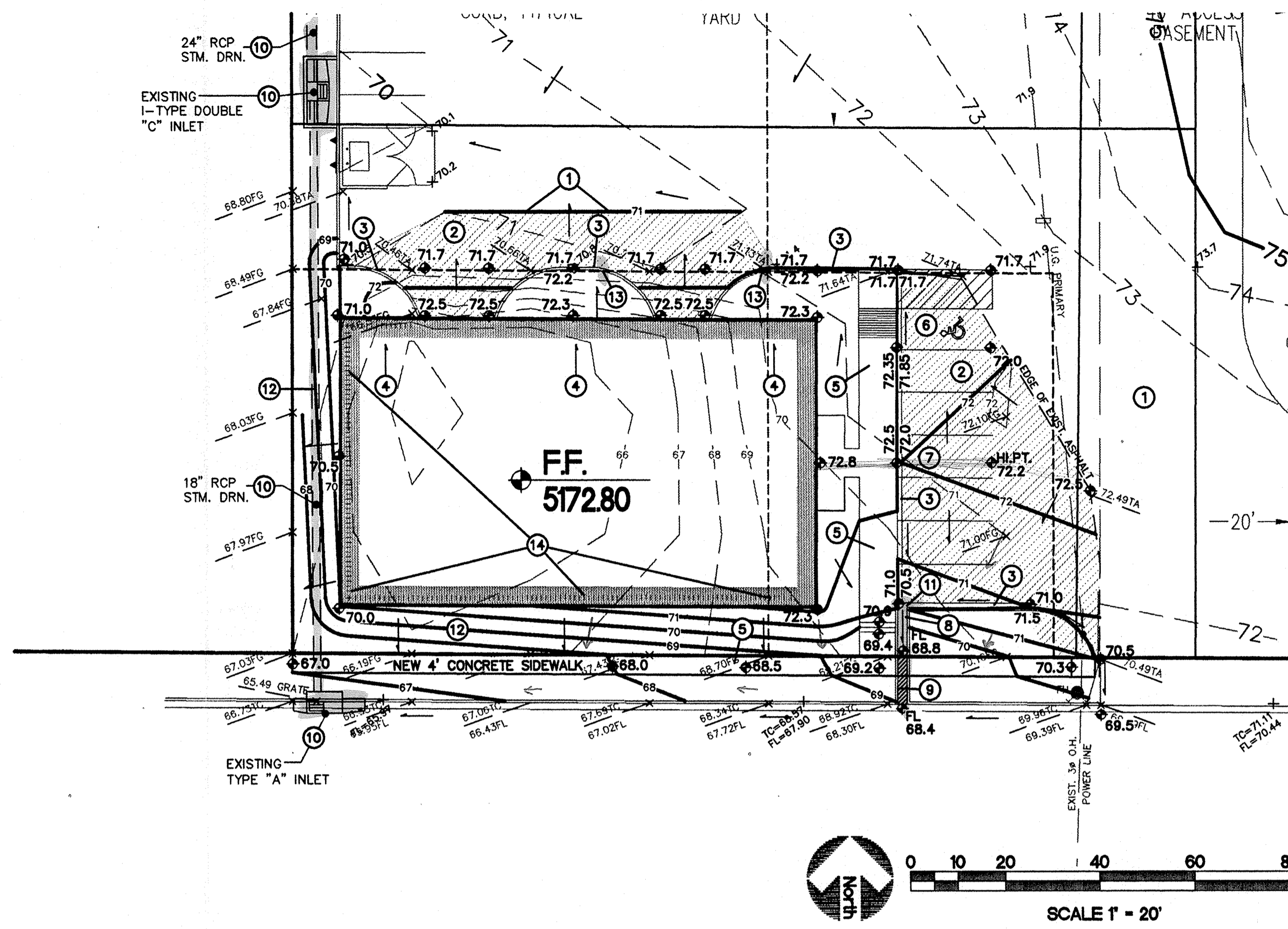
C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



SCOPE:

THE PROPOSED IMPROVEMENTS INCLUDE AN APPROXIMATELY 6,000 SF (APPROX. FOOTPRINT) COMMERCIAL BUILDING WITH ASSOCIATED CONCRETE WALKS, ASPHALT PAVED PARKING AREAS, LANDSCAPED AREAS, GENERAL SITE WORK AND SITE REGRADING.

THE PRESENT SITE IS BEING DEVELOPED AS A PART OF AN OVERALL COMMERCIAL DEVELOPMENT. THE PROPERTY SLOPES TO THE WEST AT APPROXIMATELY 2.0 %. THE PROPERTY IS BOUNDED BY BEVERLY HILLS AVE. TO THE SOUTH, AND DEVELOPED COMMERCIAL PROPERTY TO THE EAST AND NORTH AND WEST.

THE INTENT OF THIS PLAN IS TO SHOW:

1. GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
2. THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
3. THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET CITY OF ALBUQUERQUE REQUIREMENTS FOR DRAINAGE MANAGEMENT.
4. THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTY TO INSURE AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.

DRAINAGE PLAN CONCEPT:

THE STORM WATERS GENERATED BY THE PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE PREVIOUSLY APPROVED HYDROLOGY STUDY PREPARED FOR THE VENICE BUSINESS CENTER (B18/D7) BY ISAACSON & ARFMAN, P.A.

PER THE APPROVED DRAINAGE AND GRADING PLAN, THE PROPOSED SITE IS LOCATED WITHIN DRAINAGE BASIN B-2. ALL DEVELOPED FLOW WILL DISCHARGE TO THE EXISTING STORM DRAIN SYSTEM LOCATED WITHIN BEVERLY HILLS AVE. AND ALONG THE PROPERTY LINE ON THE WEST SIDE OF THE SITE.

OFFSITE FLOWS: NO OFFSITE FLOW AFFECTS THIS PROPERTY.

GENERAL NOTES:

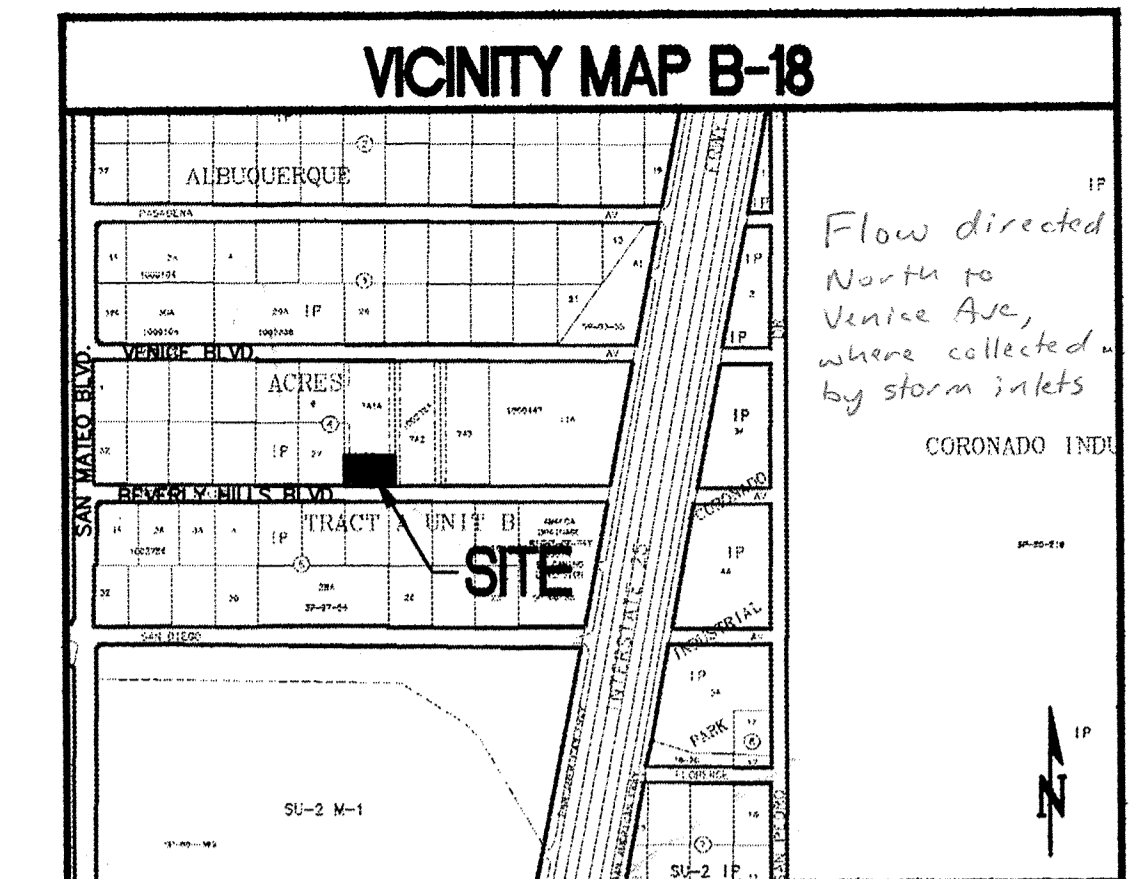
LEGAL: LOT 7-A-1-B, TRACT A, UNIT B, BLOCK 4, NORTH ALBUQUERQUE ACRES

B.M.: NMSHC BRASS CAP "I-25-11", ELEVATION = 5206.94 (M.S.L.D.)

FLOOD: THE SITE IS LOCATED IN ZONE 'X' (OUTSIDE OF THE 500 YR. FLOOD PLAIN BOUNDARY)

HAZARD: AS SHOWN ON FIRM PANEL 129 DATED SEPT. 20, 1996

EROSION: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AT THE LOW POINTS ON THE WEST PROPERTY LINE.

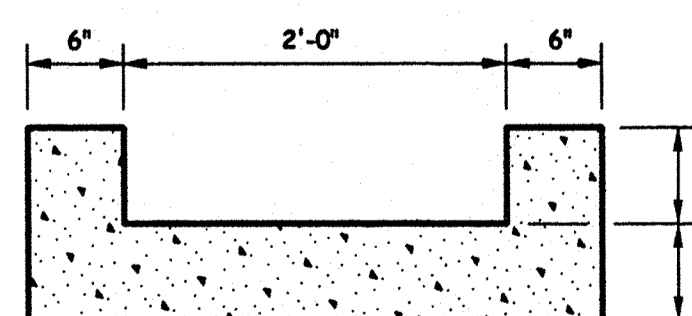


KEYED NOTES

1. EXISTING ASPHALT PAVING THIS AREA. PROVIDE SMOOTH RIDING TRANSITION. SAWCUT EXISTING PAVING TO PROVIDE CLEAN BONDING EDGE.
2. HATCHED AREA = PROPOSED ASPHALT PAVING. CONSTRUCT AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, PAVING SECTION, ETC. PAVING SLOPE VARIES WITH 1.0% MINIMUM AND 8.0% MAXIMUM.
3. CONSTRUCT MEDIAN CURB AND GUTTER PER COA STD. DWG. 24158.
4. ROOF FLOWS TO DRAIN IN DIRECTIONS INDICATED. ALL ROOF FLOWS TO BE RELEASED THROUGH FACE OF CURBS DIRECTLY INTO PAVED PARKING LOT. SEE ARCHITECTURAL FOR SPECIFIC ROOF DRAIN LOCATIONS. NO ROOF FLOW MAY DRAIN ONTO WEST OR SOUTH LANDSCAPED AREAS.
5. CONSTRUCT CONCRETE WALK THIS AREA. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
6. HANDICAP PARKING AREA TO BE CONSTRUCTED AT ELEVATIONS SHOWN (MAX. 2% SLOPE IN ANY DIRECTION).
7. HIGH POINT IN PAVEMENT THIS AREA.
8. CONSTRUCT 2' WIDE (BOTTOM WIDTH) X 6" DEEP 'U' SHAPED CONCRETE CHANNEL AT ELEVATIONS SHOWN. SEE DETAIL THIS SHEET.
9. CONSTRUCT 2' WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236 WITHIN THE R.O.W. MATCH EXISTING STREET FLOWLINE AT OUTLET. MIN. SLOPE = 2%.
10. EXISTING STORM DRAIN SYSTEM.
11. PROVIDE 2' WIDE OPENING IN CURB TO PASS FLOW TO 'U' SHAPED CONCRETE CHANNEL.
12. GRADED SIDE SLOPE THIS AREA APPROX 3:1. INSTALL CONTECH C-45 EROSION MAT AND GRAVEL OR RESEED PER MANUFACTURER'S RECOMMENDATIONS. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
13. PROVIDE TWO 3" DIA. PVC PIPES THROUGH CURB TO PASS MINOR FLOW TO PAVEMENT. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING TO PIPE FLOWLINE. NOTE: GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.
14. CONSTRUCT EXTENDED STEMWALL TO ACHIEVE GRADE DIFFERENCES SHOWN USING A MAXIMUM LANDSCAPE SLOPE OF 3:1.

LEGEND

- 5170 — EXISTING CONTOUR
- 71 — PROPOSED CONTOUR
- ◆ 72.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- F.F. = 5172.80 FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- TC=69.50 TOP OF CURB ELEVATION
- FL=68.83 FLOWLINE ELEVATION
- INV=72.5 INVERT ELEVATION



GENERAL NOTES

1. PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

'U' SHAPED CONC. CHANNEL

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING EXCAVATION PERMIT FOR SIDEWALK CULVERT/DRAIN.
8. PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY (C.O.).

INSPECTION APPROVAL: _____

CONSTRUCTION SECTION DATE

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-268-8828 Fax: 505-268-2632

1341GRD/bjb 07.23.04

VENICE BUSINESS CENTER
Lot 7A1B
Classic Shelters, Inc.

Scale: 1" = 20' Drawn By: BJB Checked By: FCA Job Number: 1346 Date: July 23, 2004

Drainage and Grading Plan
C-1 of 1

