

CITY OF ALBUQUERQUE



December 5, 2017

Mark Rohde, R.A.
RMKM Architecture
400 Gold Ave. SW
Albuquerque, NM 87102

Re: NM Mutual Home Office, 5201 Balloon Fiesta Parkway
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 10-10-16 (B18D021)
Certification dated 12-3-17

Dear Mr. Rohde,

Based upon the information provided in your submittal received 12-4-17,
Transportation Development cannot approve the release of Certificate of Occupancy
for the above referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must
be addressed:

- Complete Administrative Amendment.
- Complete City Work Order.
- Remove construction equipment and debris.
- Complete site work.
- Provide new Certification with re-submittal.

Once corrections are complete resubmit acceptable package along with a completed
Drainage Transportation Information Sheet to front counter personnel for log in and
evaluation by Transportation. For digital submittal please submit to
PLNDRS@cabq.gov. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

MA/RM via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: NM Mutual Home Office **Building Permit #:** _____ **Hydrology File #:** B18D021

DRB#: 1003790 **EPC#:** _____ **Work Order#:** 759285

Legal Description: Tract A, New Mexico Casualty Company

City Address: 5201 Balloon Fiesta Parkway, Albuquerque, New Mexico 87113

Applicant: RMKM Arhitecture **Contact:** Peter Rehn

Address: Simms Building, Studio 1100, 400 Gold Ave SW, Albuquerque, NM 87102

Phone#: 505-243-5454 **Fax#:** _____ **E-mail:** prehn@rmkmarch.com

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 12-4-17 **By:** Peter Rehn

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



TRAFFIC CERTIFICATION

I, MARK ROHDE, FAIA, NMRA 1465, OF THE FIRM RMKM ARCHITECTURE PC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 09/07/2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY PETER REHN OF THE FIRM RMKM ARCHITECTURE PC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/01/2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (CO).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

3 DEC. 2017
Date



RMKM ARCHITECTURE, PC

400 Gold Ave SW Studio 1100 Albuquerque, NM 87102 505.243.5454 www.rmkmarch.com

SITE PROJECT DATA

PROPERTY INFORMATION
5201 BALLOON FIESTA PKWY, NE
ALBUQUERQUE, NM

TRACT C-2-B, NORTH GATEWAY CONST.

ZONING
SU-2 C

PARKING
TOTAL BUILDING AREA: 58,335 SQ. FT.
OFF STREET PARKING REGULATIONS BASED ON COA ZONING 14-16-3-1
OFFICES - ONE SPACE PER 200 NET LEASABLE AREA ON FIRST FLOOR,
ONE SPACE PER 300 NET ALL OTHER FLOORS:
1ST FLOOR 13,705 NLSF / 200 NLSF PER SPACE = 69 SPACES
2ND FLOOR 16,589 NLSF / 300 NLSF PER SPACE = 55 SPACES
3RD FLOOR 17,071 NLSF / 300 NLSF PER SPACE = 57 SPACES
TOTAL REQUIRED 181 SPACES
TOTAL PROVIDED 187 SPACES

ACCESSIBLE PARKING SPACES REQUIRED 8 SPACES
TOTAL PROVIDED 8 PROVIDED
ACCESSIBLE PARKING SIGNS WILL INCLUDE THE WORDING:
"Violators Are Subject to a Fine and/or Towing"
ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" COMPLIANT
WITH 66-1-4.1.B NMSA 1978

MOTORCYCLE SPACES REQUIRED 5 SPACES
MOTORCYCLE SPACES PROVIDED 6 SPACES
SIGNS WILL BE PROVIDED INDICATING "Motorcycle Parking Only"

BICYCLE SPACES REQUIRED 10 SPACES
BICYCLE SPACES PROVIDED 11 SPACES

SITE LIGHTING LEGEND
REFER TO ELECTRICAL DRAWINGS

LED SITE POLE - 16' HIGH

LED SITE BOLLARD - 3' 6" HIGH

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL - 1003790

Reginald M. M... 9/7/16
Traffic Engineering, Transportation Division Date

W... 09/07/16
ABCWUA Date

W... 9-7-16
City Engineer Date

Carol S. Dumont 9-7-16
Environmental Health Department Date

See Sheet "Fire 1" submitted separately as indicated 7/13/16
Fire Marshal Date

Signed by Carla - Submitted with Fire 1 7/13/16
Solid Waste Management Date

Paul Ch... 10-10-16
DRB Chairperson, Planning Dept. Date

REVISIONS PER DRB COMMENTS SEPTEMBER 7, 2016

PROJECT New Mexico Mutual SCALE 1" = 30'-0"

NM Mutual Home Office RMKM PROJECT NO. 1513
DATE JULY 13, 2016

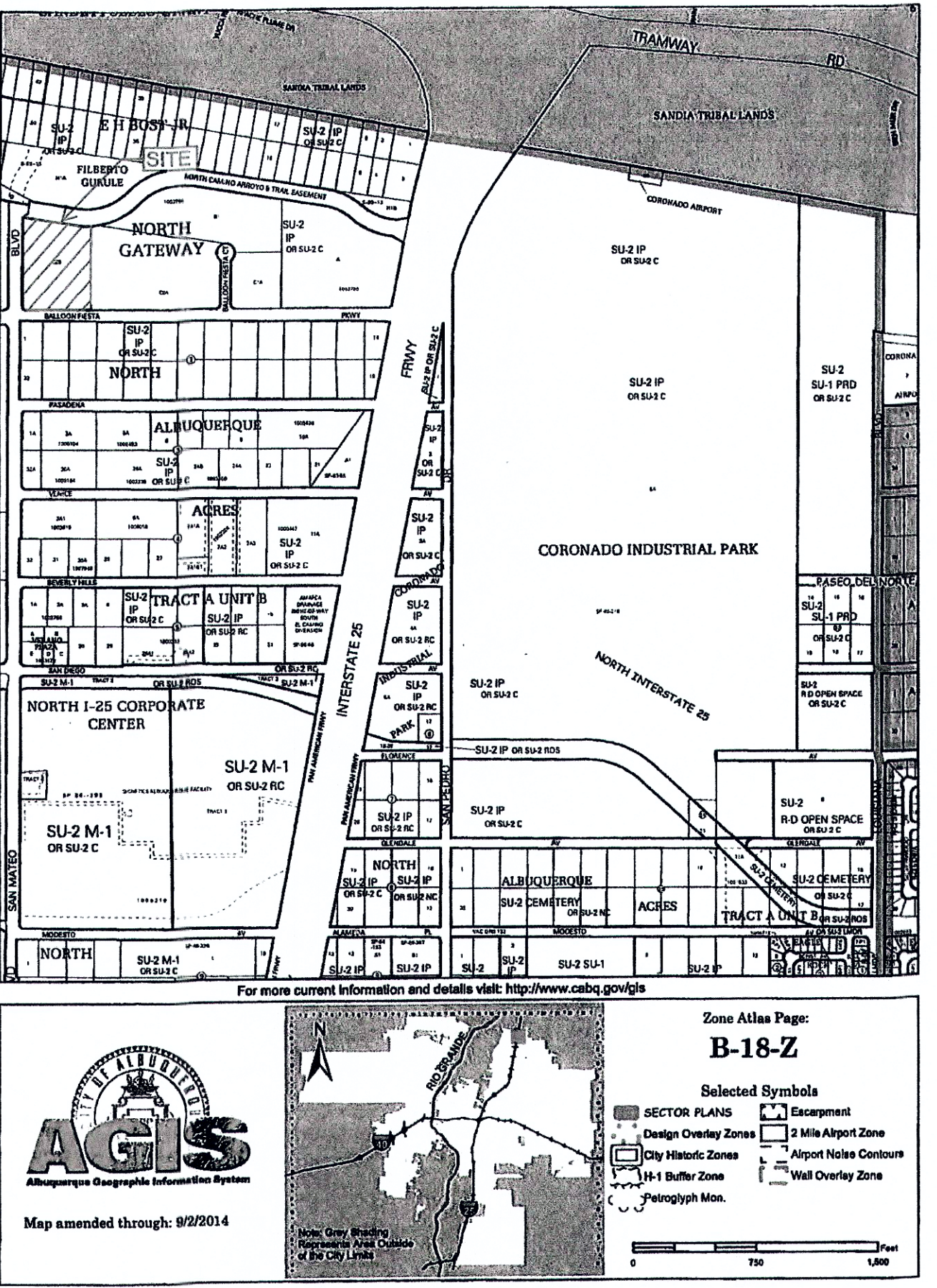
5201 Balloon Fiesta Parkway PROJECT MANAGER
Checker

SHEET TITLE SITE PLAN DRAWN BY
Author

DESIGN PHASE DRB Hearing

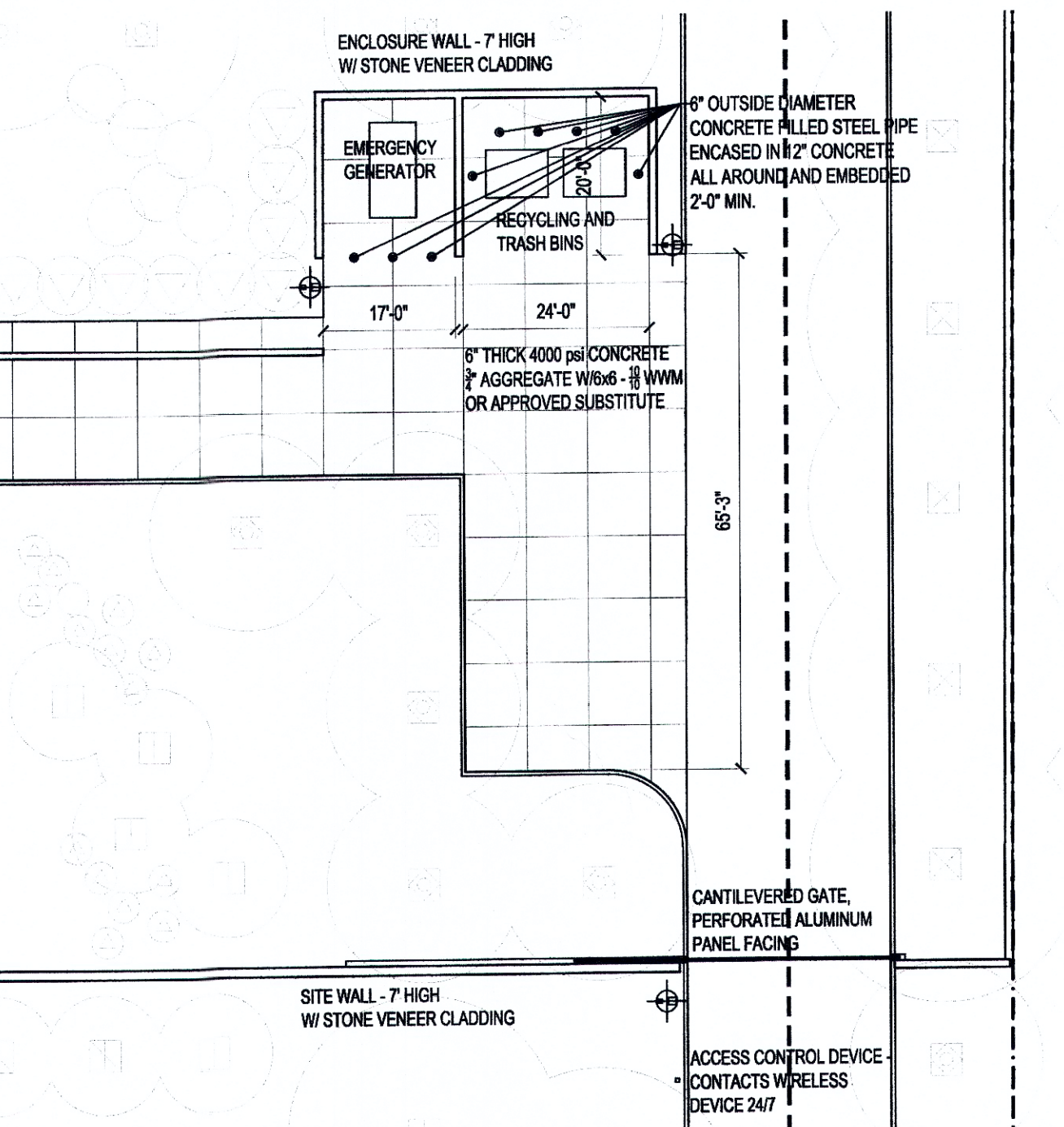
SHEET NUMBER SHEET #1

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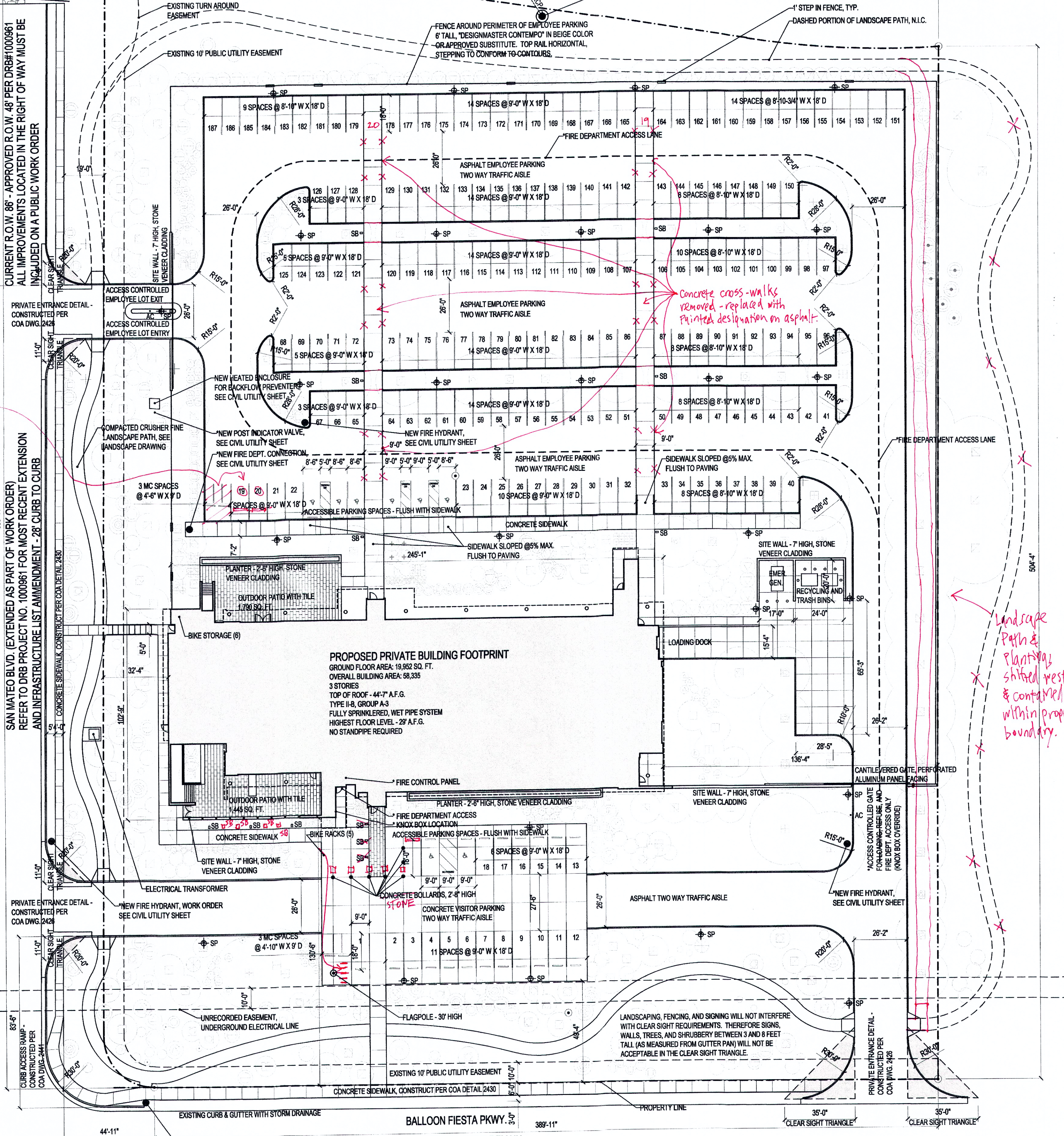
3 VICINITY MAP

NTS - SEE GRAPHIC SCALE



2 REFUSE ENCLOSURE

1" = 20'-0"



1 SITE PLAN

1" = 30'-0"