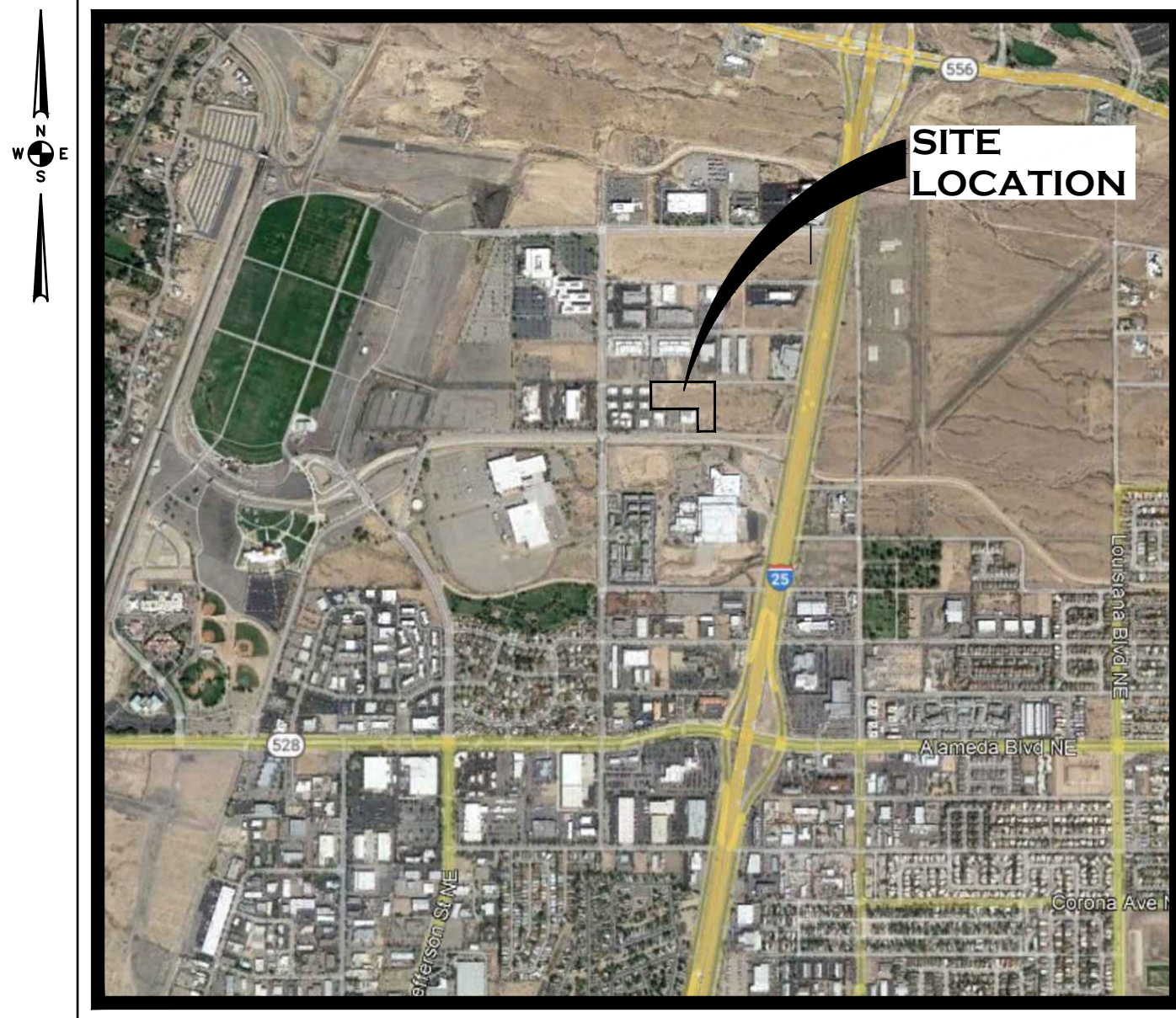


EROSION CONTROL PLAN FOR LUXELOCKER - ALBUQUERQUE


SAN DIEGO AVENUE & BEVERLY HILLS AVENUE
ALBUQUERQUE, NEW MEXICO



VICINITY MAP
SCALE: 1" = 500'



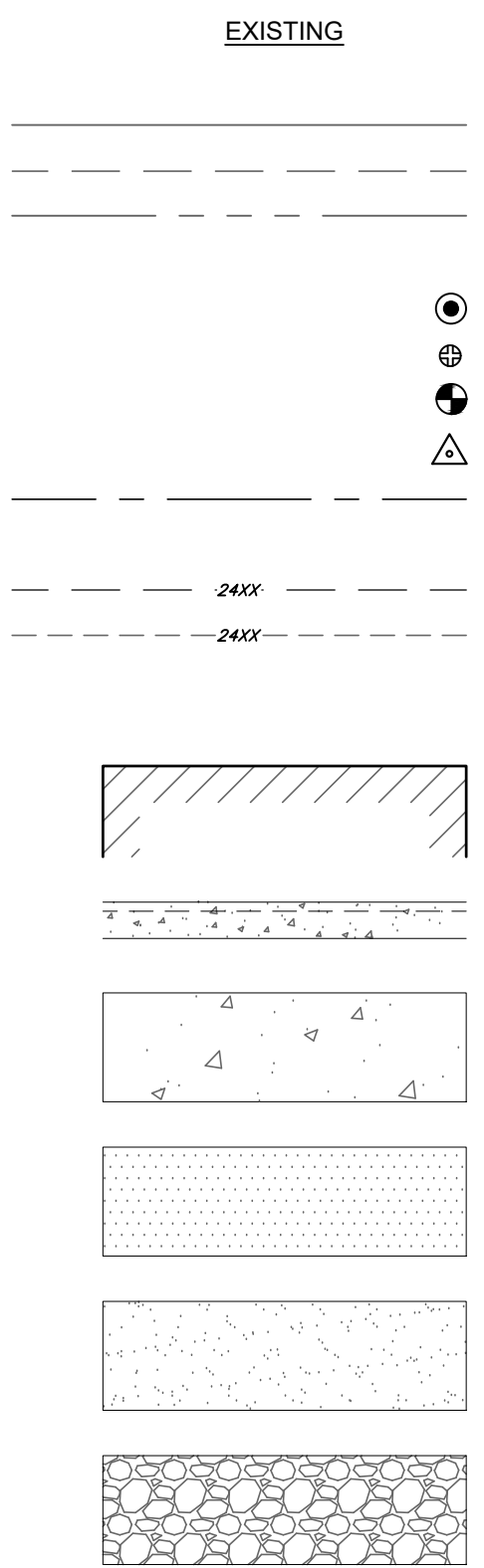
Iris Development Services, LLC
2673 N. Riley Road
Buckeye, AZ 85396
Office: (602) 616-6898



MARION F. HULSE
NEW MEXICO
27768
08/24/2023
PROFESSIONAL ENGINEER

Rev	Date (mm/dd/yyyy)	Description
1	08/10/2023	ADDENDUM 1
2	07/28/2023	PER CITY COMMENTS

EXISTING



LEGEND

PROPERTY BOUNDARY

PROPERTY LINE

EASEMENT

RIGHT OF WAY LINE

BUILDING SETBACK

PROPERTY CORNER REBAR

MARK SET IN CONCRETE

BORE LOCATION

BENCHMARK

CENTERLINE OF ROADWAY

LIMITS OF DISTURBANCE

5' CONTOUR

1' CONTOUR

SILT FENCE

STORM DRAIN PROTECTION

BUILDING

STANDARD CURB & GUTTER

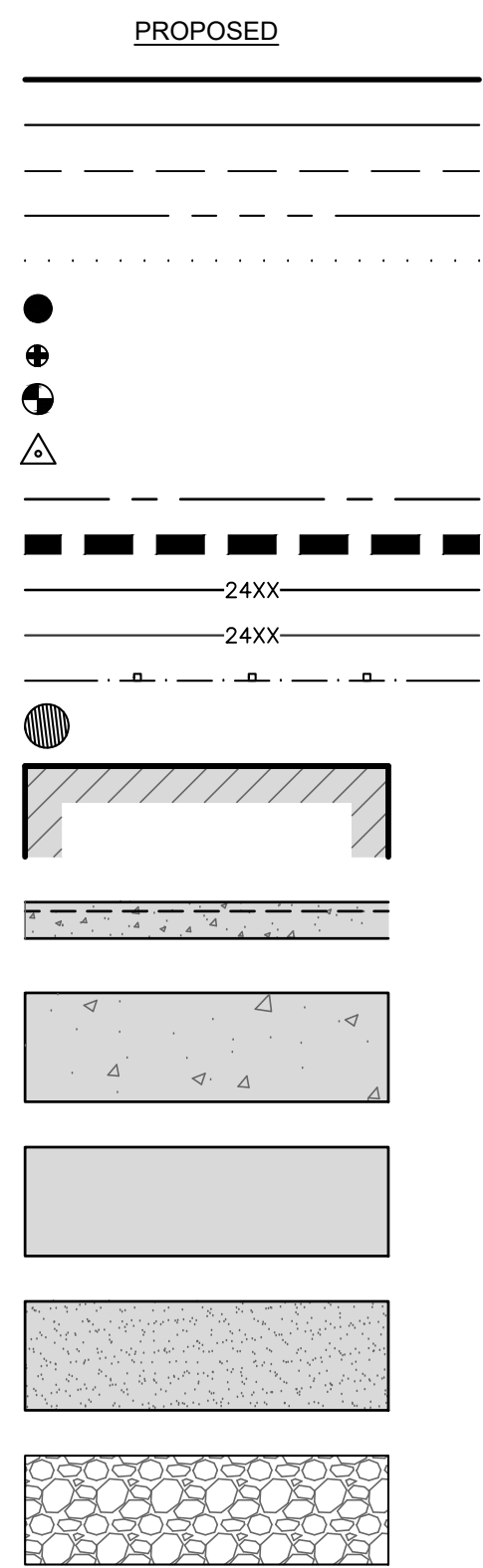
CONCRETE

ASPHALT

GRAVEL

RIP RAP

PROPOSED



EROSION CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL (ESC) WORK ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:
 - THE CITY ORDINANCE § 14-5-2-11, THE ESC ORDINANCE.
 - THE EPA'S 2022 CONSTRUCTION GENERAL PERMIT (CGP).
 - THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL.
- ALL BMP'S MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTHMOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMP'S SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION BERMS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMPS AND PRIOR TO BEGINNING CONSTRUCTION.
- SELF-INSPECTIONS - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-11(C)(1), "AT A MINIMUM A ROUTINE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF 1/4 INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
- CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
- FINAL STABILIZATION AND NOTICE OF TERMINATION (NOT) - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-11(C)(1), SELF-INSPECTIONS MUST CONTINUE UNTIL THE SITE IS "DETERMINED AS STABILIZED BY THE CITY." THE PROPERTY OWNER/OPERATOR IS RESPONSIBLE FOR DETERMINING WHEN THE "CONDITIONS FOR TERMINATING CGP COVERAGE" PER CGP PART 8.2 ARE SATISFIED AND THEN FOR FILING THEIR NOTICE OF TERMINATION (NOT) WITH THE EPA. EACH OPERATOR MAY TERMINATE CGP COVERAGE ONLY IF ONE OR MORE OF THE CONDITIONS IN PART 8.2.1, 8.2.2, OR 8.2.3 HAS OCCURRED. AFTER FILING THE NOT WITH THE EPA, THE PROPERTY OWNER IS RESPONSIBLE FOR REQUESTING A DETERMINATION OF STABILIZATION FROM THE CITY.
- WHEN DOING WORK IN THE CITY RIGHT-OF-WAY (E.G. SIDEWALK, DRIVE PADS, UTILITIES, ETC.) PREVENT DIRT FROM GETTING INTO THE STREET. IF DIRT IS PRESENT IN THE STREET, THE STREET SHOULD BE SWEEPED DAILY OR PRIOR TO A RAIN EVENT OR CONTRACTOR INDUCED WATER EVENT (E.G. CURB CUT OR WATER TEST).
- WHEN INSTALLING UTILITIES BEHIND THE CURB, THE EXCAVATED DIRT SHOULD NOT BE PLACED IN THE STREET.
- WHEN CUTTING THE STREET FOR UTILITIES THE DIRT SHALL BE PLACED ON THE UPHILL SIDE OF THE STREET CUT AND THE AREA SWEEPED AFTER THE WORK IS COMPLETE. A WATTLE OR MULCH SOCK MAY BE PLACED AT THE TOE OF THE EXCAVATED DIRT PILE IF SITE CONSTRAINTS DO NOT ALLOW PLACING THE EXCAVATED DIRT ON THE UPHILL SIDE OF THE STREET CUT.
- ESC PLANS MUST SHOW LONGITUDINAL STREET SLOPE AND STREET NAMES. ON STREETS WHERE THE LONGITUDINAL SLOPE IS STEEPER THAN 2.5%, WATTLES/MULCH SOCKS OR J-HOOD SILT FENCE SHALL BE SHOWN IN THE FRONT YARD SWALE OR ON THE SIDE OF THE STREET.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE. BASIS OF BOUNDARY ARE THE FOLLOWING PLATS AND DOCUMENTS OF RECORD ENTITLED

- PLAT OF "TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES."
- PLAT OF "LANDS OF LEON E. \$ LENA MAE VINYARD".
- PLAT OF "LOTS 1-A, 2-A \$ 3-A, BLOCK 5, TRACTS A, UNIT B, NORTH ALBUQUERQUE ACRES".
- PLAT OF "LOTS 28-A-1 AND 28-A-2, BLOCK 5, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES".
- PLAT OF "LOID'S COLLISION CENTER".

LEGAL DESCRIPTIONS

- LOTS NUMBERED FOUR (4), FIVE (5), SIX (6) AND SEVEN (7), IN BLOCK NUMBERED FIVE (5) OF TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, FOLIO 130.
- THAT CERTAIN PARCEL OF LAND SITUATE WITHIN THE ELENA GALLEGO'S GRANT IN PROJECTED SECTION 12, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT OF LOT '28-A', BLOCK 5, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, BEING A REPLAT OF LOTS 23, 27 & 28, BLOCK 5, PROJECTED SEC 13, T 11 N, R 3 E, NMPM, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, NOVEMBER, 1996", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 9, 1997 IN VOLUME 97C, FOLIO 106.

FLOOD PLAIN NOTE

COMMUNITY NUMBER	PANEL # PANEL DATE	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE USE DEPTH)
350002	0129	H	08/16/2012	ZONE X	

OWNER/DEVELOPER

ALBUQUERQUE STORAGE PARTNERS, LLC
349 LAKE HAVASU AVE. S.
SUITE 106 LAKE HAVASU CITY, AZ 86403

CIVIL ENGINEER

IRIS DEVELOPMENT SERVICES, PLLC
2673 N RILEY ROAD
BUCKEYE, AZ 85398
PHONE: 602.616.6898

SHEET INDEX

SHEET #	SHEET TITLE
C1	COVER SHEET
C2	EXISTING CONDITIONS
C3	EROSION CONTROL PLAN
C4	DETAILS

PLAN APPROVALS:

EROSION AND SEDIMENT CONTROL SPECIALIST, PLANNING DEPARTMENT

DATE

LUXELOCKER - ALBUQUERQUE
BEVERLY HILLS AVE NE & SAN DIEGO AVE NE
ALBUQUERQUE, NM

Scale: N/A

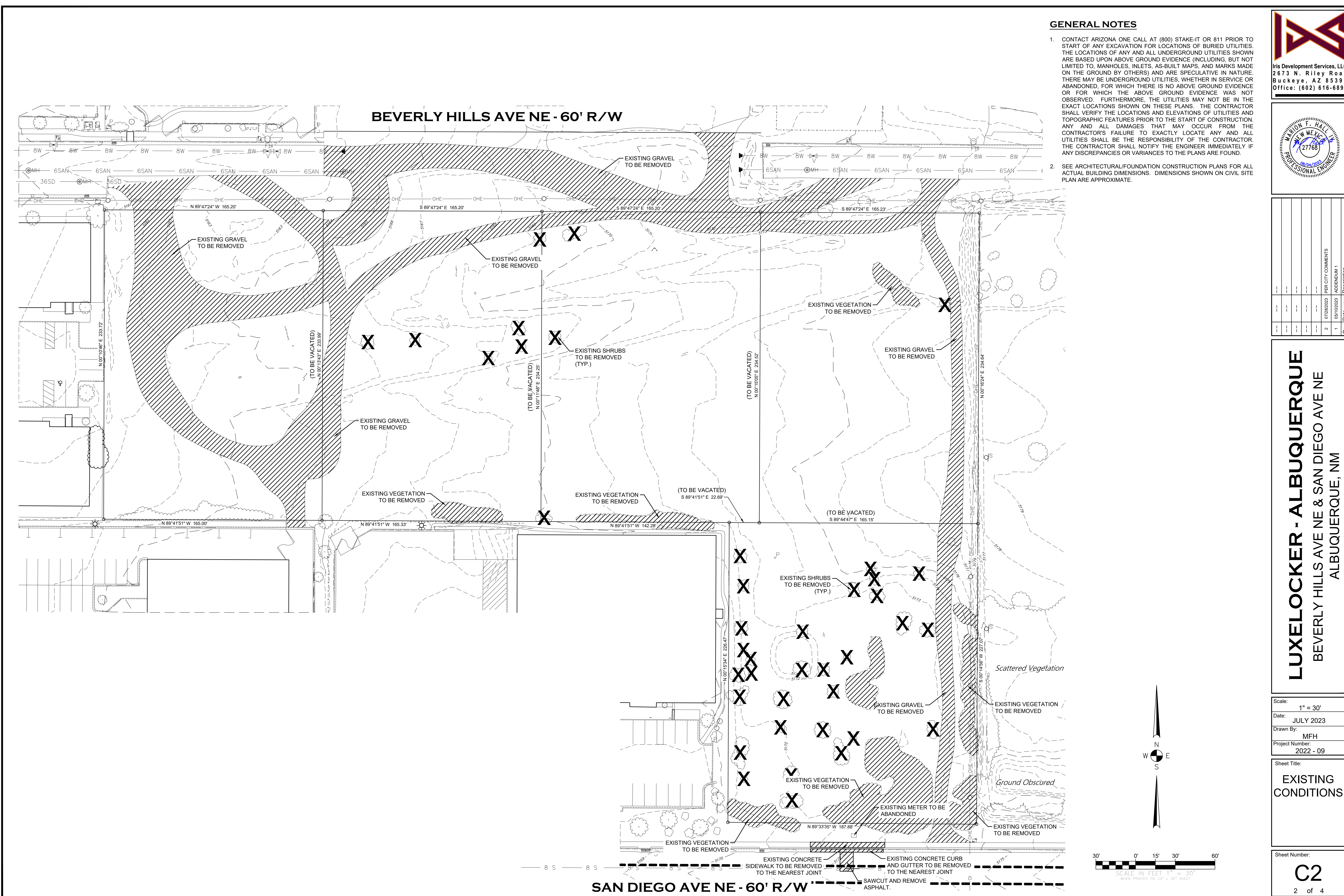
Date: JULY 2023

Drawn By: MFH

Project Number: 2022 - 09

Sheet Title:
COVER SHEET

Sheet Number:
C1
1 of 4



GENERAL NOTES

1. CONTACT ARIZONA ONE CALL AT (800) STAKE-IT OR 811 PRIOR TO START OF ANY EXCAVATION FOR LOCATIONS OF BURIED UTILITIES. THE LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES SHOWN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, AS-BUILT MAPS, AND MARKS MADE ON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY BE UNDERGROUND UTILITIES, WHETHER IN SERVICE OR ABANDONED, FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH THE ABOVE GROUND EVIDENCE WAS NOT OBSERVED. FURTHERMORE, THE UTILITIES MAY NOT BE IN THE EXACT LOCATIONS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF CONSTRUCTION. ANY AND ALL DAMAGES THAT MAY OCCUR FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE ANY AND ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OR VARIANCES TO THE PLANS ARE FOUND.
2. SEE ARCHITECTURAL/FOUNDATION CONSTRUCTION PLANS FOR ALL ACTUAL BUILDING DIMENSIONS. DIMENSIONS SHOWN ON CIVIL SITE PLAN ARE APPROXIMATE.

IRIS
Iris Development Services, LLC
2673 N. Riley Road
Buckeye, AZ 85396
Office: (602) 616-6898

WARREN F. HALL
27768
PROFESSIONAL ENGINEER
06/24/2023

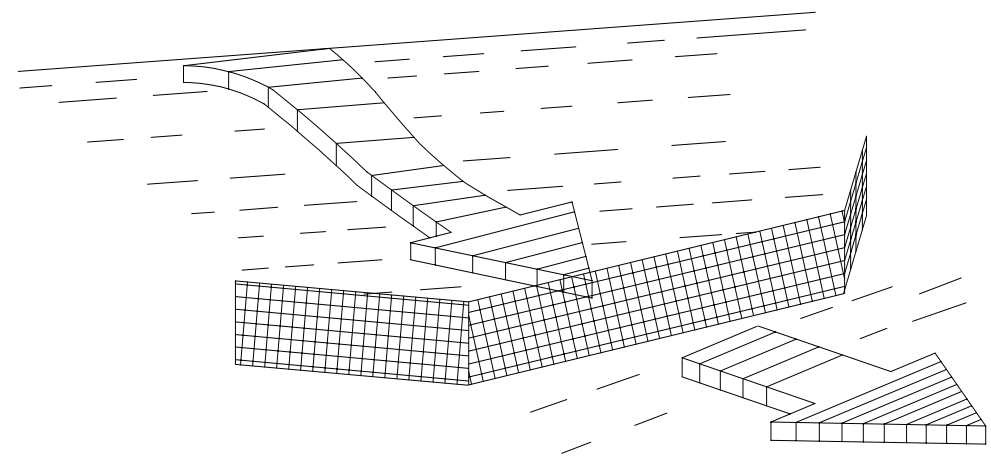
Rev	Date (mm/yy)	Description
1	05/10/2023	ADDENDUM 1
2	07/28/2023	PER CITY COMMENTS

LUXELocker - ALBUQUERQUE
BEVERLY HILLS AVE NE & SAN DIEGO AVE NE
ALBUQUERQUE, NM

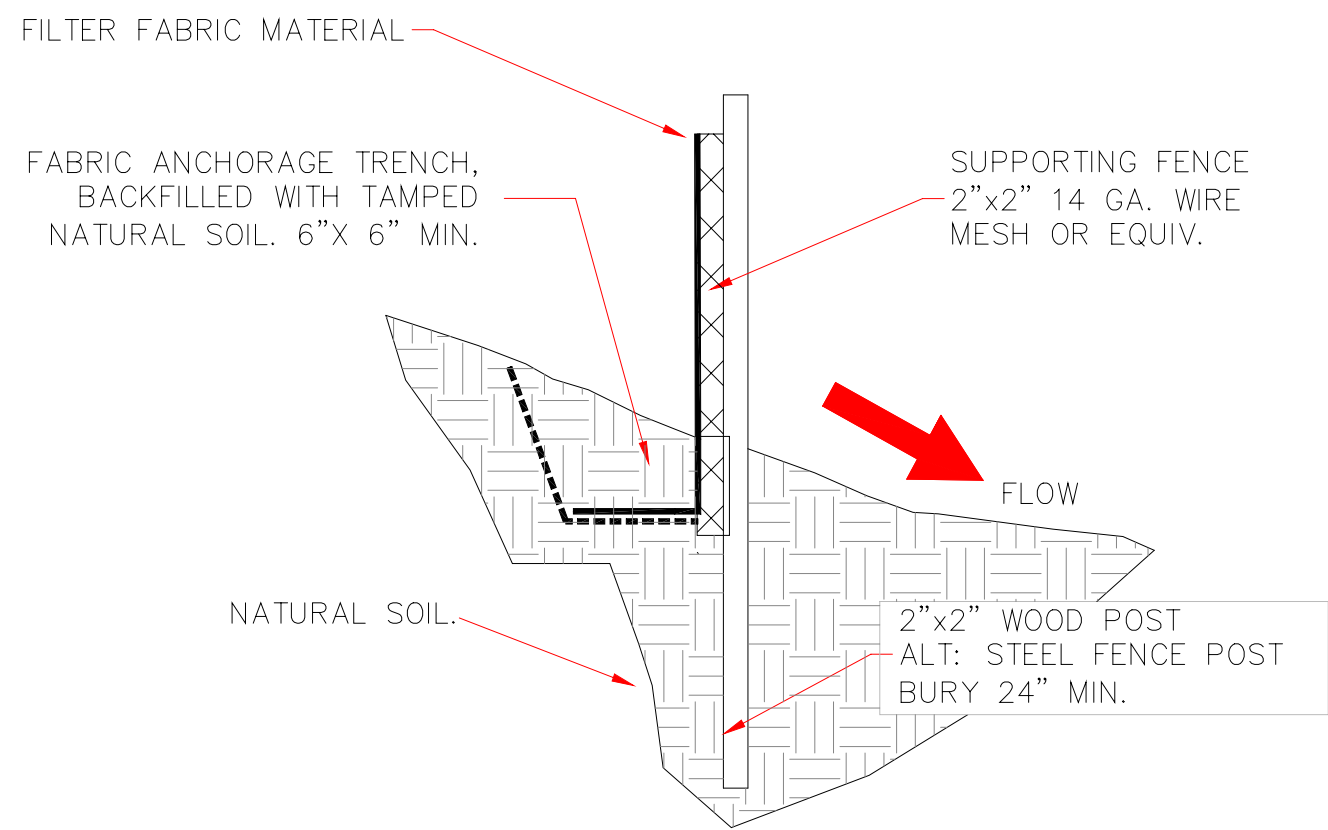
Scale: 1" = 30'
Date: JULY 2023
Drawn By: MFH
Project Number: 2022 - 09

Sheet Title:
EXISTING CONDITIONS

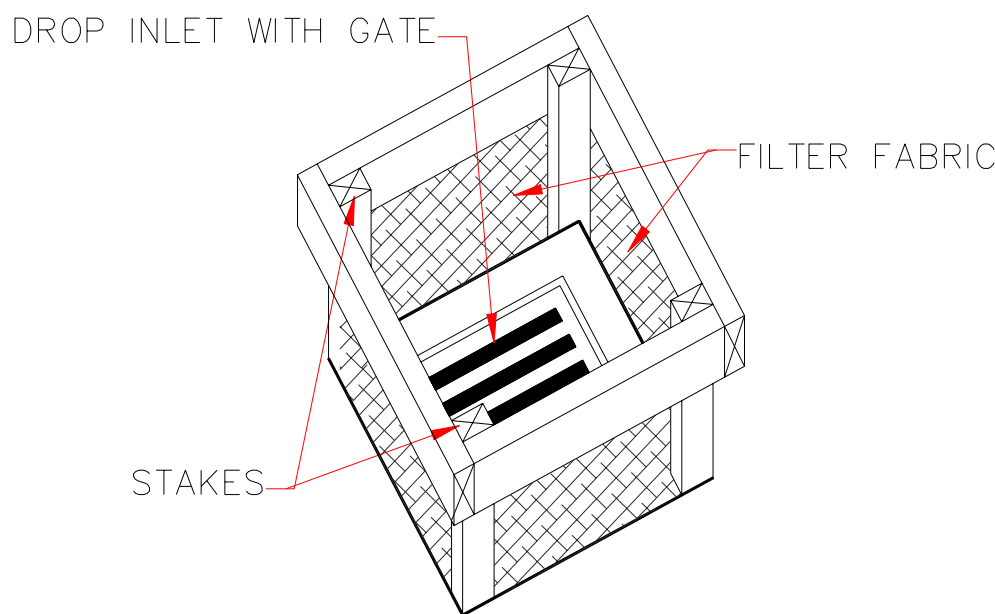
Sheet Number:
C2
2 of 4



TYPE I
SILT FENCE OPTION

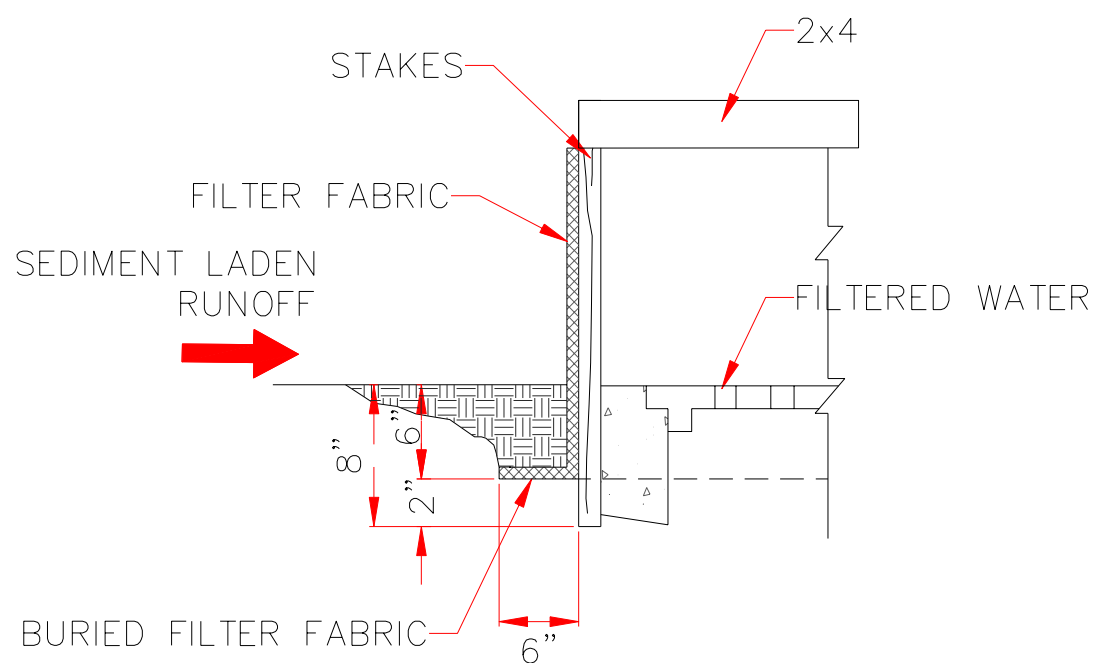


1
C4
SILT FENCE DETAIL
SCALE: NONE



TYPE I

NOTE: WHEN SPECIFIED, ROCKS OR STRAW BALES CAN BE SUBSTITUTED FOR SILT FENCE.



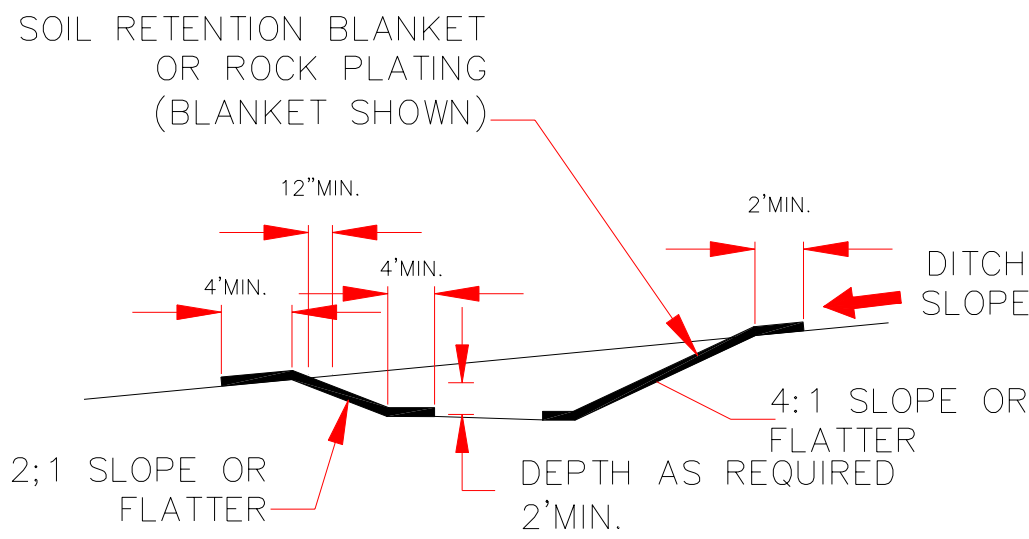
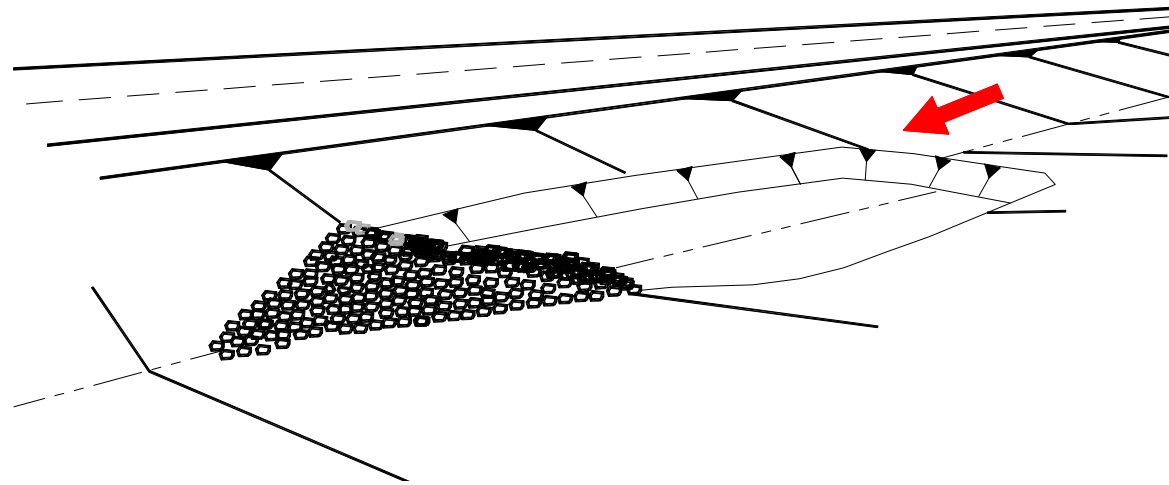
4
C4
DROP INLET PROTECTION DETAIL
SCALE: NONE

NOTES: SILT FENCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE POST SPACING FOR SILT FENCES TO MINIMIZE MAINTENANCE.

1. POST SPACING SHALL BE 4 FT. MAXIMUM WITHOUT SUPPORTING FENCE, 10 FT. MAXIMUM WITH SUPPORTING FENCE.
2. POSTS FOR 4 FT. MAXIMUM POST SPACING SHALL BE 2 INCH SQUARE NOMINAL SIZE OR HEAVIER WOOD POSTS, OR STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 LB. PER LINEAR FOOT.

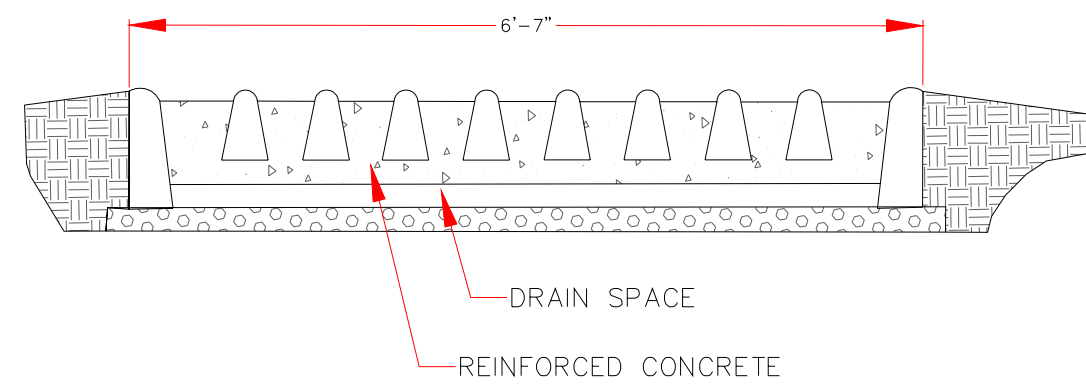
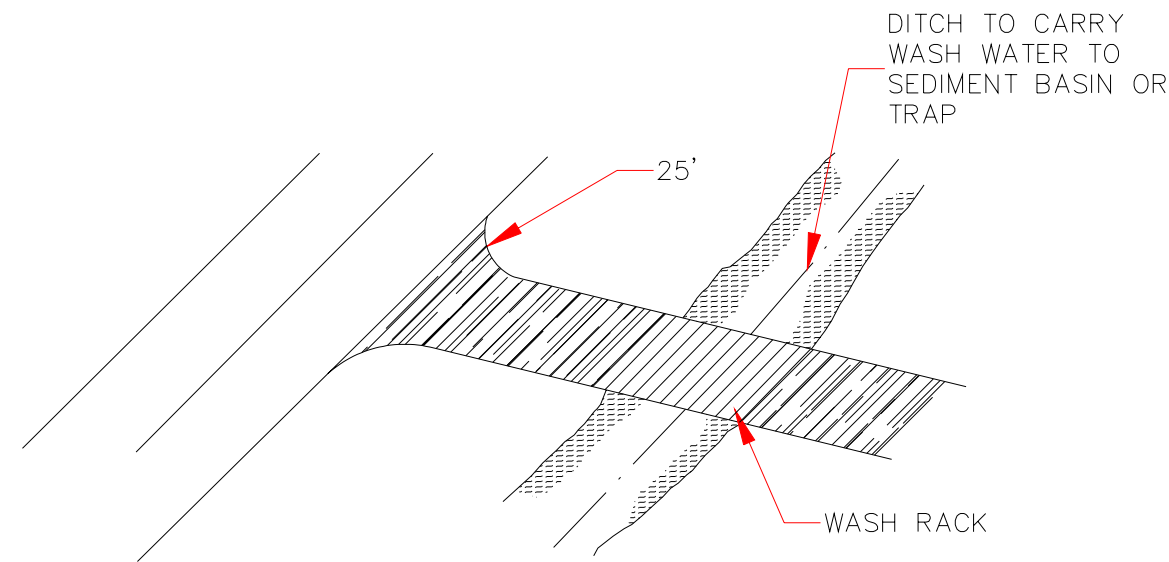
POSTS FOR 10 FT. MAXIMUM POST SPACING SHALL BE 4 INCH SQUARE NOMINAL SIZE OR HEAVIER WOOD POSTS, OR STEEL POSTS AS SPECIFIED ABOVE.
3. SUPPORTING FENCE SHALL BE WIRE MESH (14 GA. MIN., 1 INCH MAX. MESH OPENINGS), SNOW FENCE, PLASTIC FENCE, OR APPROVED EQUAL.
4. SUPPORTING FENCE SHALL BE FASTENED SECURELY TO POSTS WITH STAPLES OR WIRE TIES. FILTER FABRIC SHALL BE FASTENED SECURELY TO SUPPORTING FENCE WITH WIRE TIES SPACED AT 2 FT. CENTERS ALONG THE TOP AND MID-SECTION. WHEN A SUPPORTING FENCE IS NOT USED, FILTER FABRIC SHALL BE SECURELY FASTENED TO POSTS WITH STAPLES OR WIRE TIES.
5. WHEN SILT FENCE IS USED FOR CHECK DAMS INSTALLED IN DITCHES, A SUPPORTING FENCE SHALL BE PROVIDED, WITH MAXIMUM POST SPACING OF 10 FT.
6. STANDARD "T" OR "U" SECTION STEEL POSTS SHALL NOT BE USED WITHIN THE CONSTRUCTION CLEAR ZONE RECOVERY AREA.



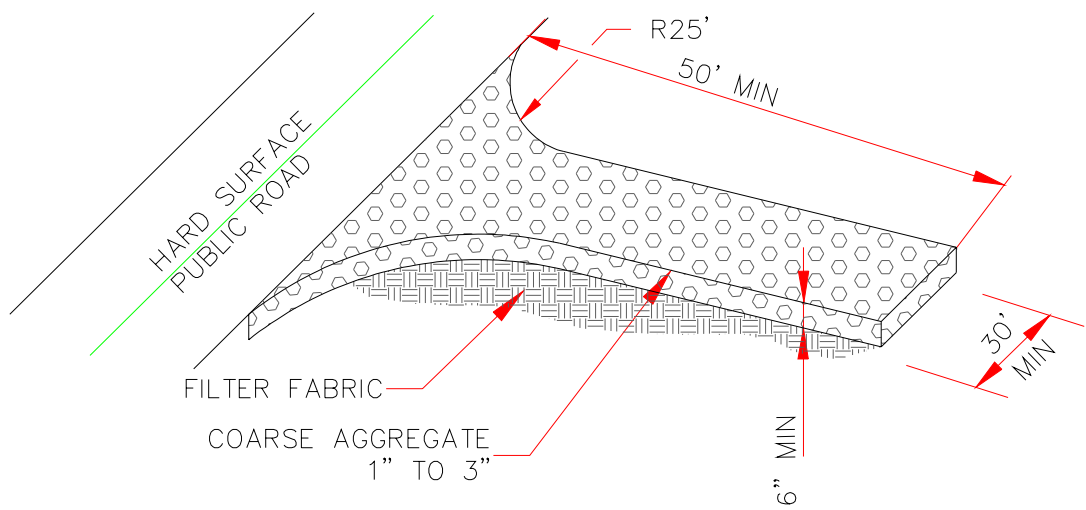
NOTES: SEDIMENT TRAP

1. TEMPORARY SEDIMENT TRAPS MAY BE CONSTRUCTED BY EXCAVATION ALONE OR BY EXCAVATION IN COMBINATION WITH AN EMBANKMENT.
2. TEMPORARY SEDIMENT TRAPS ARE OFTEN USED IN CONJUNCTION WITH A DIVERSION DIKE OR SWELL.
3. THE DRAINAGE AREA FOR THE SEDIMENT TRAP SHOULD NOT EXCEED 5 DISTURBED ACRES.
4. THE TRAP MUST BE ACCESSIBLE FOR EASE OF REGULAR MAINTENANCE, WHICH IS CRITICAL TO ITS PROPER FUNCTIONING.
5. SEDIMENT TRAPS ARE TEMPORARY MEASURES AND SHOULD NOT REMAIN IN PLACE LONGER THAN 18 TO 24 MONTHS.
6. THE EMBANKMENT MAY NOT EXCEED 5 FT. IN HEIGHT.
7. THE RECOMMENDED MINIMUM WIDTH AT THE TOP OF THE EMBANKMENT IS BETWEEN 2 FT. AND 5 FT.

2
C4
SEDIMENT TRAP DETAIL
SCALE: NONE



WASH RACK



3
C4
TEMPORARY CONSTRUCTION ENTRANCE DETAIL
SCALE: NONE

Rev	Date	Description
1	05/10/2023	ADDENDUM 1
2	07/28/2023	PER CITY COMMENTS