



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

October 1, 2003

Kenneth R. Hovey, Registered Architect
P.O. Box 8506
Albuquerque, NM 87198-8506

Re: Certification Submittal for Final Building Certificate of Occupancy for
Venice Business Center Bldg #2, [B-18 / D7B]
5620 Venice Ave NE
Architect's Stamp Dated 09/26/03

Dear Mr. Hovey:

The TCL / Letter of Certification submitted on September 30, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

September 26, 2003

Ken Hovey, Architect
3808 Simms Avenue SE
Albuquerque, NM 87108

Transportation Dept.
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Subject: 5620 Venice Avenue NE, Venice Business Center, Building No. 2

Gentlemen:

I have inspected the subject project located at 5620 Venice Avenue NE and I find the construction to be in substantial compliance with the approved Site Development Plan and the Site Plan approved for building permit. I have redlined the attached site plan to show any departures in the construction from the Site Plan approved for building permit.

Sincerely,



Ken Hovey

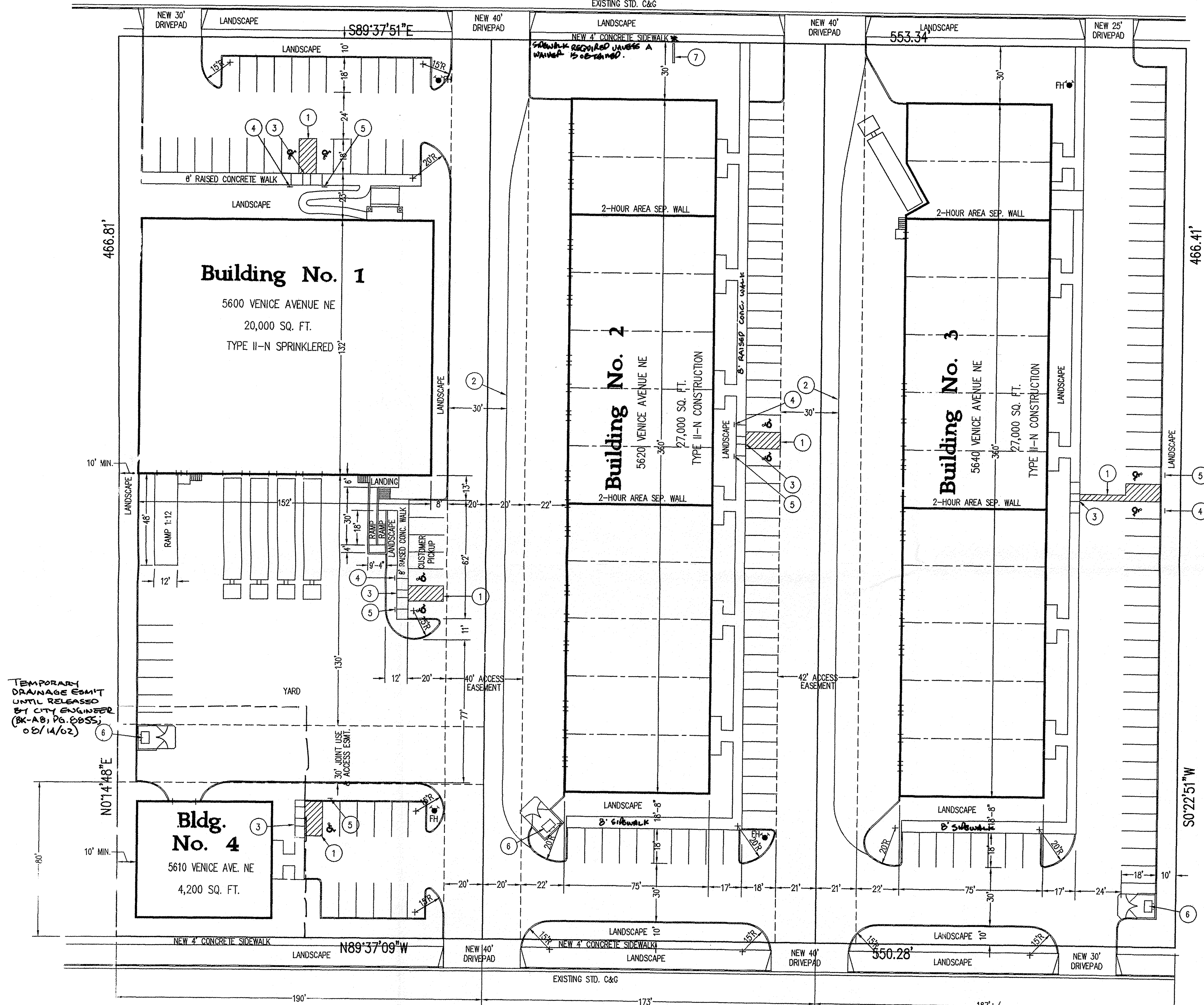


9-26-03

Venice Avenue

60' R.O.W.

EXISTING STD. C&G

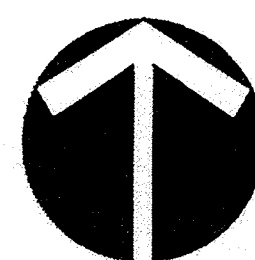


TEMPORARY DRAINAGE ESMT. UNTIL RELEASED BY CITY ENGINEER (BK-AB), PG. 0055, 08/14/02

Beverly Hills Avenue

60' R.O.W.

North



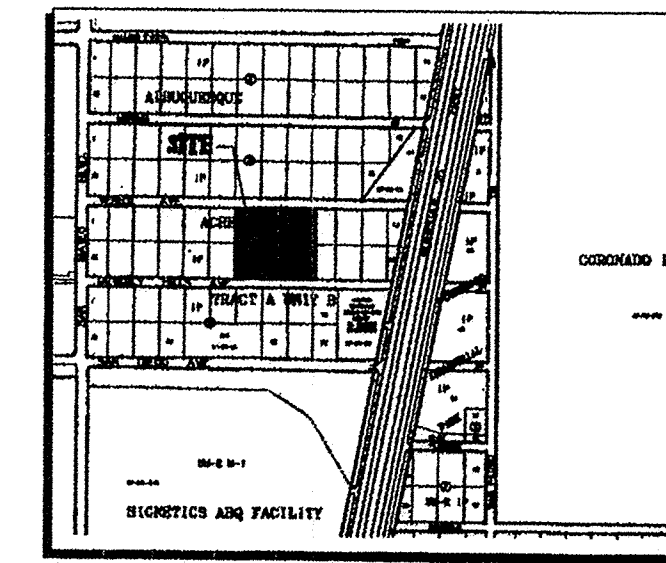
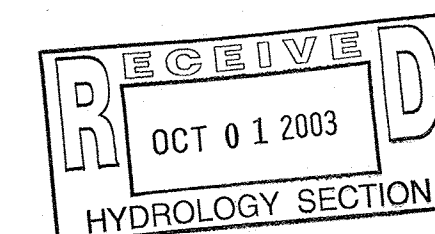
Site Plan

Scale: 1"=30'

FOR BUILDING PERMIT & SUBDIVISION

Keyed Notes:

- 1 4" WHITE STRIPPING AT 2' O.C.
- 2 4" WHITE STRIPE.
- 3 H.C. RAMP. 1:12 MAX. SLOPE.
- 4 POST MTD. HC PARKING SIGN AT 48" ABOVE FINISH GRADE.
- 5 POST MTD. VAN ACCESSIBLE HC PARKING SIGN AT 96" ABOVE GRADE.
- 6 REFUSE ENCLOSURE WITH 6 CU. YD. DUMPSTER.
- 7 MONUMENT SIGN.
- 8 STUCCO, COLOR: BUCKSKIN.
- 9 STUCCO, COLOR: SANDALWOOD.
- 10 APPLIED INDIVIDUAL PLASTIC LETTERS.



Vicinity Map

B-18

Site Data

LEGAL DESCRIPTION: LOT 7-A
BLOCK 4
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
ALBUQUERQUE, NM

CURRENT ZONING: IP

ZONE ATLAS PAGE: B-18-Z

GROUND LEVEL BUILDING AREA:

Building No. 1: 20,000 SQ. FT.
Building No. 2: 27,000 SQ. FT.
Building No. 3: 27,000 SQ. FT.
Building No. 4: 4,200 SQ. FT.

PARKING REQUIRED:

OFFICE: 13,684/200=65
WAREHOUSE: 63,524/2,000=32

REQUIRED PARKING (TOTAL): 97 SPACES

PARKING PROVIDED: 155 SPACES

LANDFILL BOUNDARY DISCLOSURE STATEMENT:

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS") SHALL CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

Project Number: 1002324

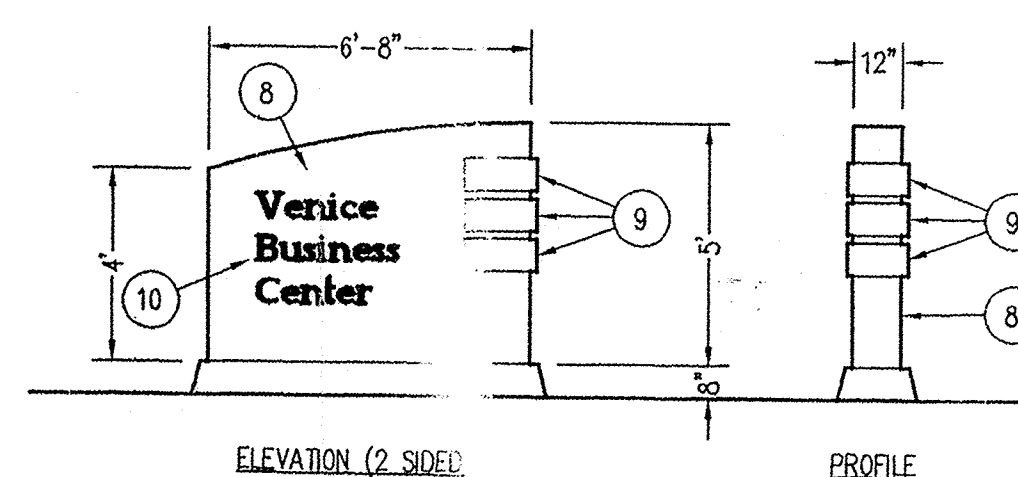
Application Number: 02DRB-01741

This Plan is consistent with the specific Site Development Plan approved by the Development Review Board (DRB) on November 13, 2002 and deferred to December 11th, 2002.

Site Development Plan

Michael Holton Dec. 10, 2002
Environmental Health Department
Joseph J. Senor 12/10/02
Fire Marshal
Michael Holton 12-10-02
Solid Waste Department
Rachel + Dave 12-11-02
Traffic Engineering, Transportation Division
Roger + Dean 12/11/02
Utilities Department
Christina Sandoval 12/11/02
Parks and Recreation
Budd J. Bih 12/11/02
City Engineer

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified in the Development Process Manual.
Sharon Matson 12/10/02
City Planner, Planning Department



Monument Sign

Scale: 1/4"=1'-0"



Venice Business Center
VENICE AVENUE NE, ALBUQUERQUE, NEW MEXICO
DEVELOPED BY MOCHO, CHANEY, OLSON & MOCHO, LLP * (505) 881-1762

KEN HOVEY, ARCHITECT
603 S. 3083 • FAX 505/254-8091 • 3808 SIMS AVE SE • ALBUQUERQUE, NM • 87103

JOB NO.	006
DATE:	31 OCTOBER 2002
REVISIONS	
6 DECEMBER 2002	