

# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 2, 2000

Chris Weiss, P.E.  
C. L. Weiss Engineering Inc.  
P.O. Box 97  
Sandia Peak, NM 87047

RE: GRADING & DRAINAGE PLAN FOR SAN MATEO BUSINESS PARK - PHASE II (B-18/ D008) ENGINEER'S STAMP DATED OCTOBER 30, 2000, SUBMITTED FOR BUILDING PERMIT AND SO 19 APPROVALS

Dear Mr. Weiss,

Based upon the information provided in your October 31, 2000, submittal, the project, referred to above, is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

In addition, the submittal is approved for an SO 19 permit, which is required for construction within the city right-of-way.

Prior to release of the Certificate of Occupancy, an Engineer's Certification of the grading and drainage plan, per the DPM checklist, and a copy of the grading and drainage plan, with approval sign-off by the City's field inspector for the SO 19, will be required.

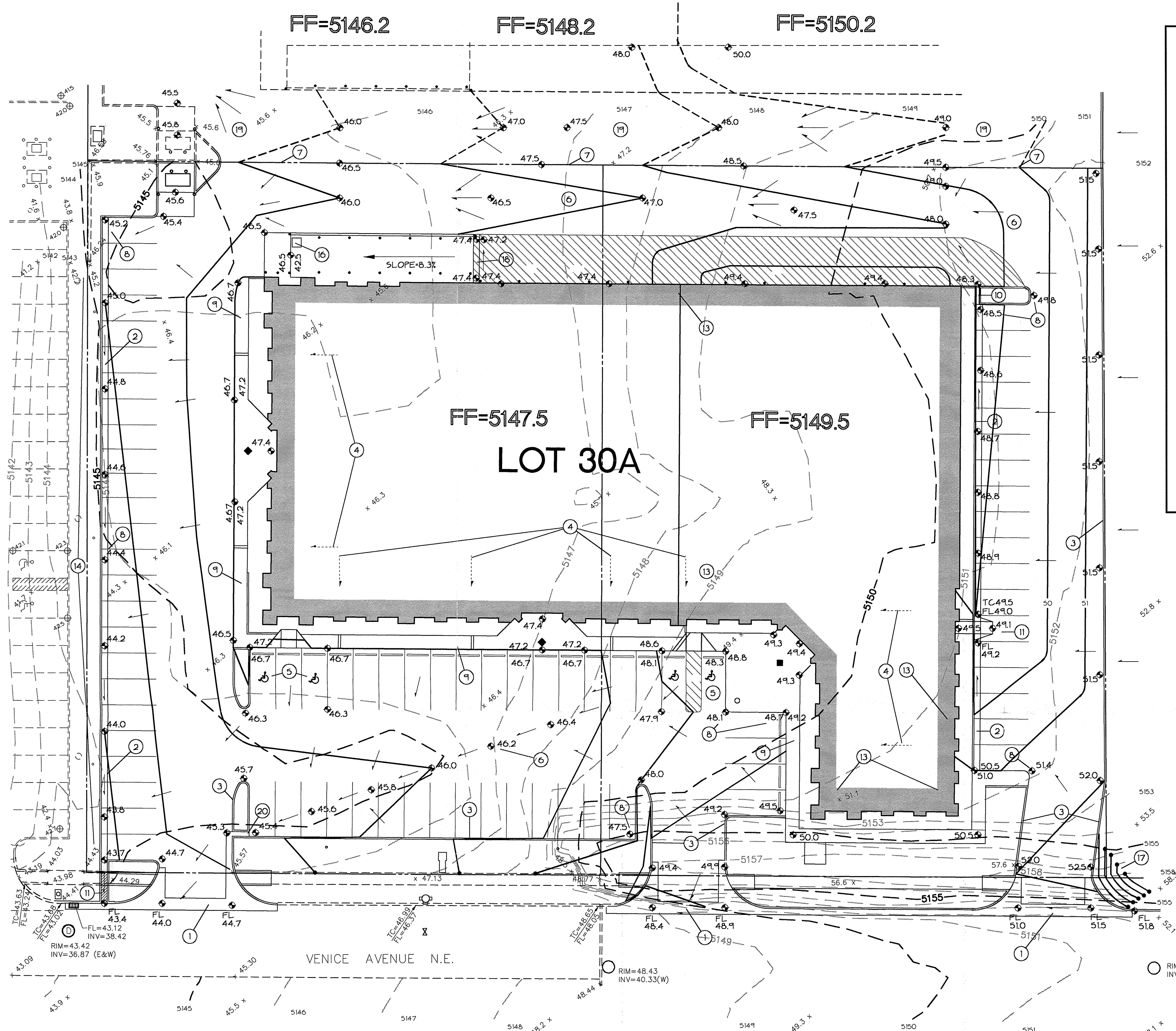
If you have any questions, please call me at 924-3988.

Sincerely,

*Stuart Reeder, P.E.*

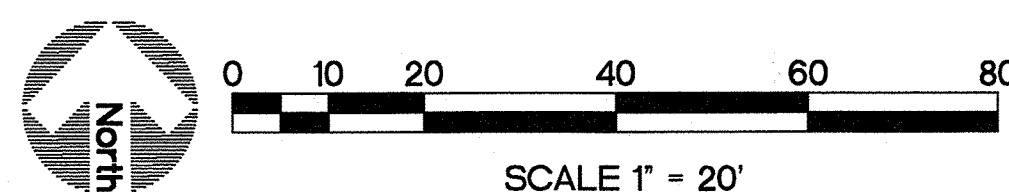
Stuart Reeder, P.E.  
Hydrology Division

xc: Pam Lujan, Permits w/attachment  
Whitney Reiersen  
File



# LEGEND

- SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED)
- PROPOSED PAVED DRIVE
- BUILDING (EXISTING, PROPOSED)
- PROPERTY LINE
- + 66.7 EXISTING SPOT ELEVATION
- + 75.2 PROPOSED SPOT ELEVATION
- 30 PROPOSED CONTOUR
- SURFACE FLOW DIRECTION (EXISTING, PROPOSED, ROOF)
- LANDSCAPED AREA
- LA TOP OF GRADE WALL ( < 18" HIGH)
- TRW TOP OF RETAINING WALL ( > 18" HIGH)
- TA TOP OF ASPHALT
- TC TOP OF CURB
- FL FLOW LINE
- FF FINISHED FLOOR
- R/W RIGHT OF WAY
- PL PROPERTY LINE
- PP POWER POLE
- ▲ ENTRY / EXIT LOCATION



LEGAL:  
LOT NUMBERED 30A1 IN BLOCK  
NUMBERED 3 OF TRACT A, UNIT B,  
NORTH ALBUQUERQUE ACRES,  
ALBUQUERQUE, NEW MEXICO.

SURVEYOR:  
RUSSELL HUGG - SURV-TEK, INC.  
8-17-3366

B.M.:  
BENCHMARK: VERTICAL DATUM IS  
BASED UPON THE ALBUQUERQUE  
CONTROL SURVEY MONUMENT "1-B17"  
AND HAVING AN ELEVATION OF  
5134.29 FEET (SLD 1929) LOCATED AT  
THE STORM DRAIN INLET SOUTH OF  
THE SOUTHWEST CORNER OF LOT  
32A.

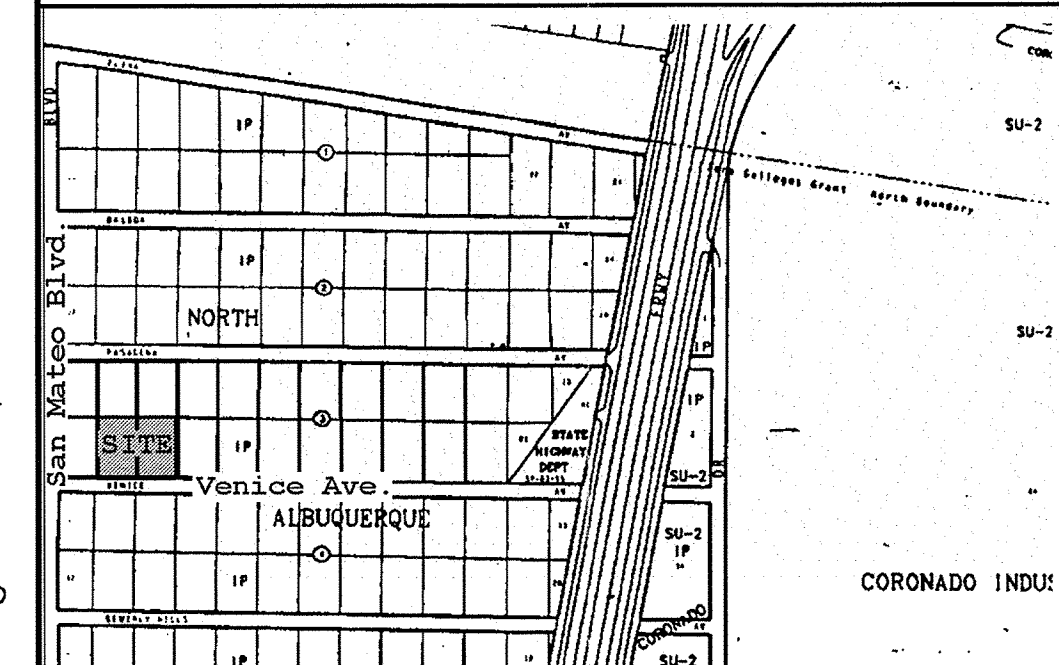
OFF-SITE DRAINAGE:  
OFF-SITE FLOWS WILL CONTINUE TO  
PASS ONTO THE PROPERTY. SEE  
DRAINAGE REPORT AND GRADING  
PLAN FOR ADDITIONAL INFORMATION.

FLOOD HAZARD:  
PER THE BERNALILLO COUNTY FIRM  
MAP #129 REVISED WITH LOMR DATED  
SEPTEMBER 11, 1998, THE SITE IS NOT  
LOCATED WITHIN A FLOOD ZONE.

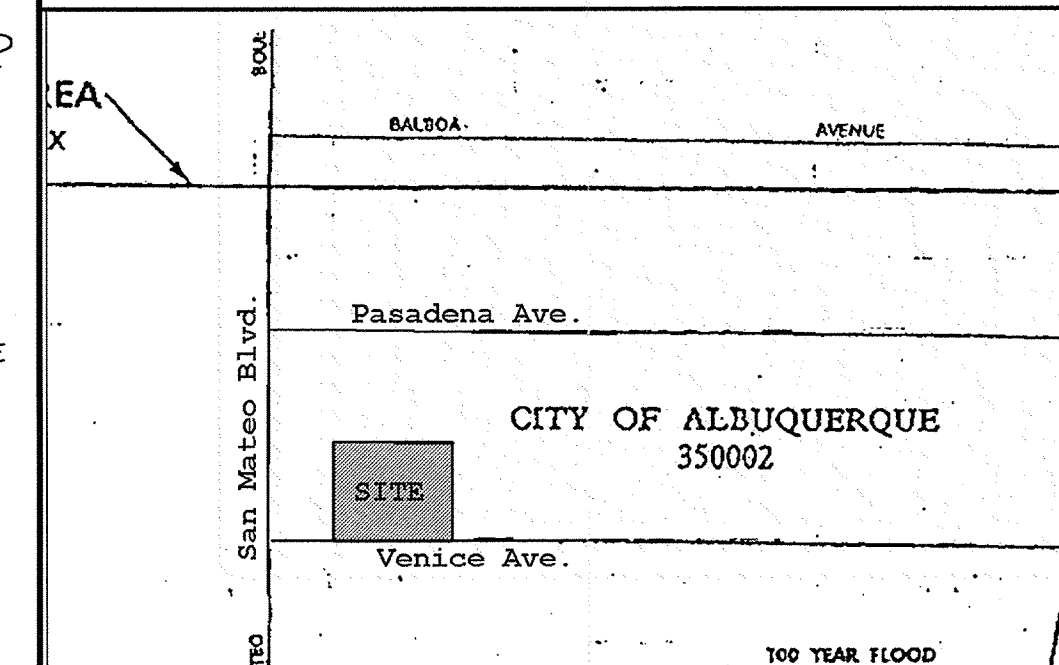
EROSION CONTROL:  
THE CONTRACTOR IS RESPONSIBLE  
FOR RETAINING ON-SITE ALL  
SEDIMENT GENERATED DURING  
CONSTRUCTION BY MEANS OF  
TEMPORARY EARTH BERMS OR SILT  
FENCES AT THE LOW POINTS ON THE  
WEST AND NORTH PROPERTY LINES.

— 5151 —

## VICINITY MAP #B-18



## FIRM MAP #129 (LOMR - 9-11-1998)



## KEYNOTES

1. CONSTRUCT SITE ENTRANCES / VALLEY GUTTERS / WATERBLOCKS AT ELEVATIONS SHOWN. PROVIDE HANDICAP ACCESS RAMP PER C.O.A. STANDARDS. SEE ARCHITECTURAL FOR DEMOLITION INFORMATION FOR THE REMOVAL OF THE EXISTING SITE ENTRANCE AT SOUTHWEST CORNER OF PROPERTY. SEE SEPARATE CONSTRUCTION DOCUMENTS (C.O.A. PROJECT 637181) FOR ADDITIONAL INFORMATION FOR VENICE AVE.
2. CONSTRUCT MEDIAN CONCRETE CURB AND GUTTER AT ALL CURB LOCATIONS WHICH CARRY CONCENTRATED FLOWS AND AS NOTED.
3. CONSTRUCT CONCRETE HEADER CURB AT ALL CURB LOCATIONS UNLESS NOTED.
4. ROOF FLOWS TO DRAIN IN DIRECTIONS INDICATED. ALL ROOF FLOWS TO BE RELEASED USING PIPES THROUGH WALKS DIRECTLY INTO ADJACENT ASPHALT PARKING AREAS. SEE ARCHITECTURAL FOR SPECIFIC ROOF DRAIN LOCATIONS.
5. HANDICAP PARKING AREA. SEE ARCHITECTURAL FOR ACCESSIBLE RAMP LOCATIONS AND ADDITIONAL INFORMATION.
6. PROVIDE SHALLOW SWALE WITHIN ASPHALT PAVING TO DIRECT FLOWS AS SHOWN. MINIMUM SLOPE = 0.0100'.
7. HIGH POINT IN PAVEMENT THIS AREA AS SHOWN. CONTRACTOR TO ENSURE THAT FLOWS DO NOT CROSS PROPERTY LINE.
8. GENERAL NOTE: ALL SPOT ELEVATIONS WITHIN PAVEMENT AREA REPRESENT TOP OF PAVING UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS.
9. CONSTRUCT SIDEWALK THIS AREA. SEE ARCHITECTURAL FOR WIDTH, MATERIAL AND ADDITIONAL INFORMATION.
10. CONSTRUCT 1' WIDE U SHAPED CONCRETE CHANNEL THIS AREA (SLOPE = 0.0100') TO ALLOW FLOWS TO PASS THROUGH PARKING ISLAND.
11. CONSTRUCT 2' WIDE CONCRETE SIDEWALK CULVERT WITH STEEL PLATE TOP PER C.O.A. STD. DWG. 2236 TO ALLOW FLOWS TO PASS TO VENICE AVE. NOTE: CONTRACTOR TO OBTAIN CONSTRUCTION PERMIT FOR CONSTRUCTION WITHIN C.O.A. RIGHT-OF-WAY. CONTRACTOR TO OBTAIN C.O.A. INSPECTION APPROVAL SIGNATURE ON A BLUELINE OF THE APPROVED DRAINAGE / GRADING PLAN PRIOR TO RELEASE OF CERTIFICATE OF OCCUPANCY.
12. NOT USED
13. CONSTRUCT RETAINING / EXTENDED STEMWALL AS REQUIRED TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
14. CONSTRUCT RETAINING WALL OR PROVIDE TRANSITION SLOPE 15:1 MAX. WITH EROSION PROTECTION ALONG PROPERTY LINE AS REQUIRED TO ACHIEVE GRADE DIFFERENCE SHOWN.
15. INSTALL ACCESSIBLE RAMP THIS AREA AT GRADES SHOWN.
16. INSTALL SUMP INLET / SUMP PUMP TO DRAIN DOCK AREA. DISCHARGE TO ADJACENT PAVEMENT.
17. TRANSITION BERM ADJACENT TO VENICE BLVD. AT 2:1 SIDE SLOPE TO DAYLIGHT. INSTALL GEOTEXTILE FABRIC AND RESEED WITH NATIVE VEGETATION PER C.O.A. STANDARDS. IF WRITTEN APPROVAL TO GRADE ON ADJACENT PROPERTY CANNOT BE OBTAINED, CONSTRUCT TEMPORARY ON-SITE RETAINING WALL AS NECESSARY TO ACCOMMODATE GRADE DIFFERENCES SHOWN.
18. CONSTRUCT 2' HIGH CONCRETE WATER BLOCK AT DOCK ENTRANCE TO DIVERT FLOWS NORTH.
19. THIS SITE CURRENTLY UNDER CONSTRUCTION - SAME OWNER
20. CONSTRUCT 1' WIDE U SHAPED CONCRETE CHANNEL THROUGH LANDSCAPED ISLANDS AT ELEVATIONS SHOWN TO ALLOW FLOWS TO PASS.

CALCULATIONS: San Mateo Business Park, Lot 30A - October 27, 2000			
Calculations are based on the Drainage Design Criteria for City of Albuquerque Section 22.3, CDMA 11-1-2, dated Jan. 1993.			
ON SITE			
AREA OF SITE:	77,208 SF	=	1.7723 Ac.
HISTORIC FLOWS:			
On-Site Historic Land Condition		On-Site Developed Land Condition	
Area a =	0 SF	Area a =	0 SF
Area b =	77,208 SF	Area b =	1,5442 SF
Area c =	0 SF	Area c =	0 SF
Area d =	0 SF	Area d =	61,266 SF
Total Area =	77,208 SF	Total Area =	77,208 SF
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E =	EaAa + EbAb + EcAc + EdAd		
Historic E =	0.92 in.	Developed E =	2.07 in.
On-Site Volume of Runoff, V <sub>360</sub> =	E * A * 12		
Historic V <sub>360</sub> =	5919 CF	Developed V <sub>360</sub> =	13,321 CF
On-Site Peak Discharge Rate: Q <sub>p</sub> = Q <sub>pa</sub> + Q <sub>pb</sub> + Q <sub>pc</sub> + Q <sub>pd</sub> = 3.0 CFS			
For Precipitation Zone 3			
Q <sub>pa</sub> =	1.37	Q <sub>pc</sub> =	3.45
Q <sub>pb</sub> =	2.60	Q <sub>pd</sub> =	5.02
Historic Q <sub>p</sub> =	4.6 CFS	Developed Q <sub>p</sub> =	8.0 CFS
The west half of this property (presently Lot 31A) was analyzed by C.L. Weiss Engineering, Inc. as part of the original San Mateo Business Park preliminary (see C.O.A. Hydrology project B1506). Based on that report, total developed flows from this basin included Lot 31A, of 4.0 cfs + additional off-site flows (basin 3c) of 2.2 cfs for a total flow of 7.2 cfs.			
This submittal combines Lot 30 (previously calculated as part of off-site basin 3A) and Lot 31A to create Lot 30A with developed peak 100-year discharge of 8.0 cfs (see above). The remaining portion of the original off-site basin 3A will generate 1.8 cfs which will continue to pass through this property until the property to the east is developed.			
Therefore, the total discharge rate from Lot 30A to Venice Blvd. is projected to be 8.0 cfs (on-site) + 1.8 cfs (off-site) = 9.8 cfs < 12 cfs (existing available gate capacity per original report) = O.K.A.Y.			

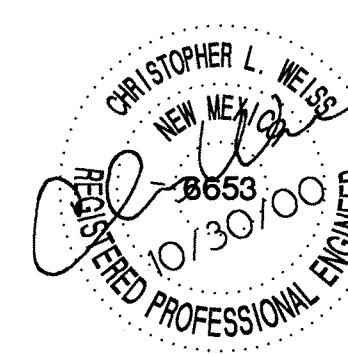
## DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING EXCAVATION PERMIT FOR SIDEWALK CULVERT/DRAIN.
8. PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY (C.O.).

INSPECTION APPROVAL:

CONSTRUCTION SECTION

DATE



## C.L. WEISS ENGINEERING, INC.

SANDIA PARK OFFICE  
POST OFFICE BOX 97  
SANDIA PARK, NM 87047  
(505) 261-1800

ALVARADO OFFICE  
1100 ALVARADO DR. NE  
ALBUQUERQUE, NM 87110  
(505) 266-3444

Revisions

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## SAN MATEO BUSINESS PARK - PHASE II

Mechenbier Construction

Scale: 1" = 20' Drawn By: DUB Checked By: CLW Job Number: Date: OCTOBER 2000

Drainage and  
Grading Plan

C-1  
SHEET 1 OF 1