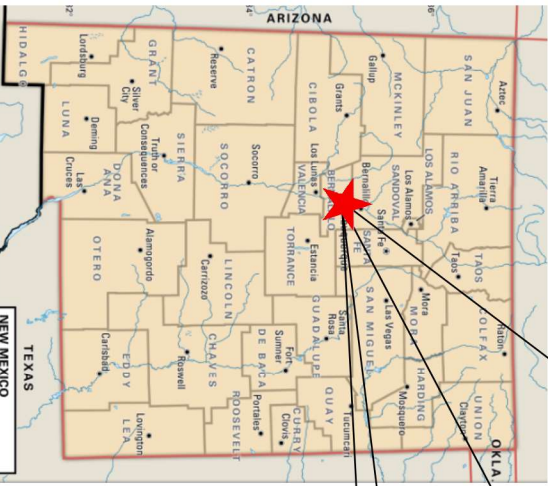


THE PEAKS BY MARKANA PHASE II *GLENDALE AVE NE*

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

PAGE INDEX	
1	TITLE PAGE
2	SWPPP INFO AND NOTES
3	DETAILS
4	TEMPORARY EROSION CONTROL PLAN



GPS COORDINATES: 35.1899, -106.5741

		<p>02/02/2023</p> <p>CRISC Stamp</p>	
<p>The Peaks By Markana</p>		<p>PROJECT TIME</p>	
<p>ALBUQUERQUE, NM, BERNALILLO COUNTY</p>		<p>CITY COUNTY STATE</p>	
<p>04/26/2021</p>	<p>DATE</p>	<p>2</p>	<p>INSPECTIONS PLUS</p>
<p>B. Heinrich / J. Tolman</p>		<p>DRAWN BY</p>	

STORMWATER POLLUTION PREVENTION PLAN INFORMATION

PERMIT NUMBER: NMRI004QW

NMR100000 STATE OF NEW MEXICO, EXCEPT INDIAN COUNTRY
NMR101000 INDIAN COUNTRY WITHIN THE STATE OF NEW MEXICO, EXCEPT
 NAVAJO RESERVATION LANDS THAT ARE COVERED UNDER ARIZONA
 PERMIT AZR101000 AND UTE MOUNTAIN RESERVATION LANDS THAT ARE
 COVERED UNDER COLORADO PERMIT COR101000.

OPERATOR NAME: KLG 9, LLC

OPERATOR POINT OF CONTACT:
 FAIZEL KASSAM FKASSAM@LEGACYDM.NET

NOI PREPARED BY: INSPECTIONS PLUS

PROJECT/SITE NAME: THE PEAKS BY MARKANA PHASE 2

PROJECT/SITE ADDRESS: GLENDALE AVE NE ALBUQUERQUE, NM 87113

LATITUDE 35.1899

LONGITUDE -106.5741

ESTIMATED PROJECT START DATE 06/06/2022

ESTIMATED PROJECT COMPLETION DATE 01/31/2024

ESTIMATED AREA TO BE DISTURBED 5.1 acres

TYPE OF CONSTRUCTION NEW-ABOVE GROUND

**DEMOLITION OF ANY STRUCTURES, 10,000 SQ FT OF
 GREATER BUILT OR RENOVATED BEFORE JANUARY 1, 1980?** NO

**WAS THE PREDEVELOPMENT LAND USED FOR
 AGRICULTURE?** NO

COMMENCED EARTH DISTURBING ACTIVITIES? NO

DISCHARGE TO MS4? MS4 NAME? N/A

SURFACE WATERS WITHIN 50 FT? NO

RECEIVING WATER? ONSITE STORMWATER POND

IS RECEIVING WATER IMPAIRED? TIER DESIGNATION NO

WHAT ARE THE IMPAIRMENTS, IF ANY? N/A

SWPPP CONTACT INFORMATION: STEPHEN PENDERGRAFT, spendergraft@legacydm.net

ENDANGERED SPECIES CRITERIA: CRITERION "A": NO CRITICAL HABITATS

HISTORIC PRESERVATION CRITERIA: CRITERION "A": PREVIOUS SURVEYS

EROSION CONTROL NOTES ESC Plan Standard Notes (2021-03-24)

1. All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:

- a. The City Ordinance § 14-5-2-11, the ESC Ordinance,
- b. The EPA's 2017 Construction General Permit (CGP), and
- c. The City Of Albuquerque Construction BMP Manual.


2. All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMP's and prior to beginning construction.

3. Self-inspections - At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.

4. Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.

5. Stabilization reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. Reports should include records of weed removal per City Ordinance (§ 9-8-1), sterilization, soil test results and recommendation, materials and manufacturer's specifications for application rates, estimated functional longevity, methods of application, inspection and maintenance. The reduced self-inspection schedule in CGP 4.4.1 applies to stabilized area and any damaged or worn stabilization must be identified in the reports along with weed problems. Corrective actions for stabilization shall be documented in a stabilization report including actual rates and dates of stabilization, and the materials and manufacturer's specifications used.

6. BMP's shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures and impervious surfaces, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be approved by the City of Albuquerque prior to removal of BMP's and discontinuation of inspections.

		The Peaks By Markana		PROJECT TITLE
ALBUQUERQUE, NM, BERNALILLO COUNTY		04/26/2021		DATE
B. Henriksen / J. Tolman		02/02/2023		DATE
INSPECTIONS PLUS		CRISC Stamp		CITY COUNTY STATE

SEDIMENT TRACK OUT CONTROL



- BMP Objectives**
- Sediment Control

SILT FENCE



- BMP Objectives**
- Sediment Control
 - Sheet Flow Runoff Control
 - Wind Erosion Control

MULCH SOCK/STRAW WATTLE



- BMP Objectives**
- Sediment Control
 - Reduce Runoff Velocity
 - Inlet Protection

INLET PROTECTION



- BMP Objectives**
- Sediment Control
 - Sheet Flow Runoff Control
 - Wind Erosion Control



BERRIS AND SWALES

- BMP Objectives**
- Runoff Control
 - Run-on Diversion

LEGEND

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

PROJECT PERIMETER

EXISTING BLOCK WALL

⑤

POSTING SIGN

⊗

OUTFALL

STAGING AREA

FLOW DIRECTION

SILT FENCE

DEBRIS CONTAINMENT


CHEMICAL TOILET

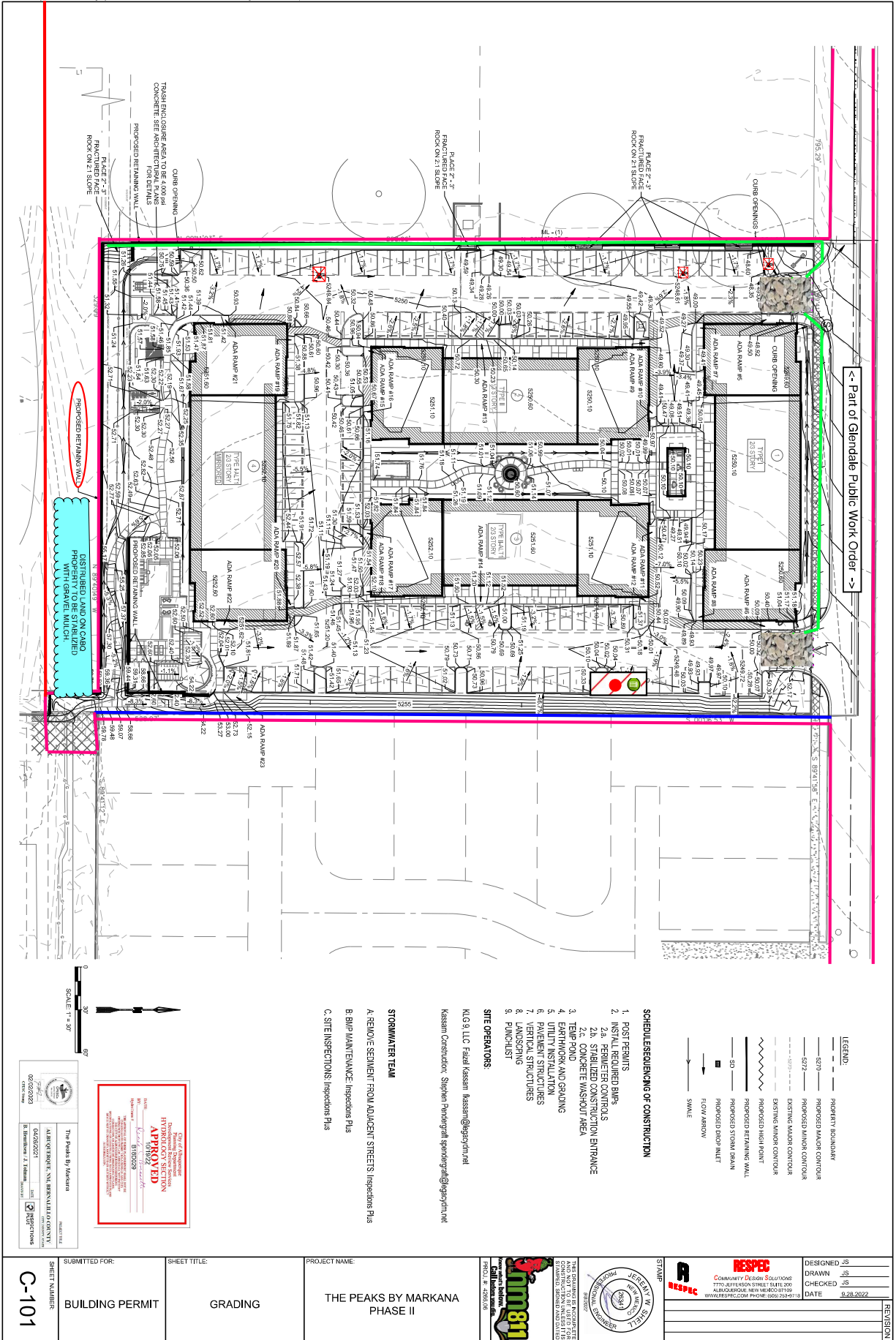
CONCRETE WASHOUT

STABILIZED CONSTRUCTION ENTRANCE

TEMPORARY SEDIMENT POND

Existing Screen Fence

	
The Peaks By Markana	
PROJECT TIME	04/26/2021
ALBUQUERQUE, NM, BERNALILLO COUNTY	DATE
CITY, COUNTY, STATE	02/02/2023
B. Henriksen / J. Tolman	INSPECTIONS
SEAL BY	PLUS
CITC Stamp	



LEGEND:

- PROPERTY BOUNDARY
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED HIGH POINT
- PROPOSED RETAINING WALL
- PROPOSED STORM DRAIN
- PROPOSED DRAIN INLET
- FLOW ARROW
- SWALE

SCHEDULE/SEQUENCING OF CONSTRUCTION

- POST PERMITS
- INSTALL REQUIRED BMPs
- PERIMETER CONTROLS
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT AREA
- TEMP POND
- EARTHWORK AND GRADING
- UTILITY INSTALLATION
- PERIMENT STRUCTURES
- LANDSCAPING
- PINCHLIST

SITE OPERATORS:

KLG 9, LLC Paul Kessam kassam@klg9.com
Kessam Construction, Stephen Pennington stephenp@klg9.com

STORMWATER TEAM

A. REMOVE SEDIMENT FROM ADJACENT STREETS. Inspections Plus
B. BMP MAINTENANCE. Inspections Plus
C. SITE INSPECTIONS. Inspections Plus

City of Milwaukee
Department of Public Works
HYDROLOGICAL SECTION
APPROVED
DATE: 9/28/2022
BY: [Signature]

REVISION

NO.	DATE	DESCRIPTION
1	9/28/2022	DESIGNED
2		DRAWN
3		CHECKED
4		DATE

STAMP

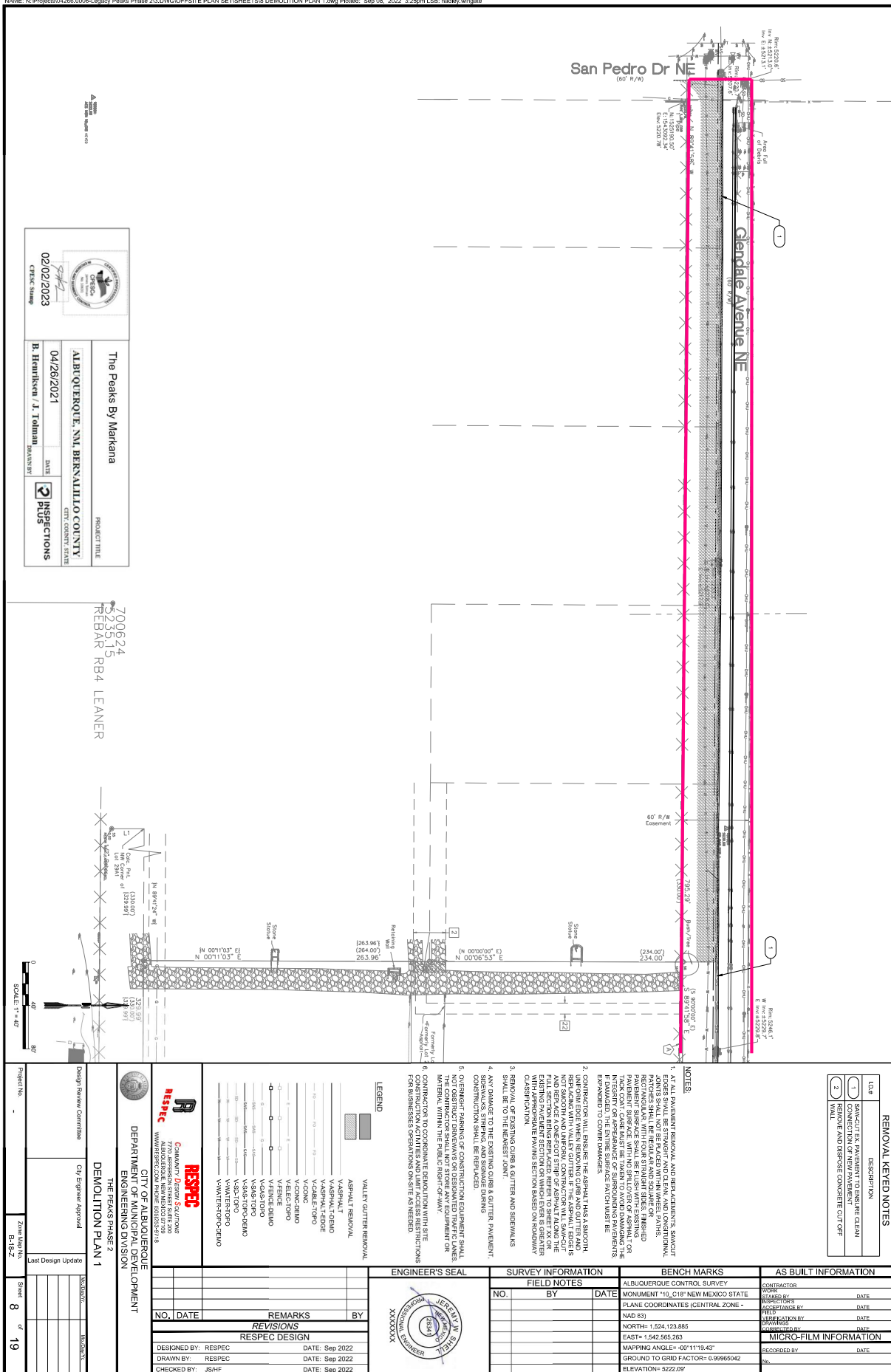
RESPEC
COMMUNITY DESIGN SOLUTIONS
7701 AUSTIN STREET, SUITE 200
ALBUQUERQUE, NEW MEXICO 87109
WWW.RESPEC.COM PHONE: 505.753.4115

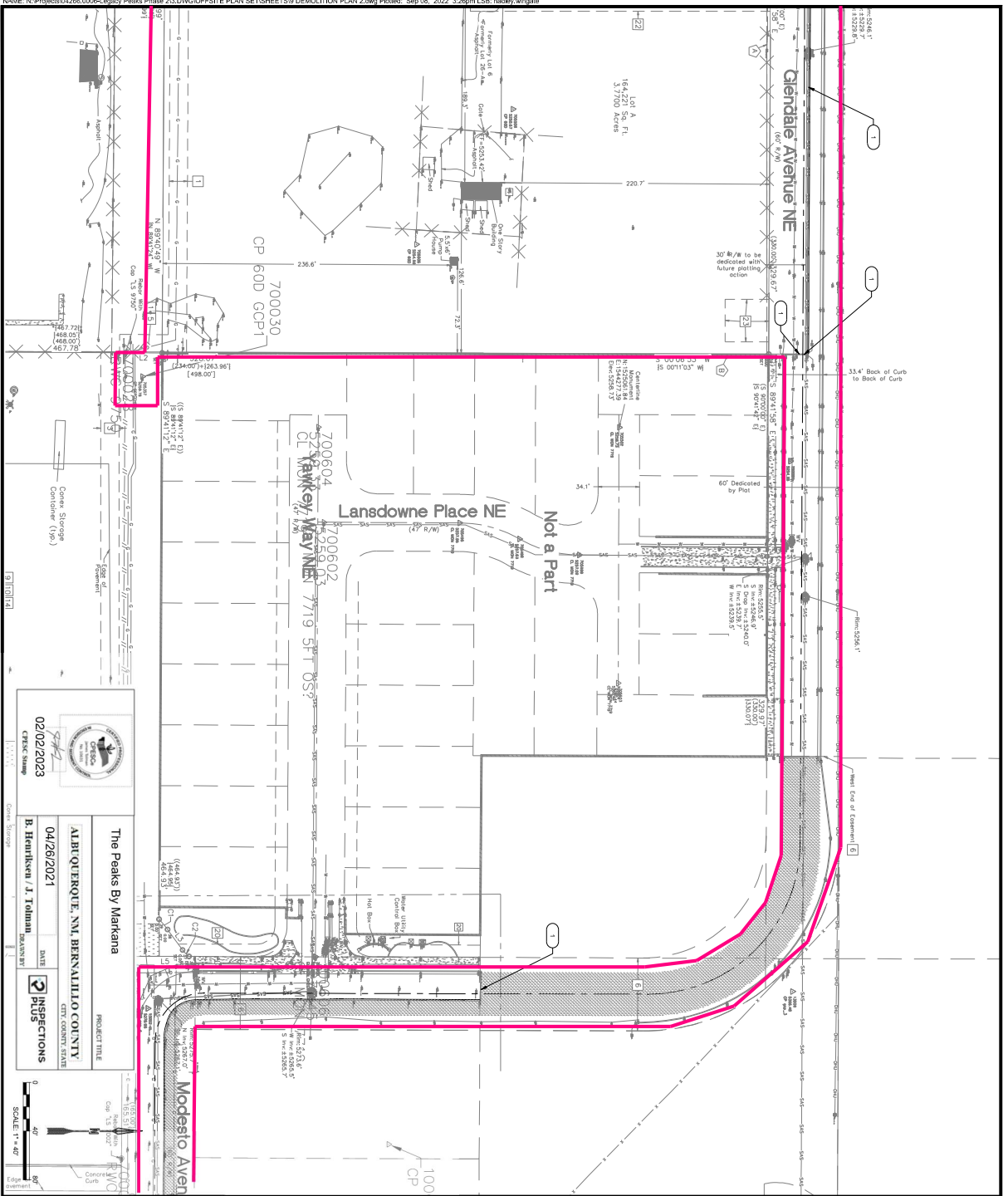
PROJECT NAME:
THE PEAKS BY MARKANA
PHASE II

SHEET TITLE:
GRADING

SUBMITTED FOR:
BUILDING PERMIT

SHEET NUMBER:
C-101






REMOVAL KEYED NOTES	
ID.#	DESCRIPTION
1	SAW-CUT EX. PAVEMENT TO ENSURE CLEAN CONNECTION OF NEW PAVEMENT
2	REMOVE AND DISPOSE CONCRETE CUT OFF WALL

BENCH MARKS		AS BUILT INFORMATION	
ALBUQUERQUE CONTROL SURVEY		CONTRACTOR	
MONUMENT "10 C18" NEW MEXICO STATE		WORKER	
PLANE COORDINATES (CENTRAL ZONE -		RECORDERS	DATE
NAD 83)		CONTROLLER BY	
NORTH= 1,524,123.085		FIELD	DATE
EAST= 1,542,565.263		VERIFY BY	
MAPPING ANGLE= -00°11'19.43"		WORKINGS	DATE
GROUND TO GRID FACTOR= 0.99965042		COMPARISON	
ELEVATION= 5222.09'		MICRO-FILM INFORMATION	
		RECORDED BY	DATE
		NO.	

[illegible][illegible]

 <div style="text-align: center;"> CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION </div>					
DEMOLITION PLAN 2 THE PEAKS PHASE 2					
Project No.		Design Review Committee	City Engineer Approval	Last Design Update	SUBMITTED REVIEWED APPROVED
Zoning Map No.	B-18-92				
Sheet	9	of	19		

REMOVAL KEYED NOTES	
NO.	DESCRIPTION
1	SAW-CUT EX. PAVEMENT TO ENSURE CLEAN CONNECTION OF NEW PAVEMENT
2	REMOVE AND DISPOSE CONCRETE CUT OFF WALL

AS BUILT INFORMATION	
CONTRACTOR	
WORK STAKED BY	DATE
INSPECTOR'S	
ACCEPTANCE BY	DATE
FIELD	
VERIFICATION BY	DATE
DRAWINGS	
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
No.	

BENCH MARKS	
ALBUQUERQUE CONTROL SURVEY	
MONUMENT "10_C18" NEW MEXICO STATE	
PLANE COORDINATES (CENTRAL ZONE -	
NAD 83)	
NORTH= 1,524,123.885	
EAST= 1,542,565.263	
MAPPING ANGLE= -00°11'19.43"	
GROUND TO GRID FACTOR= 0.99965042	
ELEVATION= 5222.09'	

[illegible]

NO.	DATE	REMARKS	
REVISIONS			
RESPEC DESIGN			
DESIGNED BY:	RESPEC	DATE:	Sep 2022
DRAWN BY:	RESPEC	DATE:	Sep 2022
CHECKED BY:	JSHF	DATE:	Sep 2022

Development	
Monday	Monday

